

Rezoning Petition Packet

Petitions:
2019-049 through 2019-064

Petitions that were submitted in April 2019

RECEIVED

MAR 11 2019

BY:

2019-049

Petition #:

Date Filed: 3/4/2019

Received By: B+

**I. REZONING APPLICATION
CITY OF CHARLOTTE**

Complete All Fields (Use additional pages if needed)

Property Owner: Bennie B. Brookshire, Sr.

Owner's Address: 218 Rose Street City, State, Zip: Mount Holly, NC 28120

Date Property Acquired: 10/12/2004

Property Address: unnumbered parcel on Queen City Drive

Tax Parcel Number(s): 061-251-08

Current Land Use: Vacant Size (Acres): +/- 9 acres

Existing Zoning: R-17MF Proposed Zoning: MUDD-O

Overlay: None (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Claire Lyte-Graham, Alberto Gonzalez, Grant Meacci, Rick Grochoske
Date of meeting: 1/22/2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): No

Purpose/description of Conditional Zoning Plan: To accommodate a commercial development to potentially include hospitality and other uses compatible with nearby Charlotte Douglas International Airport.

Collin W. Brown & Bailey Patrick, Jr.
Name of Rezoning Agent

214 N. Tryon Street, 47th Floor
Agent's Address

Charlotte, NC 28202
City, State, Zip

704-331-7531 704-353-7598
Telephone Number Fax Number

Collin.Brown@klgates.com / Brittany.Lins@klgates.com
E-Mail Address

See Attached Counterpart
Signature of Property Owner

See Attached Counterpart
(Name Typed / Printed)

Apollo Holding Company, LLC
Name of Petitioner(s)

5720 Creedmoor Road, Suite 205
Address of Petitioner(s)

Raleigh, NC 27612
City, State, Zip

919-848-9969 919-882-1773
Telephone Number Fax Number

wgeyer@mjmreg.com
E-Mail Address

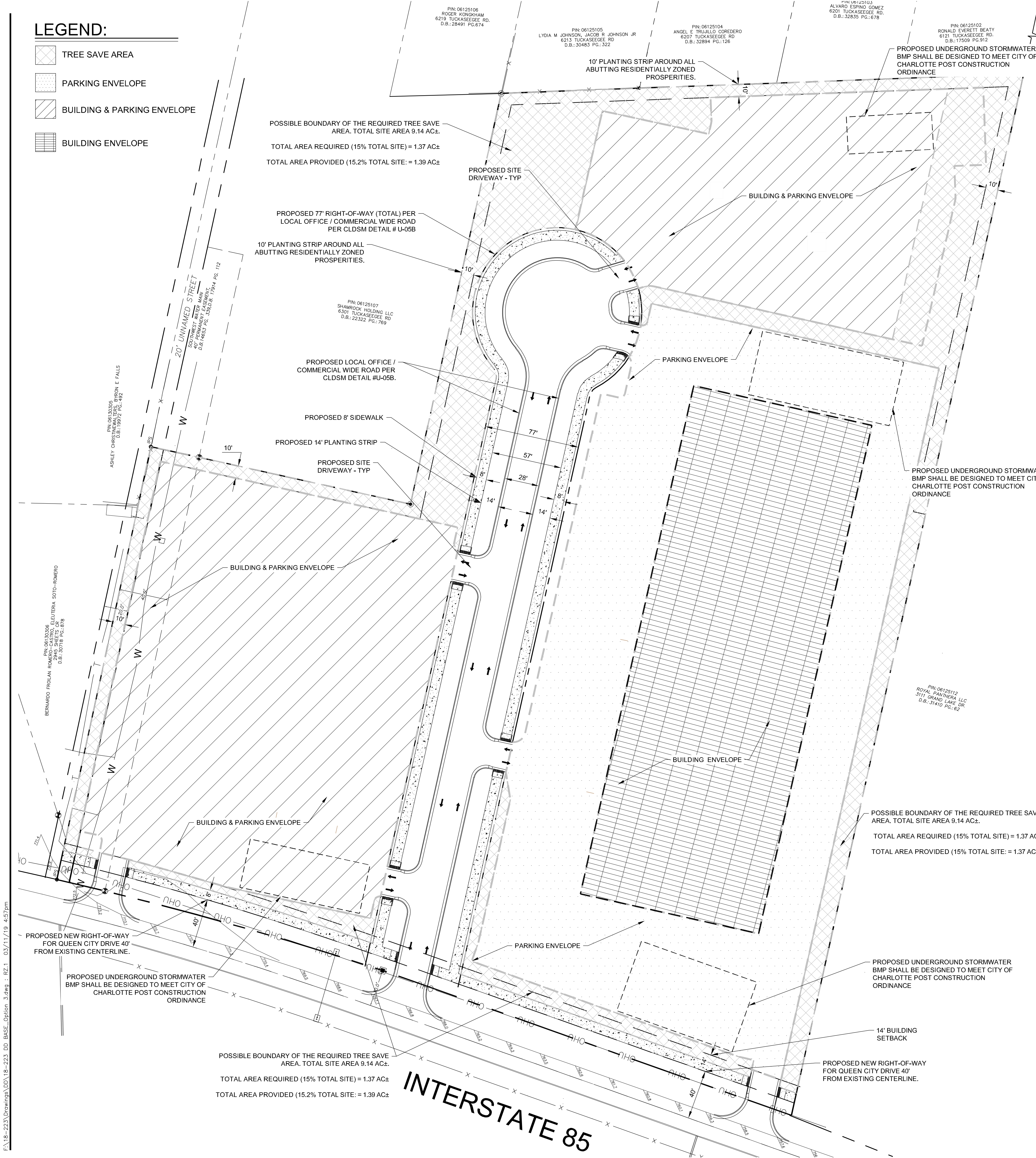
[Signature]
Signature of Petitioner

ANUJ N. MITTAL
(Name Typed / Printed)

F:\18-223\Drawings\DW\18-223 DO Base Option 3.dwg - RZ.1 03/11/19 4:57pm

LEGEND:

- TREE SAVE AREA
- PARKING ENVELOPE
- BUILDING & PARKING ENVELOPE
- BUILDING ENVELOPE



REZONING DEVELOPMENT STANDARDS

DEVELOPMENT DATA TABLE

SITE AREA: +/- 9 ACRES
TAX PARCEL: 061-251-08
EXISTING ZONING: R-17MF
PROPOSED ZONING: MUDD-O
EXISTING USE: VACANT
PROPOSED USES: USES PERMITTED IN MUDD ZONING DISTRICT, AS FURTHER RESTRICTED BELOW
MAX. BUILDING HEIGHT: UP TO 75 FEET
PARKING: SHALL SATISFY OR EXCEED ORDINANCE REQUIREMENTS

1. GENERAL PROVISIONS

THESE DEVELOPMENT STANDARDS AND THE TECHNICAL DATA SHEET FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY APOLLO HOLDING COMPANY, LLC TO REZONE PROPERTY TAX PARCEL 061-251-08 (THE "SITE") FROM THE R-17MF ZONING DISTRICT TO THE MUDD-O ZONING DISTRICT, AS DEPICTED ON THE REZONING PLAN (THE "SITE").

DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). THE REZONING PLAN IS INTENDED TO REFLECT MAXIMUM DEVELOPMENT RIGHTS, BUILDING ENVELOPES, THE ARRANGEMENTS AND LOCATIONS OF ACCESS POINTS.

UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MUDD ZONING DISTRICT SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.

ALTERATIONS OR MODIFICATIONS WHICH, IN THE OPINION OF THE PLANNING DIRECTOR, SUBSTANTIALLY ALTER THE CHARACTER OF THE DEVELOPMENT PROPOSED OR SIGNIFICANTLY ALTER THE REZONING PLAN OR THESE DEVELOPMENT STANDARD, CONSTITUTE CHANGES WHICH INCREASE THE INTENSITY OF DEVELOPMENT SHALL NOT BE DEEMED TO BE MINOR AND MAY ONLY BE MADE IN ACCORDANCE WITH THE PROVISIONS OF SUBSECTIONS 6.20(1) OR (2) OF THE ORDINANCE, AS APPLICABLE.

2. OPTIONAL PROVISIONS

a. THE PETITIONER REQUESTS THE ABILITY TO ALLOW PARKING AND MANEUVERING BETWEEN THE BUILDING(S) AND QUEEN CITY PARKWAY, AS GENERALLY DEPICTED ON THE REZONING PLAN. IN ORDER TO MITIGATE THIS REQUEST, THE PETITIONER SHALL PROVIDE ADEQUATE SCREENING THROUGH THE USE OF LOW WALL(S) AND/OR LANDSCAPING TO MINIMIZE THE VISIBILITY OF SUCH PARKING AND MANEUVERING AREAS.

3. PERMITTED USES

THE SITE MAY BE DEVOTED TO ANY COMMERCIAL USES PERMITTED BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE MUDD ZONING DISTRICT TOGETHER WITH ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH, EXCEPT FOR THE FOLLOWING:

- CAR WASHES;
- AUTOMOBILE SERVICE STATIONS; AND
- DRIVE-THROUGH SERVICE WINDOWS.

4. MAXIMUM DEVELOPMENT

THE PRINCIPAL BUILDINGS CONSTRUCTED ON THE SITE MAY BE DEVELOPED WITH (I) A MAXIMUM OF 250 HOTEL ROOMS AND (II) UP TO 100,000 SQUARE FEET OF GROSS FLOOR AREA OF NON-HOTEL RELATED COMMERCIAL USES PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE MUDD ZONING DISTRICT, INCLUDING OFFICE USES, ALONG WITH ANY ACCESSORY USES PERMITTED BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE MUDD ZONING DISTRICT.

a. CONVERSION RIGHTS. IN THE EVENT THAT 100,000 SQUARE FEET OF COMMERCIAL NON-HOTEL USES ARE NOT CONSTRUCTED ON THE SITE, UNUSED COMMERCIAL SQUARE FOOTAGE MAY BE CONVERTED TO HOTEL ROOMS AT A RATE OF ONE (1) HOTEL ROOM PER 1,000 SQUARE FEET OF COMMERCIAL SQUARE FOOTAGE SO CONVERTED. THUS, THE TOTAL NUMBER OF HOTEL ROOMS ON THE SITE MAY EXCEED 250 ROOMS IF UNUSED COMMERCIAL SQUARE FOOTAGE IS CONVERTED IN ACCORDANCE WITH THE ABOVE RATIO. HOWEVER, THE TOTAL NUMBER OF HOTEL ROOMS ON THE SITE SHALL NOT EXCEED 350 HOTEL ROOMS AT ANY TIME, INCLUDING CONVERSIONS.

b. FLOOR AREA CALCULATIONS FOR COMMERCIAL USES SHALL NOT INCLUDE AREAS USED FOR BUILDING AND EQUIPMENT ACCESS (SUCH AS STAIRS, ELEVATOR SHAFTS AND MAINTENANCE CRAWL SPACE), SERVICE AREAS, ROOFTOP EQUIPMENT ROOMS, LOADING DOCKS, TRASH/RECYCLING STORAGE AREAS, AND MECHANICAL AND ELECTRICAL ROOMS. AREAS DEVOTED TO OUTDOOR DINING, COURTYARDS AND PLAZAS ARE NOT INCLUDED IN THE SQUARE FOOTAGE LIMITATION, BUT OUTDOOR DINING AREAS FOR RETAIL EDEES SHALL BE COUNTED TOWARD THE REQUIRED PARKING CALCULATION.

5. TRANSPORTATION

a. VEHICULAR ACCESS POINTS SHALL BE LIMITED TO A MAXIMUM OF THREE (3) ACCESS POINTS ALONG QUEEN CITY BOULEVARD, AS GENERALLY DEPICTED ON THE REZONING PLAN.

b. WHERE NECESSARY, THE PETITIONER SHALL DEDICATE AND CONVEY IN FEE SIMPLE ALL RIGHTS OF WAY TO THE CITY OF CHARLOTTE BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED.

6. ARCHITECTURAL STANDARDS/STREETSCAPE AND LANDSCAPING

a. PREFERRED EXTERIOR BUILDING MATERIALS: ALL PRINCIPAL AND ACCESSORY BUILDINGS ABUTTING A NETWORK REQUIRED PUBLIC OR PRIVATE STREET SHALL COMPRISE OF BRICK, GLASS, NATURAL STONE (OR ITS SYNTHETIC EQUIVALENT), STUCCO, FIBER CEMENT, CORRUGATED METAL, STEEL ACCENTS, ARCHITECTURAL SHINGLES OR OTHER MATERIAL APPROVED BY THE PLANNING DIRECTOR.

b. PROHIBITED EXTERIOR BUILDING MATERIALS: THE PETITIONER WILL NOT UTILIZE (1) VINYL SIDING (BUT NOT VINYL HAND RAILS, WINDOWS OR DOOR TRIM) OR (2) CONCRETE MASONRY UNITS NOT ARCHITECTURALLY FINISHED.

c. METER BANKS WILL BE SCREENED WHERE VISIBLE FROM PUBLIC VIEW AT GRADE FROM PUBLIC OR PRIVATE STREETS AND SHALL BE LOCATED OUTSIDE OF THE SETBACK.

d. ROOFTOP HVAC AND RELATED MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW AT GRADE FROM PUBLIC OR PRIVATE STREETS.

e. DUMPSTERS, LOADING AND SERVICES AREAS SHALL BE SCREENED FROM STREETS, COMMON OPEN SPACES AND ANY ADJACENT RESIDENTIAL USES WITH MATERIALS COMPLIMENTARY TO THE PRINCIPAL STRUCTURE. DUMPSTER ENCLOSURES WILL NOT DIRECTLY ABUT THE BACK OF A SIDEWALK.

f. BACKFLOW PREVENTERS AND TRANSFORMERS SHALL BE SCREENED AND LOCATED OUTSIDE THE SETBACK, BUT CAN BE LOCATED IN A FOUR (4) FOOT TRANSITION ZONE.

7. ENVIRONMENTAL FEATURES

PETITIONER SHALL SATISFY THE REQUIREMENTS OF THE POST CONSTRUCTION CONTROLS ORDINANCE AND TREE ORDINANCE.

8. LIGHTING

ALL FREE-STANDING LIGHTING FIXTURES WILL BE SHIELDED WITH FULL CUT-OFF FIXTURES.

10. AMENDMENTS TO REZONING PLAN

FUTURE AMENDMENTS TO THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF A PARTICULAR TRACT WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

11. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.

THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.



SEALS:

PROJECT:

QUEEN CITY DR. CHARLOTTE CHARLOTTE, NC

CLIENT:

MJM Group
5720 Creedmoor Road
Suite 205
Raleigh, NC 27612
(919) 848-9969

DRAWN: KDB

DATE: 03/11/19

REVISIONS:

JOB. NO: 18-223

SHEET TITLE:

CONDITIONAL REZONING SITE PLAN

SCALE: AS NOTED

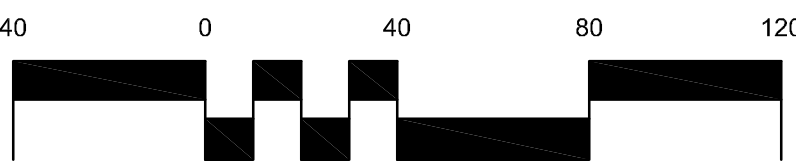
SHEET NO.:

RZ.1

© STIMMEL ASSOCIATES, P.A.

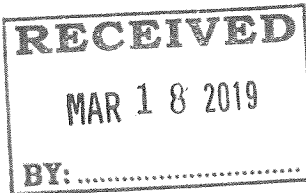


North



SCALE: 1" = 40'

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



Petition #: 2019-050
Date Filed: 3/18/2019
Received By: BH

1 of 2

Complete All Fields (Use additional pages if needed)

Property Owner: Bank of Hope

Owner's Address: 3200 Wilshire Blvd., Suite 700 City, State, Zip: Los Angeles, CA 90010

Date Property Acquired: 03/17/2017

Property Address: 2501 Crownpoint Executive Dr., Charlotte, NC 28227

Tax Parcel Number(s): 19311107

Current Land Use: None. Land holds a vacant building (formerly a restaurant) and associated parking area. Size (Acres): Approx. 1.45

Existing Zoning: B-D Proposed Zoning: B-2

Overlay: N/A Tree Survey Provided: Yes: N/A: X

Required Rezoning Pre-Application Meeting* with: John Kinley, Grant Neacci, Kent Main, Scott Correll, Isaiah Washington, Molly Haynes

Date of meeting: 01/29/2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team is held.)

For Conditional Rezonings Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5):

Purpose/description of Conditional Zoning Plan:

Christopher P. Raab, Esq.
Name of Rezoning Agent

121 W. Trade St., Ste. 2600
Agent's Address

Charlotte, NC 28202
City, State, Zip

704-377-1200 704-338-5858
Telephone Number Fax Number

craab@caudlespears.com
E-Mail Address

 03/12/19
Signature of Property Owner

Keith England, FVP & OREO Team Leader
(Name Typed / Printed)

Land Growth, LLC
Name of Petitioner(s)

13651 Statesville Road
Address of Petitioner(s)

Huntersville NC 28078
City, State, Zip

704-766-2121 704-766-2564
Telephone Number Fax Number

keffer.jim@gmail.com
E-Mail Address

See attached.
Signature of Petitioner

James L. Keffer, Manager
(Name Typed / Printed)

**I. REZONING APPLICATION
CITY OF CHARLOTTE**

Petition #:	<u>2019-050</u>
Date Filed:	_____
Received By:	_____

2 of 2

Complete All Fields (Use additional pages if needed)

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Date Property Acquired: 03/17/2017

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Purpose/description of Conditional Zoning Plan: _____

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Name of Rezoning Agent

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Charlotte, NC 28202
City, State, Zip

704-377-1200 704-338-5858
Telephone Number Fax Number

craab@caudlespears.com
E-Mail Address

Signature of Property Owner

(Name Typed / Printed)

Land Growth, LLC
Name of Petitioner(s)

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Address of Petitioner(s)

Huntersville NC 28078
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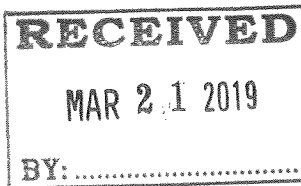
704-766-2121 704-766-2564
Telephone Number Fax Number

keffer.jim@gmail.com
E-Mail Address


Signature of Petitioner

James L. Keffer, Manager
(Name Typed / Printed)

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



Petition #: 2019-051
Date Filed: 3/21/2019
Received By: BH

Complete All Fields (Use additional pages if needed)

Property Owner: Joyce M. Green

Owner's Address: 4604 W. Sugar Creek Rd. City, State, Zip: Charlotte, NC 28269

Date Property Acquired: 09/2008

Property Address: 4604 W. Sugar Creek Rd., Charlotte NC 28269

Tax Parcel Number(s): 04310509

Current Land Use: Single Family Size (Acres): .656

Existing Zoning: Residential R-3 Proposed Zoning: Institutional CD

Overlay: _____ Tree Survey Provided: Yes: _____ N/A: X

Required Rezoning Pre-Application Meeting* with: Claire Lyte-Graham

Date of meeting: November 2018

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): _____

Purpose/description of Conditional Zoning Plan: _____

Joyce M. Green
Name of Rezoning Agent

4604 W Sugar Creek Rd
Agent's Address

Charlotte NC 28269
City, State, Zip

70-957-5783
Telephone Number Fax Number

Joygreen2002@yahoo.com
E-Mail Address

Joyce M. Green
Signature of Property Owner

Joyce M. Green
(Name Typed / Printed)

Joyce M Green
Name of Petitioner(s)

4604 W Sugar Creek Rd
Address of Petitioner(s)

Charlotte NC 28269
City, State, Zip

704-957-5783
Telephone Number Fax Number

Joygreen2002@yahoo.com
E-Mail Address

Joyce M. Green
Signature of Petitioner

Joyce M. Green
(Name Typed / Printed)

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
2. ALL DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. ALL TRADES SHOULD FIELD VERIFY ALL MEASUREMENTS AND CONDITIONS AND BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.
3. ALL WORK SHALL COMPLY WITH THE APPLICABLE GOVERNING CODES AS WELL AS POLICIES AND ORDINANCES ADOPTED BY THE CITY AND/OR COUNTY TO WHICH THE JOB BELONGS.
4. PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS ARE TO SUBMIT DRAWINGS OF THEIR WORK TO MECKLENBURG COUNTY FOR APPROVAL PRIOR TO COMMENCEMENT OF
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS INCLUDING THOSE FOR DESIGN-BUILD SYSTEMS (ELECTRICAL, PLUMBING, ETC.), ALL OF WHICH SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS.
6. THE GENERAL CONTRACTOR IS TO COORDINATE WORK BETWEEN ALL TRADES TO FINISH THE JOB SMOOTHLY AND IN A TIMELY MANNER.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PRESERVING ALL EXISTING-TO-REMAIN CONDITIONS AND UTILITIES FROM DAMAGE AT ALL TIMES DURING CONSTRUCTION.
9. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING-TO-REMAIN CONDITIONS THAT MAY OCCUR AT HIS COST.
10. THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT MAY REQUIRE REVISIONS TO THE DRAWINGS. NO DEVIATIONS FROM THE DRAWINGS WILL BE ALLOWED WITHOUT THE PROPER REVISIONS BEING MADE BY R.T.A.P. OR SIMILAR ACTIONS PERFORMED BY THE ARCHITECT AND THE APPROPRIATE REVISED DRAWINGS BEING ISSUED.
11. THE GENERAL CONTRACTOR IS TO SUBMIT SAMPLES OF SPECIFIED MATERIALS OR REQUIRE REVISIONS TO THE DRAWINGS. NO DEVIATIONS FROM THE DRAWINGS WILL BE
12. THE GENERAL CONTRACTOR IS TO INFORM THE OWNER AND ARCHITECT IMMEDIATELY OF THE DISCOVERY OF ANY UNFORESEEN FIELD CONDITIONS.
13. NO NEW CONSTRUCTION MAY COME INTO OR BEAR ON ANY DAMAGED PRE-EXISTING FRAMING OR FOUNDATION.
14. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PHASES AND CONDITIONS OF THE CONSTRUCTION AND IS TO COMPLY WITH ALL SAFETY MEASURES DURING CONSTRUCTION.
15. ALL SURFACES EXPOSED TO THE WEATHER SHALL BE COVERED WITH WEATHER RESISTIVE BARRIERS TO PROTECT THE INTERIOR WALL COVERINGS. EXTERIOR OPENINGS SHALL BE FLASHED TO MAKE THEM WEATHER PROOF.
16. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING ROUGH OPENINGS BEFORE ORDERING WINDOWS AND DOORS.
17. ALL NEW GLAZING SHALL HAVE ATTACHED LABELS CERTIFYING THE U-VALUES OF THE NEW GLAZING UNITS. FOR LOWER THAN REQUIRED U-VALUES, GLAZING SHOULD HAVE PERMANENT LABELS.
18. 2 x 6 FRAMING SHOULD BE USED AT ALL PLUMBING WALLS AND ANY BEARING WALLS CONTAINING PIPES OF 1-1/4" OR GREATER WHETHER SHOWN ON PLANS OR NOT.
19. 2 x 6 FRAMING SHOULD BE USED AT ALL PLUMBING WALLS AND ANY BEARING WALLS CONTAINING PIPES OF 1-1/4" OR GREATER WHETHER SHOWN ON PLANS OR NOT.
20. THE CONTRACTOR SHALL INSTALL FIRE BLOCKS AND DRAFT STOPS WHEREVER NEEDED.
21. CODE COMPLIANT HANDRAILS SHALL BE PLACES 36" ABOVE THE TREADS. GUARDRAILS SHALL BE PLACED 42" ABOVE THE FINISHED FLOOR. INTERMEDIATE PICKETS SHALL NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.
22. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH.
23. MAXIMUM FLOW RATE STANDARDS:
WATER CLOSEST: NOT TO EXCEED 1.28 GAL./FLUSH
SINGLE SHOWER HEAD: NOT TO EXCEED 2.0 GAL. @ 80 PSI.
RESIDENTIAL FAUCETS: NOT TO EXCEED 1.5 GAL. @ 60 PSI MIN. OR 0.8 GAL. AT 20 PSI.
KITCHEN FAUCETS NOT TO EXCEED 1.5 GAL. @ 60 PSI.
24. MECHANICAL VENTILATION FOR BATHROOMS SHALL PROVIDE AT LEAST 5 AIR CHANGES/HR.
25. THE CONTRACTOR SHALL KEEP AN AS-BUILT RECORD REFLECTING ALL CHANGES, ALTERATIONS, AND ANY APPROVED DEVIATIONS FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AT THE JOBSITE FOR DELIVERY TO THE ARCHITECT AFTER COMPLETION OF THE PROJECT.
26. THE CONTRACTOR IS FULLY RESPONSIBLE FOR COMPLYING WITH ALL CURRENT AND APPLICABLE CODES INCLUDING...
NC STATE BUILDING CODE
NC STATE RESIDENTIAL CODE
NC STATE MECHANICAL CODE
NC STATE ELECTRICAL CODE
NC STATE PLUMBING CODE
NC STATE FUEL GAS CODE
NC STATE FIRE CODE
NC STATE ENERGY CODE
NC ADMINISTRATIVE CODE AND POLICIES

SITE PLAN

LOT 3
BLOCK 3
0.615 AC
26,800 SF
TAX ID 04310509
MB 1844 PG 559
ZONED R-3

LOT 18
BLOCK 3
MB 2095 PG 409

LEGEND
RS#4-REBAR SET
IPF - PIPE FOUND
SF - SQUARE FEET
HCR-HANDICAP RAMP
MB - MAP BOOK
R/W - RIGHT OF WAY
DB - DEED BOOK
PG - PAGE
BOC - BACK OF CURB
CON-CONCRETE
AC - ACRE
UB - UTILITY BOX
GDW - GRAVEL DRIVEWAY
RY - REAR YARD
FY - FRONT YARD
SY - SIDE YARD
CP-COMPUTED POINT

A circular north arrow symbol with a stylized 'N' and a compass rose design.

LOT 2
BLOCK 3
MB 1844 PG 559

WEST SUGAR CREEK ROAD

SITE PLAN
SCALE: 1" = 50'-0" Site Plan - 07218

I. GENERAL PROVISIONS

a. The development of the Site will be governed by the attached plans and the City of Charlotte Developmnt standards.

b. Except as otherwise expressly specified on the Rezoning Plan, site elements may be subject to alterations or modifications, during design/development/construction phases, as long as the proposed improvements are in compliance with the accompanying Development Standards and Section 6.2(1) of the Ordinance.

c. To the extent of any conflict between the matters contained in other areas of the Rezoning Plan and the matters set forth in the Development Standards, the more restrictive shall govern.

II. PERMITTED USES:

a. The Petitioner's intent for the site is to rezone the existing property from R3 to Institutional CD to accommodate a Child Daycare Center in an existing residential structure. The new daycare will accommodate 40 students in a 2105 sf (maximum) building.

III. TRANSPORTATION:

a. Covered bicycle parking and bicycle racks will be provided according to City of Charlotte requirements.

IV. ARCHITECTURAL STANDARDS:

a. The Petitioner's intent for the site is to rezone the existing property from R3 to Institutional CD to accommodate a Day Care Center.

b. The building does not exceed the maximum allowed 40 feet in height.

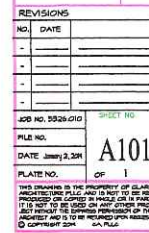
V. FIRE PROTECTION:

a. The Petitioner shall adhere to the requirements of the Charlotte Fire Department for this building type and use.

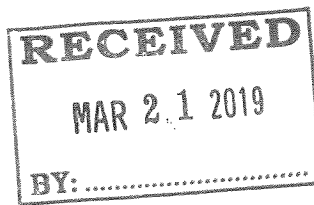
VI. SIGNAGE:

a. All project signs, banners, flags and pennants for identification or decoration must conform to the Ordinance.

PROJECT DATA	
<u>OWNER:</u> JOYCE GREEN <u>LEGAL DESCRIPTION</u> APN: 04310540 CONSTRUCTION TYPE: V2 CHARLOTTE, NC 28264 <u>DESIGN TEAM:</u> CLARY ARCHITECTURE PLLC C2 ENGINEERING SOLUTIONS HOWARD VERNA ENGINEERS&S	<u>PROJECT ADDRESS:</u> 4604 WEST SUGAR CREEK ROAD CHARLOTTE, NC 28264 ARCHITECTURE MECHANICAL & ELECTRICAL STRUCTURAL
SITE DEVELOPMENT DATA	
<u>ACREAGE:</u> TAX PARCEL ID: LEGAL DESCRIPTION EXISTING ZONING: PROPOSED ZONING: PRESENT USE: BUILDING AREA: PARKING REQUIREMENTS:	.815 ACRES 04310504 APN: 04310540 RESIDENTIAL (R3) INSTITUTIONAL (C2) AFTER-SCHOOL CARE CENTER 2105 SQUARE FEET 1 SPACE PER EMPLOYEE..... <u>4</u> 1 SPACE PER 10 CHILDREN..... <u>4</u> TOTAL PARKING SPACES REQUIRED..... <u>8</u>
SPECIAL NOTES	
<p>65% OF THE CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE RECYCLED. UNLESS SELF-HAILED BY THE OWNER OR BY THE CONTRACTOR OF THE PROJECT, THE USE OF ANY WASTE HAULER OTHER THAN THE CITY'S FRANCHISED HAULER, CR&C ENVIRONMENTAL SERVICES, TO Haul CONSTRUCTION DEBRIS IS PROHIBITED AND SUBJECT TO PERMIT SUSPENSION.</p>	
SQUARE FOOTAGE	
AREA	SQ. FT.
FIRST FLOOR	2080
PORCH	25
TOTAL SQUARE FOOTAGE	2105
VICINITY MAP	



**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-052

Petition #: _____
Date Filed: 3/21/2019
Received By: RH

Property Owners: The Ervin Building LLC

Owner's Addresses: 8334 Pineville Matthews Rd, Ste 103-256, Charlotte, NC 28220

Date Properties Acquired: 11/30/2018

Property Addresses: (1) 4001 E Independence Blvd, Charlotte, NC 28205,
(2) 4812 Bamboo St, Charlotte, NC 28205, and
(3) intersection of Pierson Drive and Bamboo Street, Charlotte, NC 28205

Tax Parcel Numbers: (1) 131-111-12,
(2) 131-111-10, and
(3) 131-111-01 (currently inadvertently listed as tax parcel # 131-111-10)

Current Land Use: vacant (Acres): ± 2.11

Existing Zoning: MUDD-O Proposed Zoning: MUDD-O SPA

Overlay: N/A
(Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Laura Harmon and Solomon Fortune

Date of meeting: 3/14/19

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezonings Only:

Requesting a vesting period exceeding the 2 year minimum? ☐Yes ☒No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To relocate the building improvements on which the specialty signage will be installed to a location that better showcases the historic Ervin/Varnadore building entrance in support of historic tax credit designation and expedites development at the corner of Wilshire Place and Independence Blvd.

Jeff Brown & Keith MacVean

Name of Rezoning Agent

Moore & Van Allen, PLLC
100 N. Tryon Street, Suite 4700

Agent's Address

Charlotte, NC 28202

704-331-1144 (JB) 704-378-1925(JB)
704.331.3531 (KM) 704-378-1954(KM)

Telephone Number Fax Number

jeffbrown@mvalaw.com ;
keithmacvean@mvalaw.com

E-mail Address

SEE ATTACHMENT A

Signature of Property Owner

Beaver Creek CRE LLC(Attn: Kirk Broadbooks)

Name of Petitioner

8334 Pineville Matthews Road, Ste. 103-256

Address of Petitioner

Pineville, NC 28134

City, State, Zip

704-869-2500 x243

Telephone Number Fax Number

kirk@gvestcapital.com

E-mail Address

SEE ATTACHMENT B

Signature of Petitioner

ATTACHMENT A

**REZONING PETITION NO. 2019-____
Beaver Creek CRE LLC**

**OWNER JOINDER AGREEMENT
The Ervin Building LLC**


The undersigned, as the owner of the parcels of land located at

1. 4001 E Independence Blvd, Charlotte, NC that is designated as Tax Parcel No. 131-111-12
2. 4812 Bamboo Street, Charlotte, NC that is designated as Tax Parcel No. 131-111-10
3. The intersection of Pierson Drive and Bamboo Street, Charlotte, NC that is designated as Tax Parcel No. 131-111-01

(currently inadvertently listed as tax parcel # 131-111-10) on the Mecklenburg County Tax Map and which is subject to the attached Rezoning Application (the "Parcel"), hereby joins in the Rezoning Applications and consents to the change in zoning for the parcels from MUDD-O zoning district to the MUDD-O SPA zoning district as more particular depicted on the related conditional rezoning plan, and to subsequent changes to the rezoning plan as part of this rezoning application.

This 18 day of March, 2019.

The Ervin Building LLC


By: 
Name: Raymond M. Gee
Its: Manager

ATTACHMENT B

**REZONING PETITION NO. 2019-
Beaver Creek CRE LLC**

Petitioner:

Beaver Creek CRE LLC

By: 
Name: Raymond M. Gee
Title: Manager



ADJACENT OWNERSHIP LISTINGS*

- EXECUTIVE BUILDING COMPANY LLC
Tax # 1311019
Zoning: B-2
Existing Use: Vacant Lot
- RICHARD AND RITA GUINEY
Tax # 1311011
Zoning: R-234F
Existing Use: Single Family
- BRIAN AND KATHY COSTANZA
Tax # 1311109
Zoning: R-4
Existing Use: Single Family
- GEORGE ZELECKI AND MARY JOAN
Tax # 1311108
Zoning: R-4
Existing Use: Single Family
- ROBERT AND KIM KALOUSEK
Tax # 1311106
Zoning: R-4
Existing Use: Single Family
- JAMES AND ELIZABETH MATTHEWS
Tax # 1311107
Zoning: R-4
Existing Use: Single Family
- TRACY PERREAULT
Tax # 1311105
Zoning: R-4
Existing Use: Single Family
- MERFEN B TESFAGABIR
Tax # 1311104
Zoning: R-4
Existing Use: Single Family

- HELMS RENTAL LLC
Tax # 1311103
Zoning: R-4
Existing Use: Single Family
- JAMES WINKLE
Tax # 1311102
Zoning: R-4
Existing Use: Single Family
- CHARLOTTE LP ADAMS OUTDOOR
ADVERTISING
Tax # 1311330
Zoning: B-2
Existing Use: Open Storage Lot
- UHAUL REAL ESTATE CO.
Tax # 1311331
Zoning: B-2
Existing Use: Open Storage Lot



VICINITY MAP
SCALE: 1" = 1000'

SITE INFORMATION

SITE AREA	2.11 ACRES (+/- 91,911.60 SQFT)
TAX PARCEL(S) INCLUDED WITHIN THE AREA TO BE REZONED	13111112, 13111110, 13111101
EXISTING ZONING	MUDD-O
EXISTING USES	VACANT STRUCTURES: RETAIL, OFFICE AND PARKING
PROPERTY OWNERS	BEAVER CREEK, LLC C/O 4037 E. INDEPENDENCE BLVD CHARLOTTE, NC 28205

NOTES:
EXISTING CONDITION PLAN DERIVED FROM VARYING SOURCES (I.E. MULTIPLE SURVEYS, GIS, AERIAL RECONNAISSANCE, AND SITE OBSERVATIONS). ACTUAL SITE AND/OR CONTEXT CONDITIONS MAY VARY. TO THE FULL KNOWLEDGE OF THE PETITIONER ALL KNOWN EXISTING EASEMENTS AND ROW RESERVATIONS ARE SHOWN.

KEY MAP

REAL

SITE PLAN
AMENDMENT

REZONING
PETITION NO.
2019-

PROJECT

ERVIN BUILDING
REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE
BOULEVARD
CHARLOTTE, NC 28205

LAND DESIGN PROJECT #
1017337

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	REZONING SUBMITTAL	10-23-2017
1	CITY COMMENTS	12-11-2017
	CITY COMMENTS	01-22-2018
	REVISIONS PER NCDOT/CITY	04-20-2018
	REV. PER CITY - BLDG. SHIFT	05-21-2018
A	SPA	02-12-2019

DESIGNED BY: LD
DRAWN BY: LD
CHECKED BY: RJP

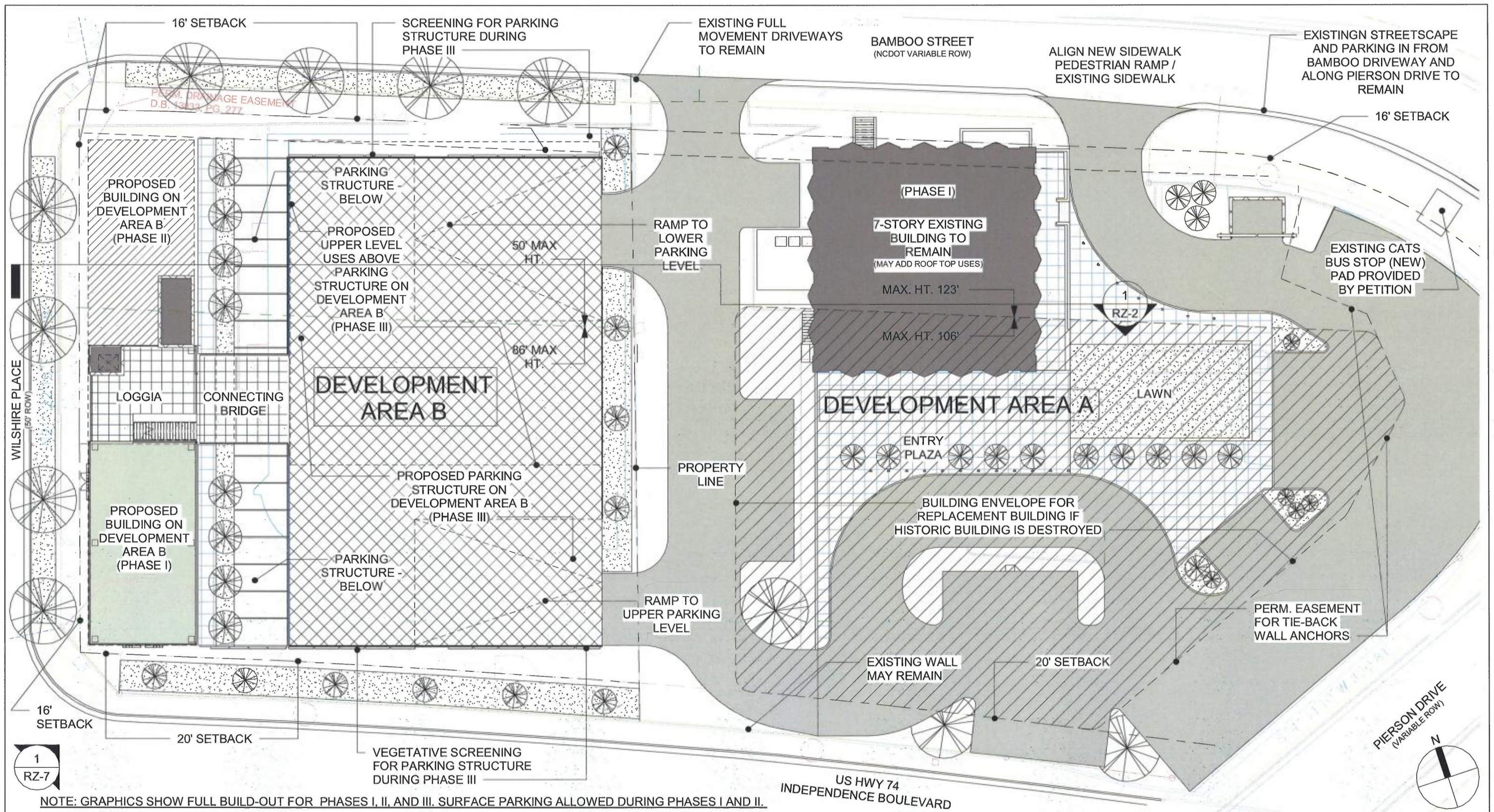
SCALE

VERT: N/A
HORZ: 1"=30'
0 15 30 60

EXISTING
CONDITIONS

SHEET NUMBER

RZ-0



**McCLURE
NICHOLSON
MONTGOMERY**
a r c h i t e c t s

BEAVER CREEK CRE, LLC

HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Conceptual Site Plan

Project number -
Date 02.18.2019

RZ-1

Scale 1" = 30'-0"

Beaver Creek CRE LLC
Development Standards
February 12, 2019
Rezoning Petition No. 2019-

Site Development Data:
--Acreage: 2.11 acres
--Tax Parcel #: 131-111-12; 131-111-10 & 131-111-01
--Existing Zoning: MUDD-O
--Proposed Zoning: MUDD-O-SPA
--Existing Uses: Vacant/abandoned commercial/office buildings
--Proposed Uses: Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the MUDD-O zoning district and/or the Optional Provisions below, as more specifically described below in Sections 2 and 3.
--**Maximum Gross Square Feet of Development:** (i) Within Development Area A, up to 45,000 square feet of gross floor area of allowed uses (subject to the right of transfer of Development Area A from Development Area B if the existing building is destroyed in Section 3); and (ii) within Development Area B up to 57,000 square feet of gross floor area of allowed uses (subject to reduction as described above and in Section 3); each of (i) and (ii) together with accessory uses as allowed in the MUDD-O zoning district; and each as more specifically described below in Section 3.
--**Maximum Building Height:** The height of the existing building within Development Area A may be increased up to a total height not to exceed 123 feet (see Optional Provision in Section 2 below), and if the existing building is destroyed the replacement building may not exceed a maximum height of 106 feet and may be located within the building envelope depicted on Sheet RZ-1. The building to be constructed within Development Area B will not exceed a maximum height of (i) 50 feet at the building setback along Bamboo Street and (ii) 36 feet for the portion of the building stepped back from Bamboo Street in the manner depicted on the Rezoning Plan. Height to be measured as required by the Ordinance.
--**Parking:** Parking will be provided as required by the Ordinance.

I. General Provisions:

a. **Site Location.** These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Beaver Creek CRE LLC ("Petitioner") to accommodate the redevelopment of certain land and improvements thereon containing approximately 2.11 acres located at the intersection of Hwy 74 (Independence Blvd.) and Pierson Drive (the "Site") to permit a new mixed use development. It is understood that the Site includes two (2) Development Areas, namely "Development Area A" and "Development Area B" (each may be referred to as a "Development Area" or collectively as the "Development Areas") as generally depicted on the Rezoning Plan.

b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance" for MUDD-O district. Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the MUDD-O zoning classification shall govern, as modified by the Optional Provisions below.

c. **Graphics and Alterations.** The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets, and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.

d. **Number of Buildings Principal and Accessory.** The total number of principal buildings to be developed on the Site shall not exceed two (2); provided, however, the building on Development Area B can be constructed in several phases and shall be considered as one building with the enclosed heated ground floor connecting space as generally depicted on the Rezoning Plan, all of which shall be considered as one (1) building as long as they are attached in some manner whether by wall, enclosed arch/breezeway or similar structure. Accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, textures, and designs as the principal building located on a Development Area to which such improvements relate.

e. **Planned/Unified Development.** The Site shall be viewed as a planned/unified development plan as to the elements and portions of the Site generally depicted on the Rezoning Plan. As such, side and rear yards, buffers, building height separation standards, FAR requirements, and other similar zoning standards will not be required internally between improvements and other Development/Site Elements located within the Site. Furthermore, the Petitioner and/or owner of the portion of the Site reserve the right to subdivide the portions or all of the Site within the Development Areas and create lots within the interior of the portion of the Site within such Development Areas without regard to any such internal separation standards than those expressly set forth and FAR requirements, provided, however, all such separation standards along the exterior boundary of the Site and those expressly described in the Rezoning Plan shall be adhered to. In addition, all FAR requirements will be regulated by any development limitations set forth in this Rezoning Plan as to the Site as a whole and not individual portions or lots located therein.

f. **Personal Services.** The terms "personal services" and/or "personal services" (whether capitalized or not) will mean and refer to uses that primarily provide or sell a service to customers versus the selling of goods. A personal service use may also sell products or merchandise but the sale of products and merchandise is typically ancillary. Examples of Personal Service uses include but are not limited to: beauty salons and barber shops, spas, yoga and exercise studios, fitness and wellness facilities, nail salons, martial art training studios, laundries and dry cleaning establishments, locksmiths, funeral homes and the like.

g. **EDEE Uses.** References to the term "EDEE" shall mean "Eating Drinking Entertainment Establishments" as defined in the Ordinance and shall include without limitation Limited Service Restaurants. A "Limited Service Restaurant" or "limited service restaurant" (whether capitalized or not) shall mean a restaurant with no more than 3,000 square feet of gross floor area serving primarily items such as coffee, ice cream, yogurt, juices, bagels/muffins, pastries, sandwiches and similar foods that do not require on-premise cooking of food (other than heating and the baking of premixed dough), together with associated accessory uses.

h. **Gross Floor Area.** When determining the maximum development levels set forth in this Rezoning Plan, gross floor area as defined in the Ordinance shall exclude any surface or structured parking facilities (including, without limitation, overdecks, and elevators within such facilities), enclosed loading dock/service areas and heated or unheated breezeway connectors.

2. Optional Provisions.
The following Optional Provisions shall apply to the Site:

a. **Height of Existing Building within Development Area A.** The height of the existing building located on Development Area A may be increased up to a total building height of 123 feet.

b. **Development Area B Specialty Signage.** Within Development Area B, the Petitioner shall be permitted to locate on building improvements located at the corner of Wilshire Place and Independence Boulevard in the manner generally depicted on the Rezoning Plan ("Specialty Signage"), it being understood that such signage may contain up to 725 square feet of sign surface area per wall and/or sign surface area. Conceptual renderings of the Specialty Signage are generally depicted on the Rezoning Plan (the actual installed improvements may vary from such renderings as long as the overall design intent is met and the above specifications are followed).

In connection with the Specialty Signage, the following additional requirements shall apply:

(x) such Specialty Signage shall not be installed on a wall sign surface area or portion of the building improvements facing directly toward Bamboo Drive along the edge directly opposite Independence Boulevard;

(y) the Specialty Signage shall be digital and LED in nature (or of similar technology) with digital components and the features that allow dimming of the Specialty Signage to adjust for ambient conditions;

(z) the Petitioner shall explore the incorporation of solar panels or some other alternative energy source as part of the building improvements upon which the Specialty Signage is placed within Development Area B, to support efficient power supply for the Specialty Signage, and if feasible to incorporate some material level of such alternative energy source; and

(q) the Specialty Signage will not become operable until issuance of the certificate of occupancy for the renovated existing building within Development Area A.

c. **Detached Ground Mounted Signs.** To allow one detached ground mounted sign along Independence Boulevard with a maximum height of 20 feet and containing up to 150 square feet of sign area and to allow one detached ground mounted sign along each of the other public streets (Wilshire, Bamboo, and Pierson) in accordance with MUDD permitted dimensions and heights.

d. **Parking/Maneuvering on Development Area A.** To allow parking and maneuvering between the building on Development Area A and Independence Boulevard, Bamboo Street and Pierson Drive.

e. **Parking/Maneuvering on Development Area B.** To allow surface parking and maneuvering within Development Area B without regard to building locations or existence of buildings on the Site and as generally depicted on the Rezoning Plan until such time as "Phase II and Phase III Development" takes place on Development Area B. Parking and maneuvering may not be located between the building and adjacent public streets on Development Area B after the issuance of certificate of occupancy associated with construction of improvements associated with Phase III development of Development Area B, or the building portions associated with earlier Phase I and Phase II as to such building portions, as described on the Rezoning Plan. For clarity, once a portion of the building to be located on Development Area B is built (in phases as allowed herein), no parking or maneuvering may occur between such built portion of the building and the adjacent street but parking and maneuvering may be located to the side of the same.

f. **Streetscape Optional Provisions.** To not require a sidewalk nor planting strip along the Site's frontage with Independence Boulevard, and to allow the existing streetscape located along Pierson Drive and that portion of Bamboo near Pierson Drive as shown on the Rezoning Plan to remain.

Note: The optional provisions regarding signs are additions/modifications to the standards for signs on the Site and are to be used with the remainder of MUDD standards for signs not modified by these Optional Provisions.

3. Permitted Uses & Development Area Limitation:

a. **Development Area A.** Subject to and including the provisions set forth in Section 3 herein (including for instance transfer and conversion rights), Development Area A may be developed for up to 45,000 square feet of gross floor area of uses (see definition of gross floor area above) allowed in the MUDD-O zoning district, together with accessory uses as allowed in the MUDD-O zoning district and per the Optional Provisions of Section 2 above.

In addition, in the event the existing building is destroyed by fire or other casualty so that rebuilding the existing building is impractical or not prohibitive, a replacement building may be constructed in lieu of the existing building within the building envelope generally depicted on Sheet RZ-1; in such event, the total square footage

allowed within Development Area A may be increased by 30,000 square feet of gross floor area to a total of 75,000 square feet of gross floor area of uses allowed within Development Area A (including, without limitation, the Rooftop Active Uses), and the permitted square footage within Development Area B reduced accordingly so that the total square footage of the Site shall not exceed 102,000 square feet of gross floor area.

Furthermore, no more than 6,000 square feet of gross floor area within Development Area A may be used for retail, EDEE or Personal Services uses (excluding such uses deemed accessory to office uses on Development Area A); such 6,000 square feet of gross floor area limitation shall include rooftop active uses (the "Rooftop Active Uses") such as EDEE uses and similar uses occupying up to but not exceeding 4,500 square feet of area (enclosed or open air) on or near the roof of the building within Development Area A (the "Rooftop Active Area") and any such roof/terrace within the remainder of the building. The Rooftop Active Area shall be designed with opaque wall or similar barrier located along the side of the building directly facing Bamboo Drive and shall have hours of operation no later than 11:00 P.M. E.S.T.

b. **Development Area B.** Development Area B may be developed with up to 57,000 square feet of gross floor area of uses (see definition of gross floor area above) allowed in the MUDD-O zoning district, including accessory uses as allowed in the MUDD-O zoning district; provided, however, such amount may be reduced as described in Section 3.a. Furthermore, no more than 12,000 square feet of retail, EDEE or Personal Services uses (excluding such uses deemed accessory to office uses on Development Area B) shall be permitted on Development Area B, unless more square feet of such uses is added by way of a corresponding reduction from Development Area A.

c. **No gas/convenience store use** may be permitted on the Site.

d. **Phased Development of Development Area B.** As generally depicted on Sheet RZ-1, Development Area B is contemplated to be developed in three (3) phases, the first such Phase I Development to reflect demolition of the existing building on Development Area B and the replacement thereof with the new building at the corner of Wilshire Place and Independence Boulevard which is expected to contain permitted uses and the Specialty Signage along with surface parking; the second such Phase II Development to reflect permitted uses and a continuation of the building along Wilshire Place along with surface parking; and a third phase with permitted uses and associated structured parking facility on the remainder of Development Area B. Certain screening improvements and landscaping as described below in Section 5.c shall be installed on Development Area B prior to completion of the surface parking allowed on Development Area B as part of Phase I Development.

e. **Renovation of Existing Building & Construction of Building Addition on Development Area A.** Development Area A shall be redeveloped in a manner that renovates the existing building located on Development Area A.

f. **Conversion of Commercial Uses to Hotel Rooms on Development Area A.** Hotel rooms may be developed within Development Area A by converting commercial uses (e.g. office, retail, EDEE and Personal Services uses) into hotel rooms at the rate of 300 square feet of gross floor area of such commercial uses so converted for one (1) hotel room added, up to a maximum of 100 hotel rooms so converted.

g. **Records of Entitlement & Transfers/Conversions; Administrative Amendments.** Prior to any transfer/conversion of entitlement pursuant to subsections 3.a. and f. above, the Petitioner or owner of the applicable Development Area involved in the transfer/conversion under request shall provide to the Planning Department a written request for such transfer/conversion as well as an updated entitlement summary for development. Furthermore, the results of such conversions shall be evidenced by an administrative site plan amendment.

4. Access & Transportation/Ped Improvements:

a. Access to the Site will be from Bamboo Street in the manner generally depicted on the Rezoning Plan.

b. The Petitioner will install a left-turn lane from Pierson Drive onto Bamboo Street as generally depicted on the Rezoning Plan; provided, however, such left-turn lane will be created by re-striping the existing pavement on Pierson Drive and shall not be required if it cannot be accomplished in this manner.

c. The Petitioner will convert the existing monolithic concrete island at the intersection Bamboo Street and Pierson Drive to also serve as pedestrian refuge island while still channeling traffic as currently does. The existing accessible ramps on Bamboo would be relocated to coincide with the redesigned monolithic concrete island and the new pedestrian refuge island.

d. Streetscape improvements along Wilshire Place will be installed in the manner generally depicted on Sheet RZ-3 prior to the issuance of the first certificate of occupancy for new development taking place on the Site.

e. The Petitioner will provide a sidewalk easement for any of the proposed sidewalks that fall outside of the existing right-of-ways.

f. The proposed transportation improvements shall be approved and constructed prior to the issuance of the first certificate of occupancy for the Site. The Petitioner may post a bond for any improvements not completed at the time the first certificate of occupancy is issued.

g. Petitioner will submit a Technical Transportation Memo to NCDOT and CDOT during permitting (or such other time acceptable to NCDOT) and any transportation improvements specifically identified will be undertaken by Petitioner at such time acceptable to NCDOT.

5. Architectural and Site Design Standards:

a. **Building Materials Generally.** The building materials used on the principal buildings constructed on Site will be a combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, decorative block and/or wood. Vinyl or aluminum as a building material may only be used on windows, soffits, awnings and on handrails/railings, however standing seam metal is permitted as a decorative architectural element. Furthermore, the building elevations (excluding structured parking facilities) on public streets shall be constructed so that at least 40% of the elevation fronting public streets, exclusive of windows, doors, and roofs, will be constructed utilizing the following materials: brick, synthetic brick, stone, precast stone, precast concrete, synthetic stone, and decorative block. The use of decorative block will be limited to a maximum of 25% of any building elevation.

b. **Structured Parking Deck.** Parking deck structures shall be designed to materially screen the view of parked cars from adjacent public streets and screening of cars parked on the upper level will be accomplished by a wall at least 36 inches in height, designed as part of the parking deck structure. Building materials associated with facades on parking deck structures that are generally compatible in character with nearby buildings will be created taking into consideration differences associated with parking deck structures.

c. **Murals on Existing Retaining Walls.** The Petitioner will commission and install mural(s) on portions of the existing retaining wall located within the right-of-way of Pierson Drive and Bamboo Street subject to the approval of NCDOT and/or CDOT. If so approved, the mural(s) will be installed prior to the issuance of a certificate of occupancy for the existing building within Development Area A or prior to the issuance of a certificate of occupancy for a new building within Development Area A should the existing building be demolished per Section 3.e, and a new building is constructed. Petitioner or the owner of Development Area A will maintain such mural(s).

d. **Building Placement and Site Design Standards.** New building placement and site design shall focus on and enhance the pedestrian environment on public streets, through the following (the following shall not apply to renovation of existing building(s) on the Site):

i. New buildings on Development Area B shall be placed so as to present a front or side facade to Wilshire Place and Bamboo Street (i.e. the rear or the service side of the buildings may not be oriented toward Wilshire or Bamboo Street); provided, however, the buildings may be undertaken in phases as described above.

ii. The building located on Development Area B as part of Phase I and II development shall include installation of active use space along the building edge fronting Wilshire Place for a minimum of sixty percent (60%) of each frontage; provided, however, this shall not apply to the Phase I development of the building located at the corner of Wilshire Place and Independence Boulevard as described above.

iii. New building facades fronting Wilshire Place or Bamboo Street on Development Area B for the Phase II and Phase III development shall include a combination of windows and operable doors for a minimum of 80% of each frontage elevation transparent glass between 2' and 10' on the first floor. Up to 10% of this requirement may be comprised of display windows. These display windows must maintain a minimum of 3'-0" clear depth between window and rear wall. Windows within this zone shall not be screened by film, decals, and other opaque material, glazing finishes or window treatments. The maximum sill height for required transparency shall not exceed 4'-0" above adjacent street sidewalk. This standard will not apply to parking structures constructed on the Site.

iv. The facades of first/ground floor of new buildings along streets shall incorporate a minimum of 20% masonry materials such as brick, stone and pre-cast.

v. Direct pedestrian connection for new buildings should be provided between new street facing doors, corner entrance features to the sidewalks along Wilshire and Bamboo, except that the Phase I development building shall not require an entrance on the side facing Bamboo pending installation of the Phase II improvements.

vi. New operable door spacing for new building along Wilshire Place and Bamboo shall not exceed 75 feet on the new building constructed on the Site.

vii. New building elevations shall not have expanses of blank walls greater than 20 feet in all directions and architectural features such as but not limited to banding, medallions or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.

viii. New building elevations shall be designed with vertical bays or articulated architectural features which shall include a combination of at least three of the following: a combination of exterior wall offsets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.

6. Streetscape and Screening:

a. The Petitioner will provide a sidewalk network that links each building on the Site to the sidewalks along Wilshire Place and Bamboo Street in the manner generally depicted on the Rezoning Plan. The minimum width for these internal sidewalks will be five (5) feet.

b. Any new buildings constructed within Development Areas A and B will maintain a minimum building setback (i.e. not applicable to surface parking) of 20 feet along Independence Boulevard as measured from the existing back of curb. A 16 foot setback as measured from the existing curb will be maintained along Wilshire Place and Bamboo Street. The setback along Pierson Drive will be the existing right-of-way line (the width of the right-of-way along Pierson Drive varies) as generally depicted on the Rezoning Plan.

c. The Petitioner will close, cover, or remove the existing stairs along Bamboo Street that lead to the existing basement of the building. If not required to be an egress point by building standards.

d. Meter banks will be screened from view from adjacent public streets at grade. HVAC and related mechanical equipment will be screened from public view at grade.

e. Above-ground backflow preventers will be screened from public view and will be located outside of the required setbacks.

f. Dumpster areas and recycling areas will be enclosed by a solid wall or fence with one side being a decorative gate. The wall or fence used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the principal building.

g. Screening of the surface parking areas associated with Phase I Development on the Site shall be a four (4)

foot mature height evergreen hedge as generally depicted on the Rezoning Plan. The proposed screening may be located within the setback and within the right-of-way along Independence Boulevard, Pierson Drive and a portion of Bamboo Street close to Pierson as generally depicted on the Rezoning Plan; approval by NCDOT to locate screening in such rights-of-way is required and if not granted Petitioner shall work with NCDOT to obtain suitable substitute screening if so granted by NCDOT.

7. Environmental Features:

a. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Ordinance.

b. The Site will comply with the Tree Ordinance.

8. Signage:

a. Signage as allowed by the MUDD-O zoning district in the MUDD-O Area may be provided and as allowed in the MUDD-O Optional Provisions set forth above.

9. Lighting:

a. All new detached and attached lighting shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.

b. Detached lighting on the Site will be limited to 26 feet in height.

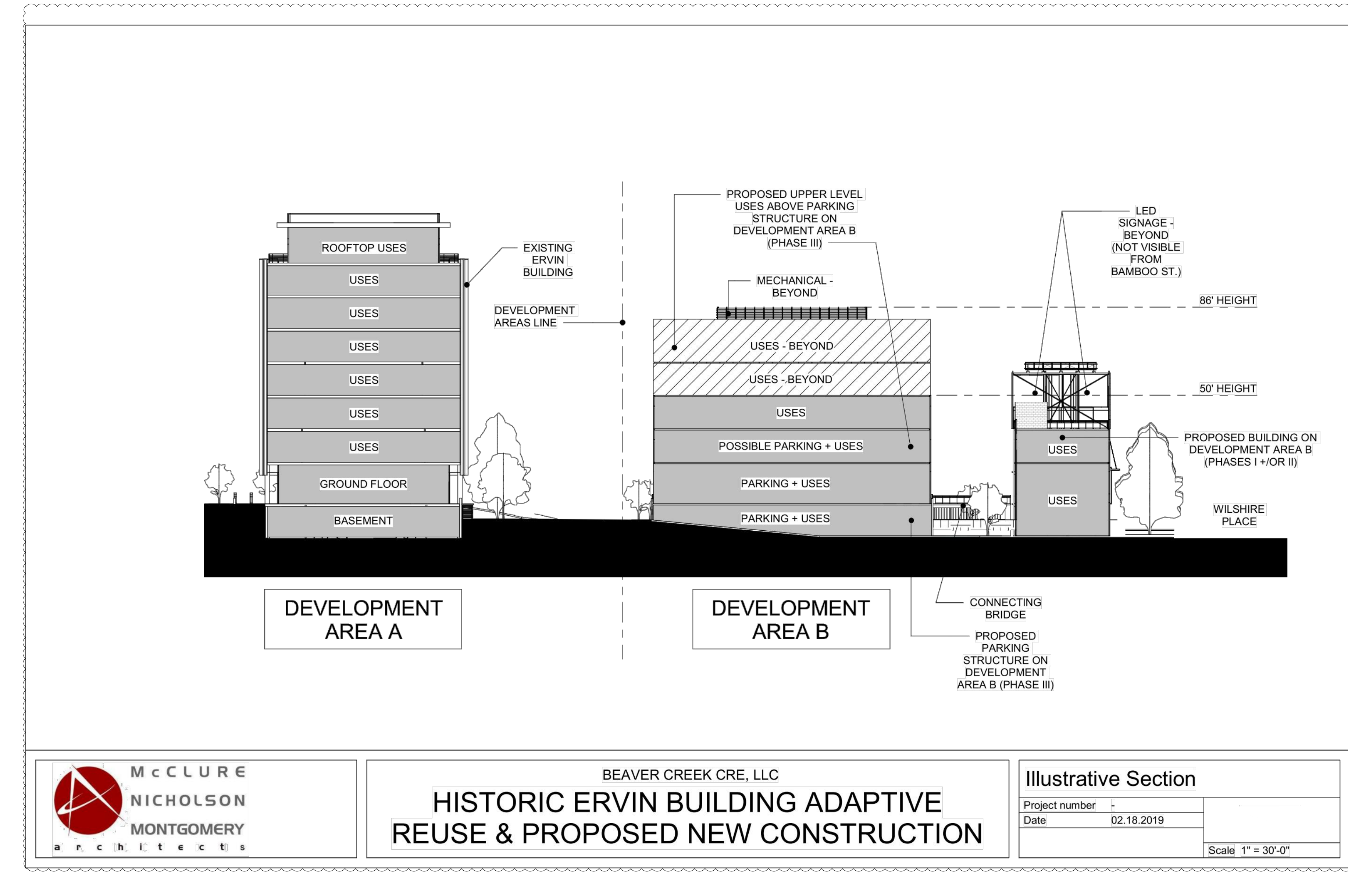
c. Subject to the approval of NCDOT the Petitioner will install street lights along Bamboo Street prior to the issuance of a certificate of occupancy for the existing building within Development Area A or the first new building constructed on the Site.

10. Amendments to the Rezoning Plan:

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the portion of the Development Area (or subdivision thereof) affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.

11. Binding Effect of the Rezoning Application:

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.



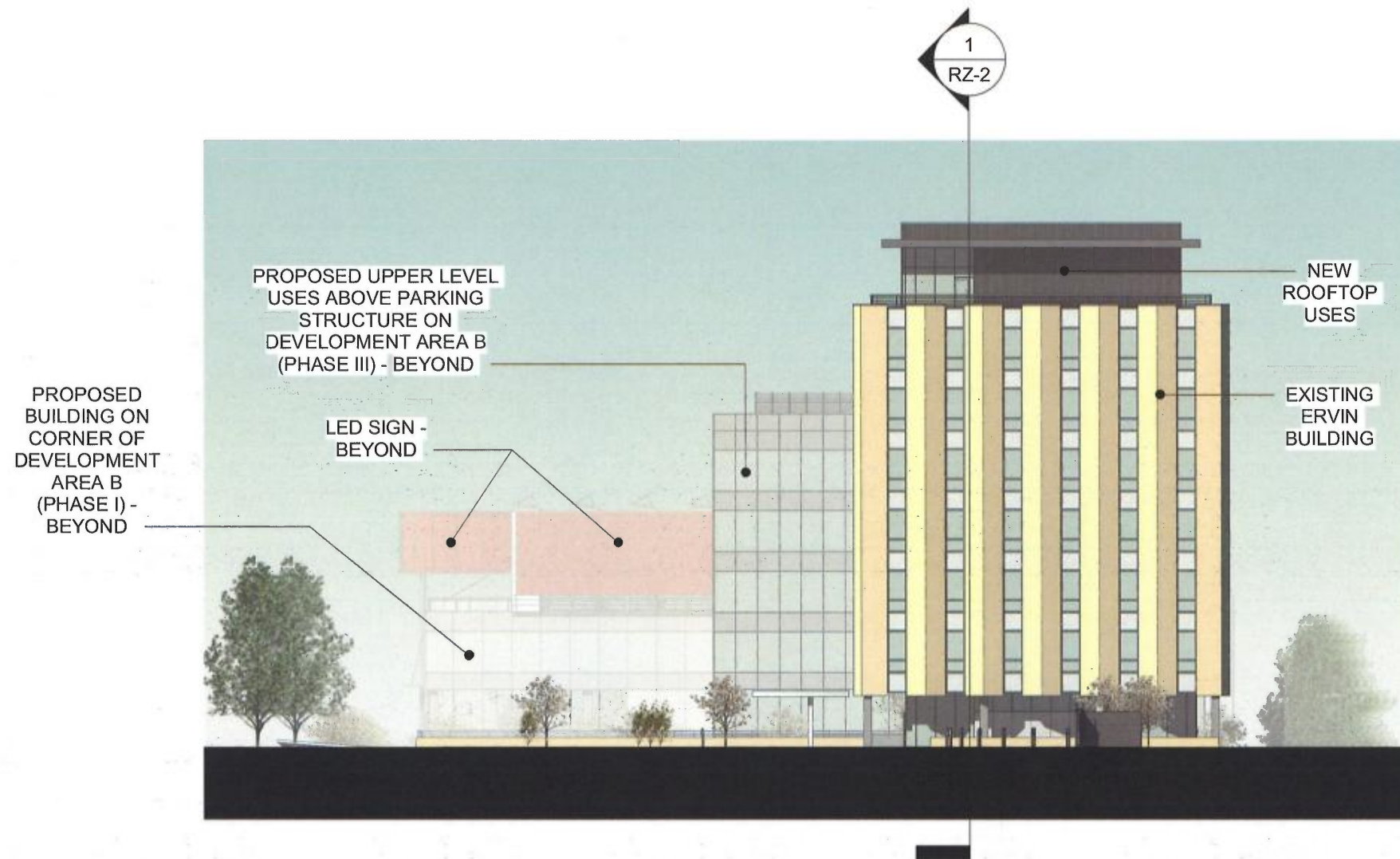
SITE PLAN AMENDMENT

REZONING PETITION NO. 2019-

ERVIN BUILDING REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE
BOULEVARD
CHARLOTTE, NC 28205

REVISION / ISSUANCE		
NO.	DESCRIPTION	DATE
	REZONING SUBMITTAL	10-23-2017
1	CITY COMMENTS	12-11-2017
2	CITY COMMENTS	01-22-2018
3	REVISIONS PER NCDOT/CITY	04-20-2018
	REV. PER CITY - BLDG. SHIFT	05-21-2018
A	SPA	02-12-2019
DESIGNED BY: LD		
DRAWN BY: LD		
CHECKED BY: RJP		
SCALE: NORTH		
VERT: N/A		
HORZ:		
SHEET TITLE: DEVELOPMENT STANDARDS AND ILLUSTRATIVE SECTION		
SHEET NUMBER		



VIEW OF SITE FROM PIERSON DRIVE

NOTE: GRAPHICS SHOW FULL BUILD-OUT FOR PHASES I, II, AND III. SURFACE PARKING ALLOWED DURING PHASES I AND II.

NOTE: GRAPHICS DEPICT CONCEPTUAL ELEVATION UPON FULL BUILD-OUT TO INCLUDE PHASES I, II, AND III; ACTUAL ELEVATION MAY VARY FROM ABOVE AS LONG AS OVERALL DESIGN INTENT IS MAINTAINED.

Site Plan Amendment

FEBRUARY 18, 2019

REZONING PETITION NO. 2019-

ERVIN BUILDING REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE BLVD.
CHARLOTTE, NC 28205



McCLURE
NICHOLSON
MONTGOMERY

a r c h i t e c t s

BEAVER CREEK CRE, LLC

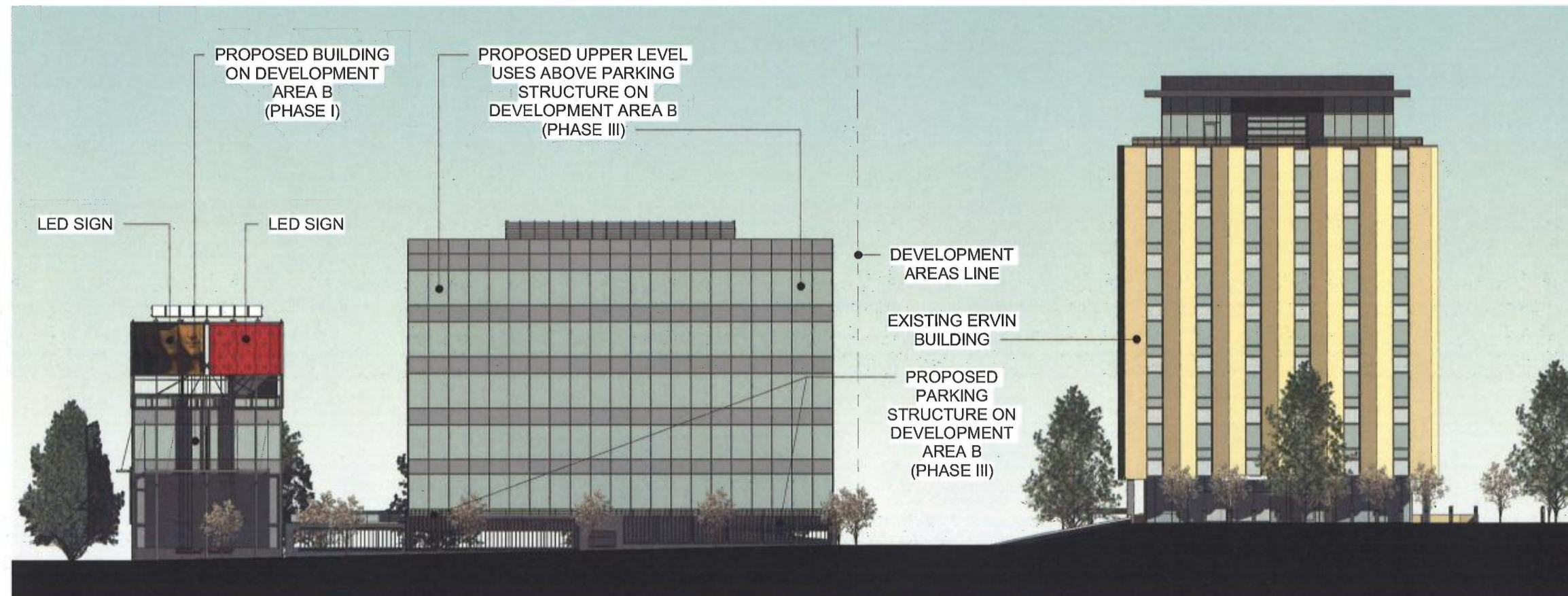
HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Illustrative East Elevation

Project number -
Date 02.18.2019

RZ-3

Scale 1" = 30'-0"



VIEW FROM INDEPENDENCE BLVD.

NOTE: GRAPHICS SHOW FULL BUILD-OUT FOR PHASES I, II, AND III. SURFACE PARKING ALLOWED DURING PHASES I AND II.

NOTE: GRAPHICS DEPICT CONCEPTUAL ELEVATION UPON FULL BUILD-OUT TO INCLUDE PHASES I, II, AND III; ACTUAL ELEVATION MAY VARY FROM ABOVE AS LONG AS OVERALL DESIGN INTENT IS MAINTAINED.



McCLURE
NICHOLSON
MONTGOMERY

a r c h i t e c t s

BEAVER CREEK CRE, LLC

HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Illustrative South Elevation

Project number -
Date 02.18.2019

RZ-4

Scale 1" = 30'-0"

Site Plan Amendment

FEBRUARY 18, 2019

REZONING
PETITION NO.
2019-167

ERVIN BUILDING REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE BLVD.
CHARLOTTE, NC 28205



NOTE: GRAPHICS SHOW FULL BUILD-OUT FOR PHASES I, II, AND III. SURFACE PARKING ALLOWED DURING PHASES I AND II.

NOTE: GRAPHICS DEPICT CONCEPTUAL ELEVATION UPON FULL BUILD-OUT TO INCLUDE PHASES I, II, AND III; ACTUAL ELEVATION MAY VARY FROM ABOVE AS LONG AS OVERALL DESIGN INTENT IS MAINTAINED.



BEAVER CREEK CRE, LLC

HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Illustrative West Elevation

Project number -
Date 02.18.2019

RZ-5

Scale 1" = 30'-0"

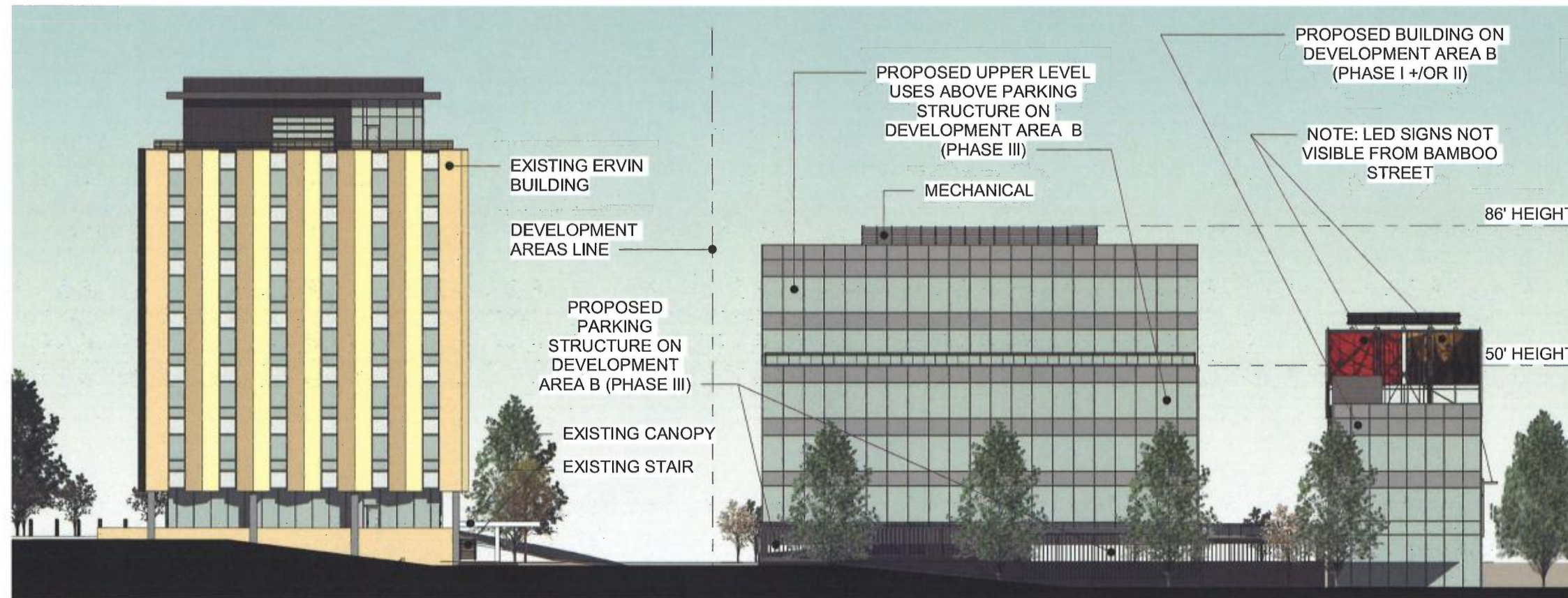
Site Plan Amendment

FEBRUARY 18, 2019

REZONING PETITION NO. 2019-167

ERVIN BUILDING REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE BLVD.
CHARLOTTE, NC 28205



VIEW FROM BAMBOO STREET

NOTE: GRAPHICS SHOW FULL BUILD-OUT FOR PHASES I, II, AND III. SURFACE PARKING ALLOWED DURING PHASES I AND II.

NOTE: GRAPHICS DEPICT CONCEPTUAL ELEVATION UPON FULL BUILD-OUT TO INCLUDE PHASES I, II, AND III; ACTUAL ELEVATION MAY VARY FROM ABOVE AS LONG AS OVERALL DESIGN INTENT IS MAINTAINED.

Administrative

Site Plan Amendment

FEBRUARY 18, 2019

REZONING
PETITION NO.
2019

ERVIN
BUILDING
REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE BLVD.
CHARLOTTE, NC 28205



BEAVER CREEK CRE, LLC

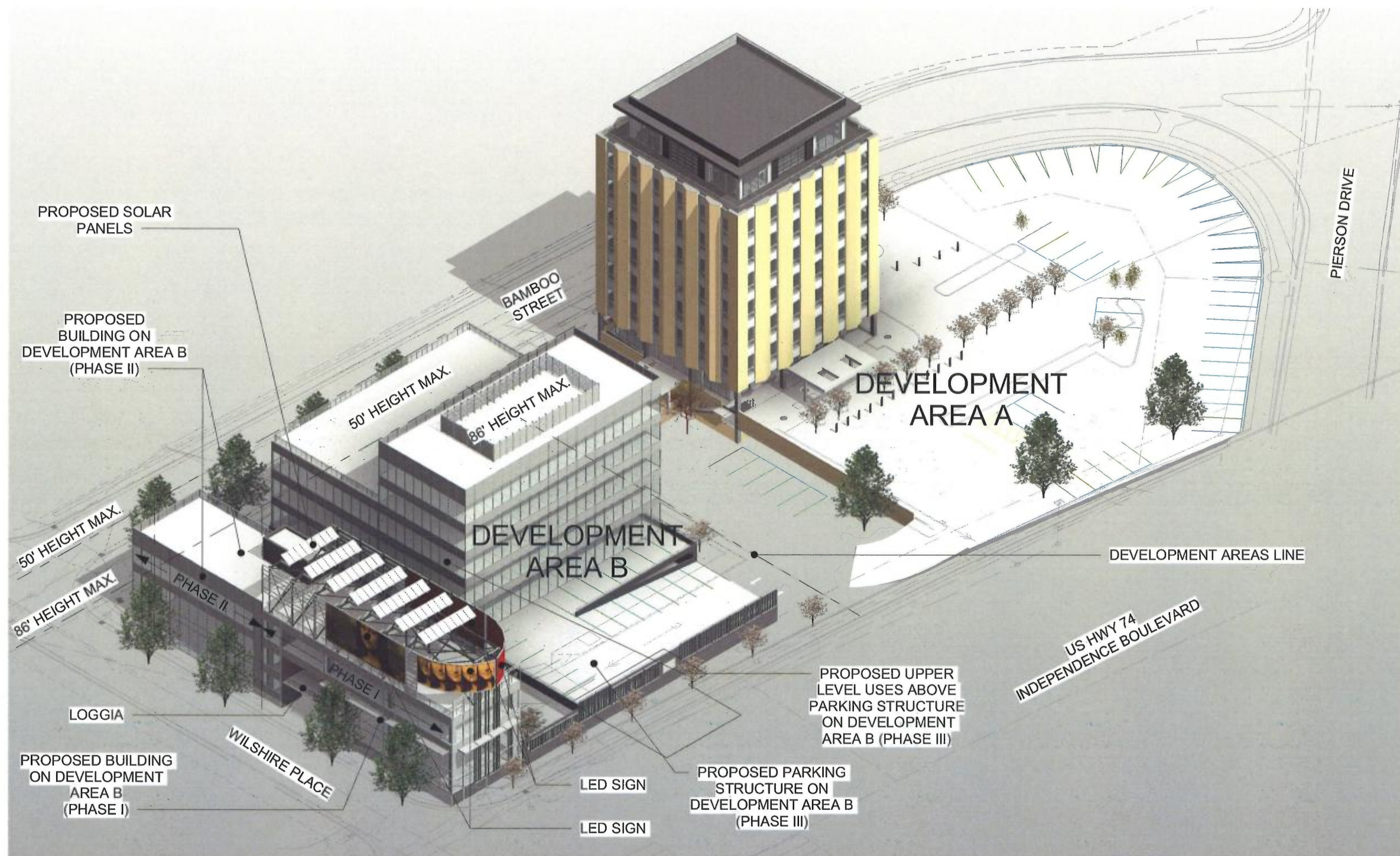
HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Illustrative North Elevation

Project number -
Date 02.18.2019

RZ-6

Scale 1" = 30'-0"



Site Plan Amendment

FEBRUARY 18, 2019

REZONING
PETITION NO.
2019-

ERVIN
BUILDING
REZONING

BEAVER CREEK CRE, LLC
4037 E. INDEPENDENCE BLVD.
CHARLOTTE, NC 28205

NOTE: GRAPHICS SHOW FULL BUILD-OUT FOR PHASES I, II, AND III. SURFACE PARKING ALLOWED DURING PHASES I AND II.

NOTE: GRAPHICS DEPICT CONCEPTUAL ELEVATION UPON FULL BUILD-OUT TO INCLUDE PHASES I, II, AND III; ACTUAL ELEVATION MAY VARY FROM ABOVE AS LONG AS OVERALL DESIGN INTENT IS MAINTAINED.



McCLURE
NICHOLSON
MONTGOMERY

architects

BEAVER CREEK CRE, LLC

HISTORIC ERVIN BUILDING ADAPTIVE REUSE & PROPOSED NEW CONSTRUCTION

Orthographic View - West Corner

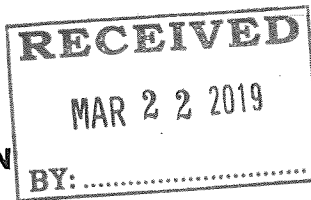
Project number -
Date 02.18.2019

RZ-7

Scale

2/18/2019 4:50:07 PM

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-053

Petition #:	_____
Date Filed:	3/22/2019
Received By:	RH

Complete All Fields (Use additional pages if needed)

Property Owner: The Blumenthal Foundation for Charity, Religion, Education and Better Inter-Faith Relations

Owner's Address: P.O. Box 34689 City, State, Zip: Charlotte, NC 28234

Date Property Acquired: September 30, 1971

Property Address: Bryant Park Drive

Tax Parcel Number(s): 067-021-49

Current Land Use: Vacant Office Size (Acres): +/- 2.653 acres

Existing Zoning: O-1 and I-2 Proposed Zoning: MUDD-O

Overlay: N/A (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Alberto Gonzalez, Claire Lyte-Graham, Grant Meacci et al.

Date of meeting: March 19, 2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To accommodate a residential community on the site comprised of single family attached dwelling units.

John Carmichael (Robinson Bradshaw)
Name of Rezoning Agent

101 N. Tryon Street, Suite 1900
Agent's Address

Charlotte, NC 28246
City, State, Zip

704-377-8341 Fax Number
Telephone Number

jcarmichael@robinsonbradshaw.com
E-Mail Address

See Attached Joinder Agreement
Signature of Property Owner

(Name Typed / Printed)

Hopper Communities (c/o Bart Hopper)
Name of Petitioner(s)

1814 Euclid Avenue
Address of Petitioner(s)

Charlotte, NC 28203
City, State, Zip

704-805-4801 Fax Number
Telephone Number

bhopper@hoppercommunities.com
E-Mail Address

HOPPER COMMUNITIES

By: _____
Signature of Petitioner


Bart Hopper
(Name Typed / Printed)

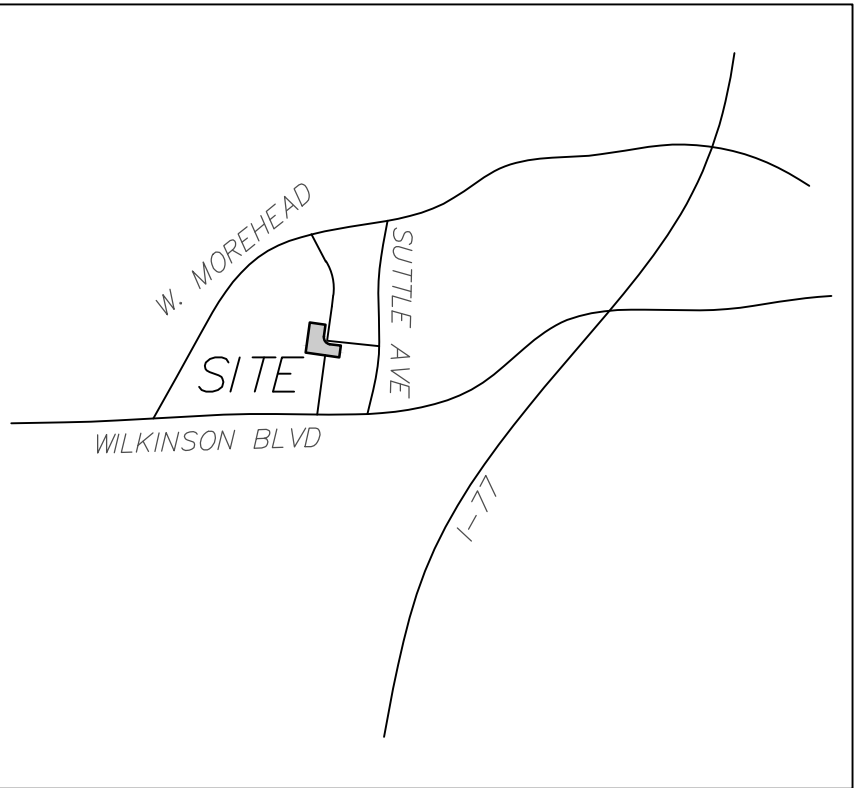
**REZONING APPLICATION FILED BY
HOPPER COMMUNITIES
JOINDER AGREEMENT**

The undersigned, as the owner of that parcel of land subject to the attached Rezoning Application filed by Hopper Communities that is designated as Tax Parcel No. 067-021-49 on the Mecklenburg County Tax Maps (the "Site"), hereby joins in this Rezoning Application and consents to the change in zoning for the Site from the O-1 and I-2 zoning districts to the MUDD-O zoning district.

This 21st day of March, 2019.

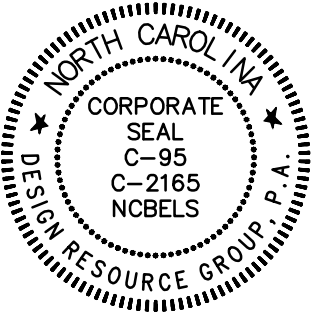
THE BLUMENTHAL FOUNDATION FOR CHARITY,
RELIGION, EDUCATION AND BETTER INTER-FAITH
RELATIONS a/k/a The Blumenthal Foundation

By: 
Name: Philip Blumenthal
Title: Trustee



SITE DATA	
TAX MAP NO:	06702149
EXISTING ZONING:	O-1 AND I-2
ZONING:	MUDD-O
SITE AREA:	±2.65 ACRES (±115,609 SF)
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY ATTACHED TOWNHOMES
PROPOSED UNITS:	±56 UNITS
DENSITY:	±21.37 DUA
PARKING REQUIRED:	SHALL MEET ORDINANCE REQUIREMENTS
TREE SAVE REQUIRED:	SHALL MEET ORDINANCE REQUIREMENTS *SITE LOCATED IN WEST CORRIDOR

SITE PLAN IS SCHEMATIC IN NATURE. SOME VARIATION TO PLAN MAY OCCUR IN FINAL DESIGN BUT SHALL MEET THE OVERALL INTENT OF THIS PLAN AND SHALL COMPLY WITH THE APPLICABLE ORDINANCE REQUIREMENTS



RE ZONING PETITION
FOR PUBLIC HEARING
2019-XXX

RE ZONING PETITION

BRANT PARK TOWNHOMES
CHARLOTTE, NORTH CAROLINA
HOPPER COMMUNITIES
1814 EUCLID AVENUE
CHARLOTTE, NC 28203

**SCHEMATIC
SITE PLAN**

15 0 15 30
SCALE: 1" = 30'

PROJECT #: 598-015
DRAWN BY: JO
CHECKED BY: NB

MARCH 21, 2019

REVISIONS:

C:\Users\paul.030\OneDrive\Documents\BRYANT PARK TOWNHOMES\DWG\000 - PLOT SHEET 01 - REZONE

SITE DATA	
TAX MAP NO:	06702149
EXISTING ZONING:	O-1 AND I-2
ZONING:	MUDD-O
SITE AREA:	±2.65 ACRES (±115,609 SF)
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY ATTACHED TOWNHOMES
PROPOSED UNITS:	±56 UNITS
DENSITY:	±21.37 DU/A
PARKING REQUIRED:	SHALL MEET ORDINANCE REQUIREMENTS
TREE SAVE REQUIRED:	SHALL MEET ORDINANCE REQUIREMENTS *SITE LOCATED IN WEST CORRIDOR

A. GENERAL PROVISIONS

- THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY HOPPER COMMUNITIES TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON THAT APPROXIMATELY 2.653 ACRE SITE LOCATED AT THE INTERSECTION OF BRYANT PARK DRIVE AND ISOM STREET, WHICH SITE IS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NO. 067-021-49.
- THE DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). SUBJECT TO THE OPTIONAL PROVISIONS SET OUT BELOW, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MIXED USE DEVELOPMENT DISTRICT ("MUDD") ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
- THE DEVELOPMENT DEPICTED ON THE REZONING PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS AND SIZES OF THE BUILDING FOOTPRINTS AS WELL AS THE INTERNAL PUBLIC STREET, PRIVATE ALLEYS OR DRIVES AND PARKING AREAS DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE TERMS OF THESE DEVELOPMENT STANDARDS AND THE ORDINANCE, ARE SUBJECT TO MINOR ALTERATIONS OR MODIFICATIONS DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES.
- FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 6.207 OF THE ORDINANCE.

B. OPTIONAL PROVISIONS

THE OPTIONAL PROVISIONS SET OUT BELOW SHALL APPLY TO THE SITE.

- PARKING, VEHICULAR CIRCULATION AND VEHICULAR MANEUVERING SPACE MAY BE LOCATED BETWEEN THE BUILDINGS CONSTRUCTED ON THE SITE AND THE REQUIRED SETBACKS FROM THE ADJACENT PUBLIC STREETS AS DEPICTED ON THE REZONING PLAN.
- THE BUILDING ENTRANCE REQUIREMENTS OF SECTION 9.8506(2)(H) OF THE ORDINANCE SHALL NOT APPLY TO THE SINGLE FAMILY ATTACHED DWELLING UNITS CONSTRUCTED ON THE SITE.

C. PERMITTED USES

- THE SITE MAY BE DEVOTED ONLY TO A RESIDENTIAL COMMUNITY CONTAINING A MAXIMUM OF 56 SINGLE FAMILY ATTACHED DWELLING UNITS AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN THE MUDD ZONING DISTRICT.

D. TRANSPORTATION

- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- AS DEPICTED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY AN INTERNAL PUBLIC STREET AND INTERNAL PRIVATE ALLEYS OR DRIVES. MINOR ADJUSTMENTS TO THE LOCATIONS OF THE INTERNAL PUBLIC STREET AND THE PRIVATE ALLEYS OR DRIVES SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.
- INTERNAL SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL BE PROVIDED ON THE SITE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE INTERNAL SIDEWALKS MAY MEANDER TO SAVE EXISTING TREES.
- THE TRANSPORTATION IMPROVEMENTS SET OUT IN THIS SECTION D OF THE DEVELOPMENT STANDARDS SHALL BE APPROVED AND CONSTRUCTED PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR A NEW BUILDING CONSTRUCTED ON THE SITE.

E. ARCHITECTURAL STANDARDS

- THE PRIMARY EXTERIOR BUILDING MATERIALS FOR THE SINGLE FAMILY ATTACHED DWELLING UNITS TO BE CONSTRUCTED ON THE SITE WILL BE A COMBINATION OF PORTIONS OF THE FOLLOWING: BRICK VENEER OR SIMILAR MASONRY PRODUCTS, STONE, MANUFACTURED STONE, STUCCO AND CEMENTITIOUS SIDING.
- VINYL, EIFS OR MASONITE MAY NOT BE USED AS AN EXTERIOR BUILDING MATERIAL ON ANY BUILDING TO BE CONSTRUCTED ON THE SITE. NOTWITHSTANDING THE FOREGOING, VINYL MAY BE UTILIZED ON WINDOWS, DOORS, GARAGE DOORS, SOFFITS, TRIM AND RAILINGS.
- THE ACTUAL WIDTHS OF THE SINGLE FAMILY ATTACHED DWELLING UNITS TO BE CONSTRUCTED ON THE SITE MAY VARY FROM THE WIDTHS DEPICTED ON THE REZONING PLAN.
- THE FRONT ELEVATION OF EACH SINGLE FAMILY ATTACHED DWELLING UNIT SHALL HAVE WINDOWS OR OTHER ARCHITECTURAL DETAILS THAT LIMIT THE MAXIMUM BLANK WALL EXPANSE TO 15 FEET ON EACH LEVEL OF THE SINGLE FAMILY ATTACHED DWELLING UNIT.
- ALL CORNER OR END SINGLE FAMILY ATTACHED DWELLING UNITS THAT FACE A PUBLIC STREET SHALL HAVE WINDOWS OR OTHER ARCHITECTURAL DETAILS THAT LIMIT THE MAXIMUM BLANK WALL EXPANSE TO 15 FEET ON EACH LEVEL OF THE SINGLE FAMILY ATTACHED DWELLING UNIT.
- EACH SINGLE FAMILY ATTACHED DWELLING UNIT TO BE CONSTRUCTED ON THE SITE SHALL HAVE A GARAGE.
- EACH SINGLE FAMILY ATTACHED DWELLING UNIT TO BE CONSTRUCTED ON THE SITE WILL BE ALLEY LOADED.

F. STREETSCAPE AND LANDSCAPING

- A MINIMUM 8 FOOT WIDE PLANTING STRIP AND A MINIMUM 8 FOOT WIDE SIDEWALK SHALL BE INSTALLED ALONG THE SITE'S PUBLIC STREET FRONTAGES AS GENERALLY DEPICTED ON THE REZONING PLAN.
- THE SIDEWALKS DESCRIBED ABOVE IN PARAGRAPH 1 MAY BE LOCATED IN A SIDEWALK UTILITY EASEMENT.

G. ENVIRONMENTAL

- IN THE EVENT THAT A SOLID WASTE ENCLOSURE IS PROVIDED ON THE SITE, THE ACTUAL LOCATION OF THE SOLID WASTE ENCLOSURE MAY BE MODIFIED DURING THE CONSTRUCTION PERMITTING PROCESS AND IT MAY VARY FROM WHAT IS DEPICTED ON THE REZONING PLAN.

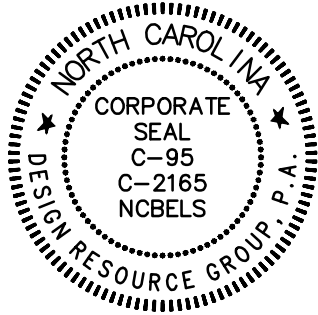
H. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
- THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.
- ANY REFERENCE TO THE ORDINANCE HEREIN SHALL BE DEEMED TO REFER TO THE REQUIREMENTS OF THE ORDINANCE IN EFFECT AS OF THE DATE THIS REZONING PETITION IS APPROVED.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 WILKINSON BLVD, SUITE 200, CHARLOTTE, NC 28208
704.343.0608
www.drgroup.com



REZONING PETITION

FOR PUBLIC HEARING

2019-XXX

REZONING PETITION

BRYANT PARK TOWNHOMES

CHARLOTTE, NORTH CAROLINA

HOPPER COMMUNITIES

1814 EUCLID AVENUE
CHARLOTTE, NC 28203

TECHNICAL
DATA SHEET

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SCALE:

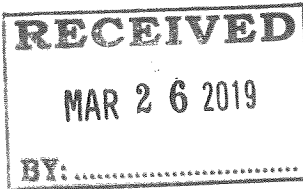
PROJECT #: 598-015
DRAWN BY: JO
CHECKED BY: NB

MARCH 21, 2019

REVISIONS:

R2.0

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-054

Petition #: _____
Date Filed: 3/26/2019
Received By: SP

Complete All Fields (Use additional pages if needed)

Property Owner: CEBRON W HESTER

Owner's Address: 929 BLACKSNAKE ROAD City, State, Zip: Stanley, NC 28164

Date Property Acquired: 08/31/1984

Property Address: 9204 LAKEBROOK RD CHARLOTTE NC 28214

Tax Parcel Number(s): 05322108; 05322107

Current Land Use: Boat & RV Vehicle Display, Sale, and Repair Size (Acres): 1.9266

Existing Zoning: I-1 CD Proposed Zoning: I-1

Overlay: Lake Wylie Watershed Protect Area Tree Survey Provided: Yes: N/A: X

Required Rezoning Pre-Application Meeting* with:
Claire Lyte-Graham
Date of meeting: 3/19/2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): _____

Purpose/description of Conditional Zoning Plan: _____

Daniel Marsha
Name of Rezoning Agent

1300 South Mint Street
Agent's Address

Charlotte, NC 28203
City, State, Zip

704-347-4676
Telephone Number Fax Number

daniel@whitesideindustrial.com
E-Mail Address


Signature of Property Owner

CEBRON W HESTER
(Name Typed / Printed)


CEBRON W HESTER
Name of Petitioner(s)

929 BLACKSNAKE ROAD
Address of Petitioner(s)

Stanley, NC 28164
City, State, Zip

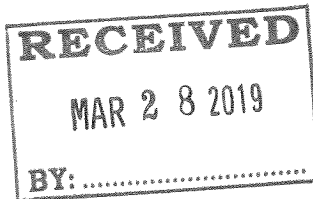
(704)-460-4068
Telephone Number Fax Number

wes-hester@hotmail.com
E-Mail Address


Signature of Petitioner

CEBRON W HESTER
(Name Typed / Printed)

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-055

Petition #:	
Date Filed:	3/28/2019
Received By:	[Signature]

Complete All Fields (Use additional pages if needed)

Property Owner: See Exhibit A attached hereto

Owner's Address: 11405 Community House Road City, State, Zip: Charlotte, NC 28277

Date Property Acquired: See Exhibit A attached hereto

Property Address: See Exhibit A attached hereto

Tax Parcel Number(s): 103-041-32, 103-041-27 and 103-041-34

Current Land Use: Commercial Size (Acres): +/- 4.185 acres

Existing Zoning: B-1 SCD Proposed Zoning: MUDD-O

Overlay: N/A (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Sonja Sanders, Grant Meacci et al.

Date of meeting: February 14, 2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To accommodate an elementary and secondary school comprised of a kindergarten, an elementary school, a middle school and a high school, a religious institution and an eating, drinking and entertainment establishment Type 1.

John Carmichael (Robinson Bradshaw)
Name of Rezoning Agent

101 N. Tryon Street, Suite 1900
Agent's Address

Charlotte, NC 28246
City, State, Zip

704-377-8341
Telephone Number Fax Number

jcarmichael@robinsonbradshaw.com
E-Mail Address

See Attached Joinder Agreements
Signature of Property Owner

(Name Typed / Printed)

Movement Resources (c/o Garrett McNeill)
Name of Petitioner(s)

11405 Community House Road
Address of Petitioner(s)

Charlotte, NC 28277
City, State, Zip

704-526-9080
Telephone Number Fax Number

garrett@movementfoundation.org
E-Mail Address

MOVEMENT RESOURCES

By: [Signature]
Signature of Petitioner

Garrett McNeill
(Name Typed / Printed)

Exhibit A to Rezoning Application Filed by Movement Resources

Property Owners Information, Acquisition Dates and Site Addresses

Tax Parcel Nos. 103-041-32 & 103-041-27

Movement Resources
11405 Community House Road
Charlotte, NC 28277

Acquisition Date: July 2, 2018

Site Addresses: 5247 Central Avenue and 5249 Central Avenue

Tax Parcel No. 103-041-34

The Movement Foundation, Inc.
11405 Community House Road
Charlotte, NC 28277

Acquisition Date: February 28, 2019

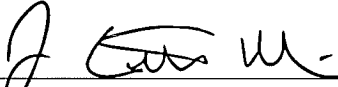
Site Address: 5259 Central Avenue

**REZONING APPLICATION FILED BY
MOVEMENT RESOURCES
JOINDER AGREEMENT**

The undersigned, as the owner of those parcels of land subject to the attached Rezoning Application filed by Movement Resources that are designated as Tax Parcel Nos. 103-041-32 and 103-041-27 on the Mecklenburg County Tax Maps (the "Site"), hereby joins in this Rezoning Application and consents to the change in zoning for the Site from the B-1 SCD zoning district to the MUDD-O zoning district.

This 23 day of March, 2019.

MOVEMENT RESOURCES

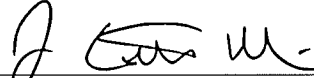
By: 
Name: J. Garrett McNeill
Title: Director

**REZONING APPLICATION FILED BY
MOVEMENT RESOURCES
JOINDER AGREEMENT**

The undersigned, as the owner of those parcels of land subject to the attached Rezoning Application filed by Movement Resources that are designated as Tax Parcel Nos. 103-041-32 and 103-041-27 on the Mecklenburg County Tax Maps (the "Site"), hereby joins in this Rezoning Application and consents to the change in zoning for the Site from the B-1 SCD zoning district to the MUDD-O zoning district.

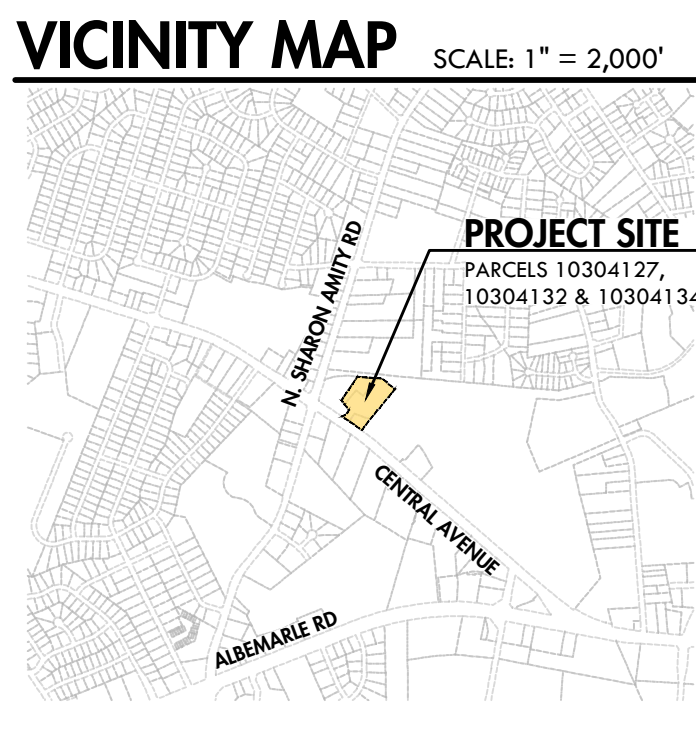
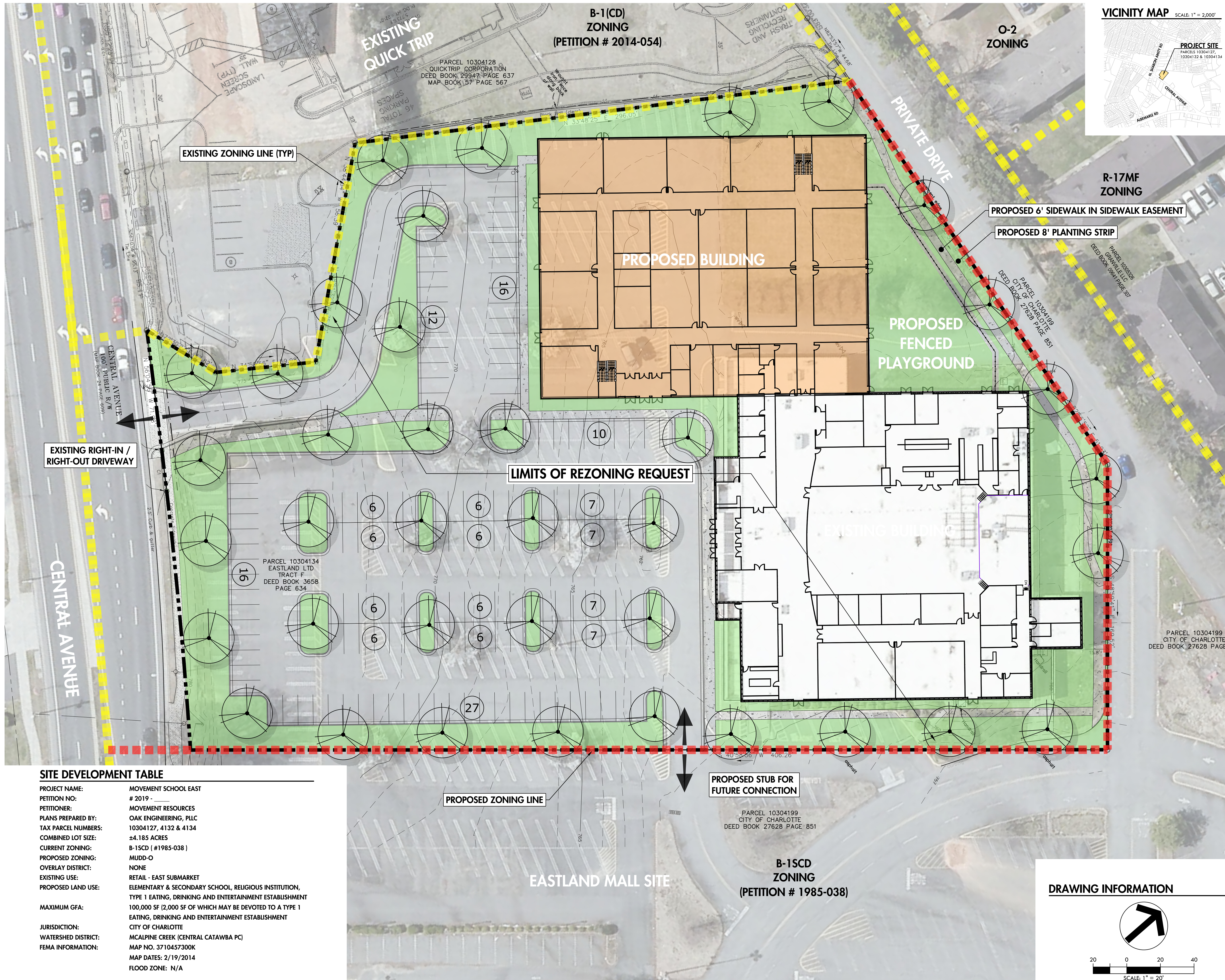
This 19 day of March, 2019.

THE MOVEMENT FOUNDATION, INC.

By: 

Name: J. Garrett McNeill

Title: Director

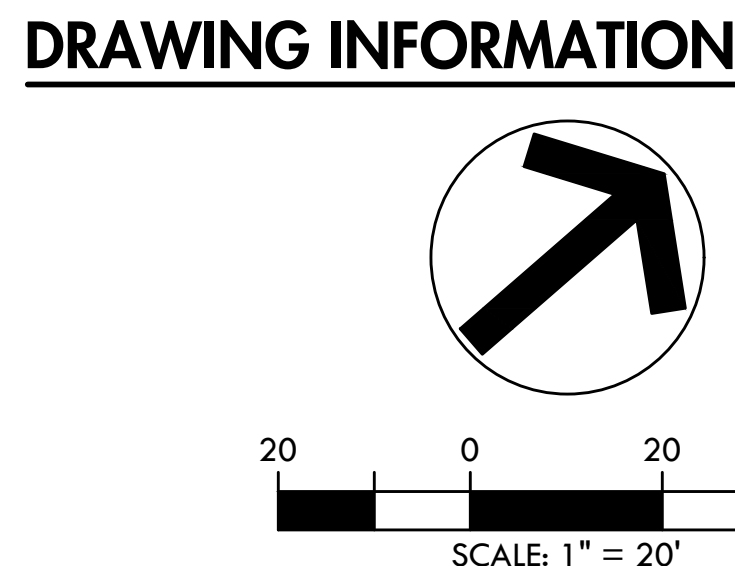


OAK
ENGINEERING

828 EAST BOULEVARD, CHARLOTTE, NC 28203
P. 704.989.4046
OAKENGINEERING.COM
NC Eng. Professional Seal #1703

PE SEAL:

SITE DEVELOPMENT TABLE	
PROJECT NAME:	MOVEMENT SCHOOL EAST
PETITION NO:	# 2019 -
PETITIONER:	MOVEMENT RESOURCES
PLANS PREPARED BY:	OAK ENGINEERING, PLLC
TAX PARCEL NUMBERS:	10304127, 4132 & 4134
COMBINED LOT SIZE:	±4.185 ACRES
CURRENT ZONING:	B-1SCD (#1985-038)
PROPOSED ZONING:	MUDD-O
OVERLAY DISTRICT:	NONE
EXISTING USE:	RETAIL - EAST SUBMARKET
PROPOSED LAND USE:	ELEMENTARY & SECONDARY SCHOOL, RELIGIOUS INSTITUTION, TYPE 1 EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT
MAXIMUM GFA:	100,000 SF (2,000 SF OF WHICH MAY BE DEVOTED TO A TYPE 1 EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT
JURISDICTION:	CITY OF CHARLOTTE
WATERSHED DISTRICT:	MCALPINE CREEK (CENTRAL CATAWBA PC)
FEMA INFORMATION:	MAP NO. 3710457300K MAP DATES: 2/19/2014 FLOOD ZONE: N/A



MOVEMENT SCHOOL EAST

CENTRAL AVENUE
CHARLOTTE, NORTH CAROLINA
MOVEMENT FOUNDATION

REZONING PLAN (PETITION # 2019 -)

REVISIONS:

ENGINEER: GTW
DRAWN BY: GTW
CHECKED BY: LIB
PROJECT #: 019.011
SHEET
RZ-1
SHEET 1 OF 2

APRIL 22, 2019

A. GENERAL PROVISIONS

- THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY MOVEMENT RESOURCES TO ACCOMMODATE THE DEVELOPMENT AND OPERATION OF AN ELEMENTARY AND SECONDARY SCHOOL, A RELIGIOUS INSTITUTION AND AN EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT TYPE 1 ON THAT APPROXIMATELY 4.185 ACRE SITE LOCATED ON THE NORTH SIDE OF CENTRAL AVENUE BETWEEN NORTH SHARON AMITY ROAD AND LOS AMIGOS AVENUE, WHICH SITE IS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NOS. 103-041-32, 103-041-27 AND 103-041-34.
- THE DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). SUBJECT TO THE OPTIONAL PROVISIONS SET OUT BELOW, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MIXED USE DEVELOPMENT DISTRICT ("MUDD") ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
- THE DEVELOPMENT DEPICTED ON THE REZONING PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS AND SIZES OF THE BUILDING FOOTPRINTS AS WELL AS THE INTERNAL DRIVES AND PARKING AREAS DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE TERMS OF THESE DEVELOPMENT STANDARDS AND THE ORDINANCE, ARE SUBJECT TO MINOR ALTERATIONS OR MODIFICATIONS DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES.
- FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 6.207 OF THE ORDINANCE.

B. OPTIONAL PROVISIONS

THE OPTIONAL PROVISIONS SET OUT BELOW SHALL APPLY TO THE SITE.

- PARKING, VEHICULAR CIRCULATION AND VEHICULAR MANEUVERING SPACE MAY BE LOCATED BETWEEN THE BUILDINGS LOCATED ON THE SITE AND THE REQUIRED SETBACK FROM CENTRAL AVENUE.
- VALET PARKING SERVICE AREA(S) MAY BE LOCATED BETWEEN THE BUILDINGS LOCATED ON THE SITE AND CENTRAL AVENUE.
- THE BUILDING ENTRANCE REQUIREMENTS OF SECTION 9.8506(2)(H) OF THE ORDINANCE SHALL NOT APPLY TO THE BUILDINGS LOCATED ON THE SITE.
- AN EXISTING BUILDING LOCATED ON THE SITE SHALL NOT BE REQUIRED TO MEET THE URBAN DESIGN AND DEVELOPMENT STANDARDS SET OUT IN SECTION 9.8506(2)(A) OF THE ORDINANCE.

C. PERMITTED USES

- SUBJECT TO THE LIMITATIONS SET OUT BELOW IN PARAGRAPHS 2 THROUGH 4, THE SITE MAY BE DEVOTED ONLY TO THE USES SET OUT BELOW (INCLUDING ANY COMBINATION OF SUCH USES), TOGETHER WITH ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH THAT ARE PERMITTED UNDER THE ORDINANCE IN THE MUDD ZONING DISTRICT.
 - AN ELEMENTARY AND SECONDARY SCHOOL COMPRISED OF A KINDERGARTEN, AN ELEMENTARY SCHOOL, A MIDDLE SCHOOL AND A HIGH SCHOOL.
 - A RELIGIOUS INSTITUTION.
 - AN EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT (TYPE 1).
- THE TOTAL MAXIMUM GROSS FLOOR AREA OF THE PRINCIPAL BUILDINGS LOCATED ON THE SITE SHALL BE 100,000 SQUARE FEET.
- OF THE ALLOWED 100,000 SQUARE FEET OF GROSS FLOOR AREA THAT MAY BE LOCATED ON THE SITE, A MAXIMUM OF 2,000 SQUARE FEET MAY BE DEVOTED TO AN EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT (TYPE 1).
- A MAXIMUM OF TWO PRINCIPAL BUILDINGS MAY BE LOCATED ON THE SITE.

D. TRANSPORTATION

- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- INTERNAL SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL BE PROVIDED ON THE SITE AS GENERALLY DEPICTED ON THE REZONING PLAN.

E. STREETScape AND LANDSCAPING

- PETITIONER SHALL INSTALL A MINIMUM 8 FOOT WIDE PLANTING STRIP AND A MINIMUM 6 FOOT WIDE SIDEWALK ALONG THE SITE'S FRONTAGE ON CENTRAL AVENUE IN THE EVENT THAT THESE IMPROVEMENTS ARE NOT CURRENTLY IN PLACE.
- PETITIONER SHALL INSTALL A MINIMUM 8 FOOT WIDE PLANTING STRIP AND A MINIMUM 6 FOOT WIDE SIDEWALK ALONG THE SITE'S FRONTAGE ON THE UNNAMED SHARED ACCESS ROAD LOCATED ALONG THE NORTH PROPERTY LINE AND AS GENERALLY DEPICTED ON THE REZONING PLAN.
- BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS
 - IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
 - THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.
 - ANY REFERENCE TO THE ORDINANCE HEREIN SHALL BE DEEMED TO REFER TO THE REQUIREMENTS OF THE ORDINANCE IN EFFECT AS OF THE DATE THIS REZONING PETITION IS APPROVED.



828 EAST BOULEVARD, CHARLOTTE, NC 28203
P. 704.689.4046
OAKENGINEERING.COM
NC Eng. Firm License # 17793

PE SEAL:



MOVEMENT SCHOOL EAST

CENTRAL AVENUE
CHARLOTTE, NORTH CAROLINA
MOVEMENT FOUNDATION

DEVELOPMENT STANDARDS (PETITION # 2019 - _____)

REVISIONS:

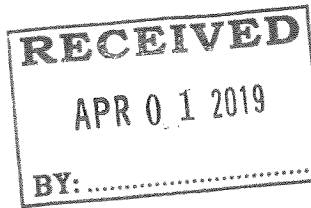
ENGINEER: GTW
DRAWN BY: GTW
CHECKED BY: LB
PROJECT #: 019.011

SHEET

RZ-2

SHEET 2 OF 2

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-056

Petition #: _____
Date Filed: 4/1/2019
Received By: [Signature]

Complete All Fields (Use additional pages if needed)

Property Owner: WPCP Julian LP

Owner's Address: 4064 Colony Road, Suite 310 City, State, Zip: Charlotte, NC 28211

Date Property Acquired: 11/20/2018

Property Address: 2001 W Morehead St

Tax Parcel Number(s): 067-021-12

Current Land Use: Industrial Size (Acres): +/- 4.95 acres

Existing Zoning: I-2 Proposed Zoning: MUDD-O(CD)

Overlay: None Tree Survey Provided: Yes: _____ N/A: _____

Required Rezoning Pre-Application Meeting* with: Claire Lyte-Graham, Grant Meacci, and Carlos Alzate

Date of meeting: 2/19/19

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): No

Purpose/description of Conditional Zoning Plan: To accommodate a mixed-use development through the renovation of existing buildings.

Collin Brown & Bailey Patrick, Jr.
Name of Rezoning Agent

214 N Tryon Street, 47th Floor
Agent's Address

Charlotte, NC 28202
City, State, Zip

704-331-7531
Telephone Number Fax Number

Collin.Brown@klgates.com / Brittany.Lins@klgates.com
E-Mail Address

[Signature]
Signature of Property Owner

Jay Levell
(Name Typed / Printed)

White Point Partners, LLC
Name of Petitioner(s)

Two Morrocroft Centre, 4064 Colony Road, Suite 310
Address of Petitioner(s)

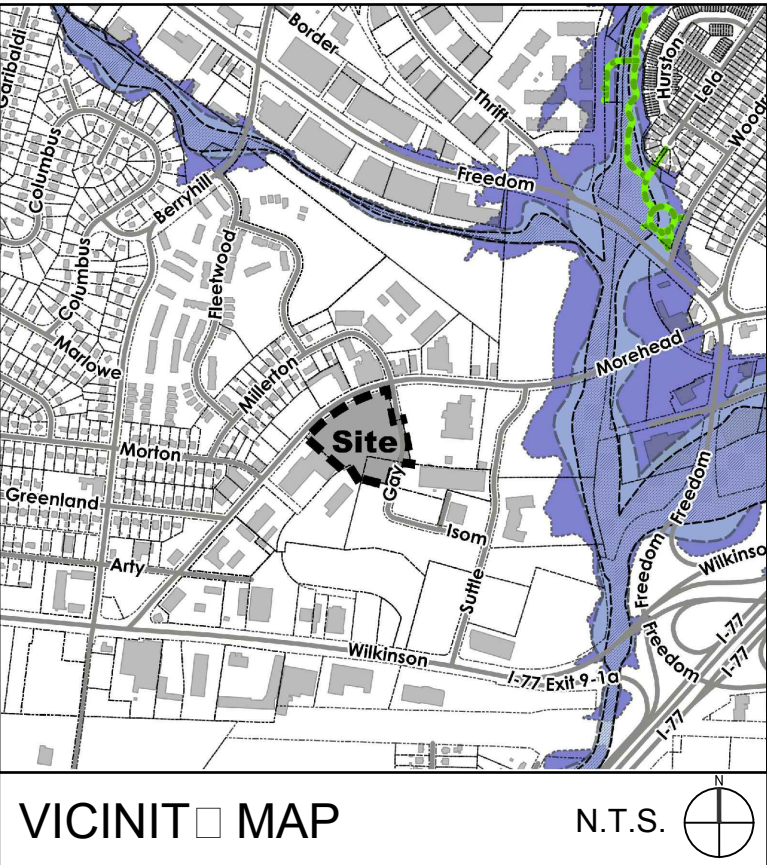
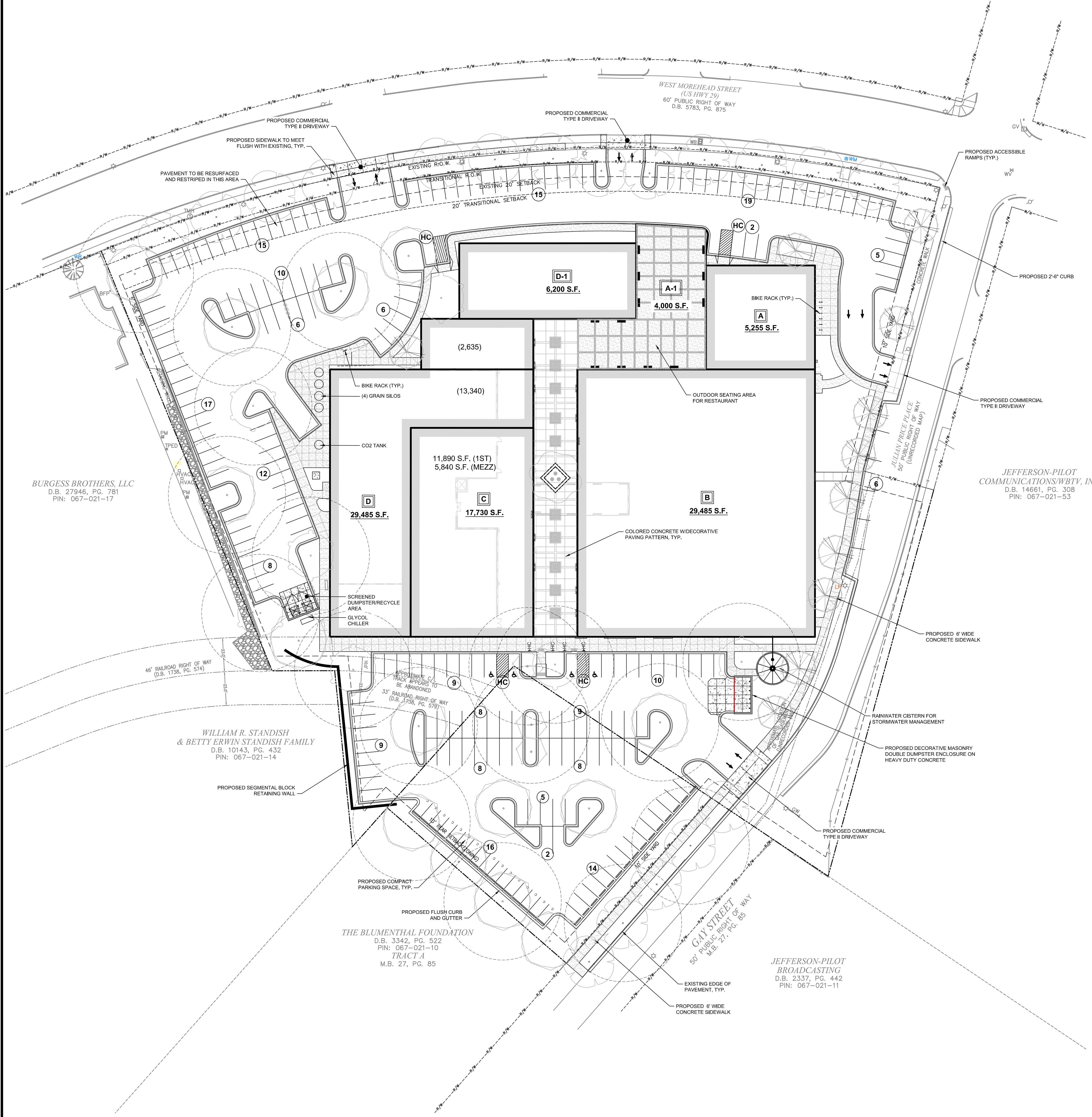
Charlotte, NC 28211
City, State, Zip

704-761-6448
Telephone Number Fax Number

jay@whitepointpartners.com
E-Mail Address

[Signature]
Signature of Petitioner

Jay Levell
(Name Typed / Printed)



VICINITY MAP N.T.S.

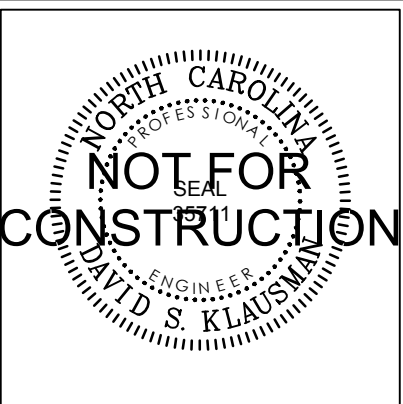
SURVEY DISCLAIMER
TOPOGRAPHIC SURVEY DATED NOVEMBER 15, 2017 PROVIDED BY:
R.B. PHARR ASSOCIATES, P.A., 430 HAWTHORNE LANE, CHARLOTTE,
NC 28204. (704) 376-2186.

REZONING SUMMARY:

OWNER: WHITE POINT PARTNERS
OWNER PHONE: 704-709-0538
CIVIL ENGINEER/LANDSCAPE ARCHITECT: BLOC DESIGN, PLLC
BLOC DESIGN PHONE: 704-940-2883
PARCEL #: 06702112 : 06702149
TOTAL AREA: ± 4.95 ACRES

EXISTING (EXISTING) L-2
EXISTING (DESIGNATED) MUDD-O
JURISDICTION: CITY OF CHARLOTTE
SETBACK AND SIDE YARD REQUIREMENTS
FRONT: 14 MIN FROM EAC. OF CURB OR ROW LINE, WHICHEVER IS GREATER
SIDE: NONE, BUT 10 BUILDING SEPARATION
REAR: NONE, BUT 10 BUILDING SEPARATION
SCREENING REQUIRED
PARKING AND SERVICE AREAS FROM PUBLIC ROW
BUFFERS REQUIRED
NO
PARKING SUMMARY (OTHER: 1 SPACE PER 800 SF)
78,660 SF TOTAL PROPOSED
REQUIRED: 1 (10X25) LOADING SPACE FOR OFFICE AND EDEE UNDER 100,000SF
PROVIDED: 1 LOCATED IN THE DROP-OFF ZONE
SHORT TERM: 3 SPACES
BICICLE PAR: 1 (CITY OF CHARLOTTE)
LONG TERM: 0 SPACES (COVERED RAC: S, INTERIOR)

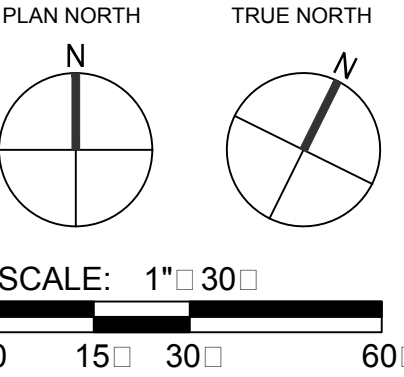
WHITE POINT PARTNERS
2001 W. MOREHEAD
CHARLOTTE, NC



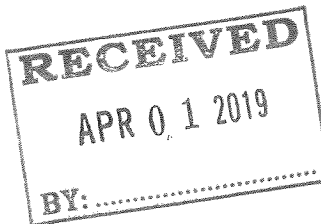
NC FIRM # P-1007 C-390

PROJECT:	
DATE:	04.01.19
REVISIONS:	DATE

DRAWN BY: DDS/DS
CHECKED BY: CCB/WLL
REZONING PLAN



**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-057

Petition #:	
Date Filed:	4/1/2019
Received By:	<i>[Signature]</i>

Complete All Fields (Use additional pages if needed)

Property Owner: DH Griffin Infrastructure LLC

Owner's Address: 4716 Hilltop Rd. City, State, Zip: Greensboro, NC 27407

Date Property Acquired: 2018

Property Address: 3239 Statesville Rd., Charlotte, NC

Tax Parcel Number(s): portion of 07706303

Current Land Use: Undeveloped, former fill site Size (Acres): 9.95+-

Existing Zoning: I-1 Proposed Zoning: I-2

Overlay: _____ (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Micheal Russell, Kent Main, et al.

Date of meeting: 3/13/19

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): _____

Purpose/description of Conditional Zoning Plan: _____

Walter Fields
Name of Rezoning Agent

1919 South Blvd., suite 101
Agent's Address

Charlotte, NC 28203
City, State, Zip

704-372-7855 704-372-7856
Telephone Number Fax Number

walter@walterfieldsgroup.com
E-Mail Address

Signature of Property Owner

(Name Typed / Printed)

DH Griffin Infrastructure, LLC
Name of Petitioner(s)

4716 Hilltop Rd.
Address of Petitioner(s)

Greensboro, NC 27407
City, State, Zip

336-389-5439 336-389-5439
Telephone Number Fax Number

ccarter@DHGRIFFIN.com
E-Mail Address

[Signature]
Signature of Petitioner

Christopher M. Carter
(Name Typed / Printed)

RECEIVED

APR 02 2019

BY:

2019-058

**I. REZONING APPLICATION
CITY OF CHARLOTTE**

Petition #:	_____
Date Filed:	<u>4/2/2019</u>
Received By:	<u>Bf</u>

Complete All Fields (Use additional pages if needed)

Property Owner: Housing Authority of the City of Charlotte, N.C.

Owner's Address: 400 East Boulevard City, State, Zip: Charlotte, NC 28203

Date Property Acquired: August 16, 1974

Property Address: 324 West 30th Street

Tax Parcel Number(s): 085-014-01

Current Land Use: Multi-family Size (Acres): +/- 4.270 acres

Existing Zoning: R-22 MF Proposed Zoning: UR-3 (CD)

Overlay: N/A (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Sonja Sanders, Grant Meaccl, Mandy Rosen et al.

Date of meeting: March 14, 2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To accommodate the development of a single building on the site containing multi-family dwelling units, 100% of which will be affordable to households that earn 30% to 80% of the AMI.

John Carmichael (Robinson Bradshaw)
Name of Rezoning Agent

101 N. Tryon Street, Suite 1900
Agent's Address

Charlotte, NC 28246
City, State, Zip

704-377-8341
Telephone Number Fax Number

jcarmichael@robinsonbradshaw.com
E-Mail Address

HOUSING AUTHORITY OF THE CITY OF CHARLOTTE, NC

By: Connie Staudinger
Signature of Property Owner
CONNIE STAUDINGER
(Name Typed/Printed)

Housing Authority of the City of Charlotte, NC.
Name of Petitioner(s)

(c/o Connie Staudinger) 400 East Boulevard
Address of Petitioner(s)

Charlotte, NC 28203
City, State, Zip

704-336-8332
Telephone Number Fax Number

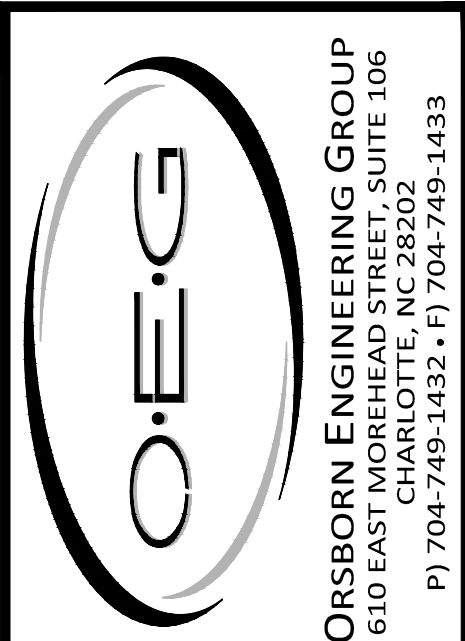
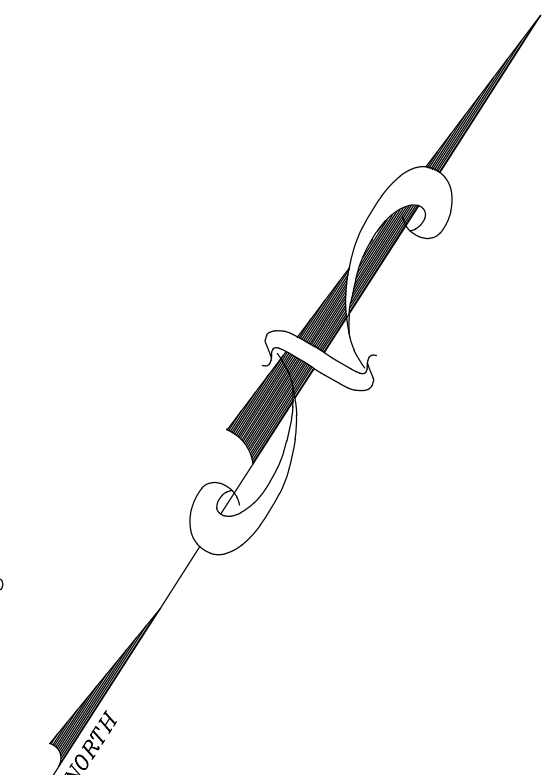
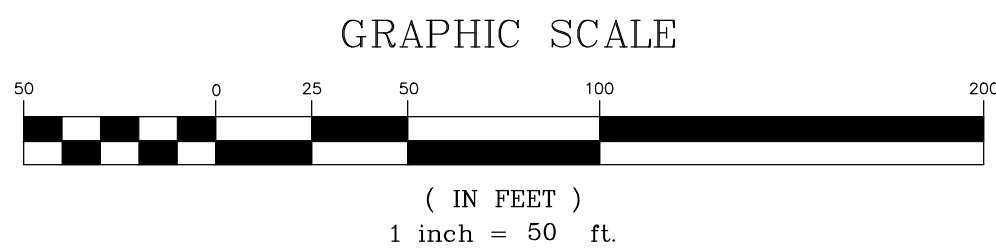
cstaudinger@hdproperties.org
E-Mail Address

HOUSING AUTHORITY OF THE CITY OF CHARLOTTE, NC

By: Connie Staudinger
Signature of Petitioner
CONNIE STAUDINGER
(Name Typed/Printed)



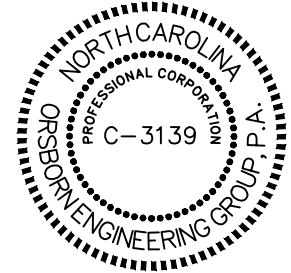
- a. Site Area: 4.265 acres
 - b. Tax Parcel: 08S01401
 - c. Existing Zoning: UR-22MF
 - d. Proposed zoning: UR-3(CD)
 - e. Existing Use: Multi-Family
 - f. Proposed Use: Multi-Family
 - g. Residential Units/Housing Type: 140/Multi-Family
 - h. Maximum Building Height: As allowed by ordinance
 - i. Parking: As required by the Ordinance
 - j. Open Space: As required by the Ordinance
1. **GENERAL PROVISIONS**
 - a. These Development Standards form a part of the Rezoning Plan associated with the /Rezoning Petition filed by Charlotte Housing Authority of the City of Charlotte, NC (the "Petitioner") for an approximately 4.270 acre site located on the east side of West 30th/ Street at the intersection of West 30th/ Street and Bellefonte Drive, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site"). The Site is comprised of that parcel of land designated as Tax Parcel No. 08S-014-01.
 - b. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). The regulations established under the Ordinance for the UR-3 zoning district shall govern the development and use of the Site.
 - c. The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configuration, placement and size of the building footprint as well as the locations of the internal drives and parking areas depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.
 - d. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the site owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.
 2. **PERMITTED USES**
 - a. The Site may be devoted only to a residential community containing a maximum of 140 multi-family dwelling units in a single building and to any incidental or accessory uses associated therewith that are permitted under the Ordinance in the UR-3 zoning district.
 3. **TRANSPORTATION**
 - a. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required by the Charlotte Department of Transportation ("CDOT").
 - b. The alignments of the internal private drives and vehicular circulation areas may be modified by Petitioner during the permitting process to accommodate changes in traffic patterns and building and parking layouts, and to accommodate any adjustments required for approval by CDOT in accordance with applicable published standards.
 - c. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan.
 4. **ARCHITECTURAL STANDARDS**
 - a. The maximum height in stories of a new building constructed on the Site shall be 4 stories.
 5. **VINYL, EIFS OR MASONITE MAY NOT BE USED AS AN EXTERIOR BUILDING MATERIAL ON A NEW BUILDING CONSTRUCTED ON THE SITE. NOTWITHSTANDING THE FOREGOING, VINYL MAY BE UTILIZED ON WINDOWS, DOORS, SOFFITS, TRIM AND RAILINGS.**
 5. **STREETSCAPE AND LANDSCAPING**
 - a. A minimum 16 foot wide landscape area that is planted to the standards of a Class C buffer shall be established along the northern boundary line of the site as more particularly depicted on the Rezoning Plan.
 6. **ENVIRONMENTAL**
 - a. Space for recycling stations may be located in various locations on the Site.
 - b. The actual location of the solid waste enclosure may be modified during the construction permitting process and it may vary from what is depicted on the Rezoning Plan.
 7. **BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS**
 - a. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
 - b. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
 - c. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



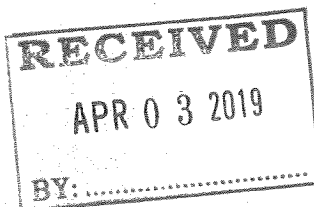
SCHEMATIC SITE PLAN
PETITION # 2019-000
FOR
DILLEHAY APARTMENTS
CHARLOTTE, NORTH CAROLINA

CHARLOTTE HOUSING
AUTHORITY OF THE CITY
OF CHARLOTTE

400 EAST BLVD.
CHARLOTTE NC, 28203

[illegible]

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-059

Petition #:	
Date Filed:	4/3/2019
Received By:	Be

Property Owners: Win Graham, LLC

Owner's Addresses: 2165 Louisa Drive, Belleair Beach, FL 33786

Date Properties
Acquired: 04/01/2019

Property Addresses: 1823 Cannon Ave, Charlotte, NC 28269

Tax Parcel Numbers: portion of 045-062-06

Current Land Use: vacant (Acres): ± .336

Existing Zoning: I-1 Proposed Zoning: I-2

Overlay: N/A Tree Survey Provided: Yes: N/A:

Required Rezoning Pre-Application Meeting* with: Michael Russell, Charlotte Lamb, Kent Main, and Rick Grochoske

Date of meeting: March 27, 2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? ☐ Yes ☒ No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: N/A

Keith MacVean, Dujuana Keys & Jeff Brown

Name of Rezoning Agent

Moore & Van Allen, PLLC

100 N. Tryon Street, Suite 4700

Agent's Address

Charlotte, NC 28202

704.331.3531(KM) 704-378-1954(KM)

704.331-2371 (DK) 7004-339-5888 (DK)

704-331-1144 (JB) 704-378-1925 (JB)

Telephone Number

Fax Number

keithmacvean@mvalaw.com;

dujuanakeys@mvalaw.com; jeffbrown@mvalaw.com

E-mail Address



Signature of Property Owner

Win Development, LLC (Attn: Jesse McInerney)

Name of Petitioner

2165 Louisa Drive

Address of Petitioner

Belleair Beach, FL 33786

City, State, Zip

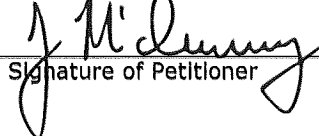
917.647.3872

Telephone Number

Fax Number

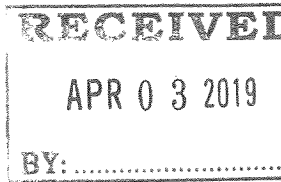
jesse@windevelopment.net

E-mail Address



Signature of Petitioner

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



Petition #: _____

Date Filed: 4/3/2019

Received By: [Signature]

Complete All Fields (Use additional pages if needed)

Property Owner: 4400 Park Rd, LLC

Owner's Address: 1 Greenway Plaza, Suite 800 City, State, Zip: Houston, TX 77046

Date Property Acquired: 2018

Property Address: 1374 Drexmore Avenue

Tax Parcel Number(s): 17104324

Current Land Use: single family Size (Acres): Approx. 0.31 ac

Existing Zoning: R-4 Proposed Zoning: O-2(CD)

Overlay: _____ (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: John Kinley, Grant Meacci, et al

Date of meeting: 3/19/19

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/**No**. Number of years (maximum of 5): _____

Purpose/description of Conditional Zoning Plan: Permit the use of the site for a small surface parking lot

Walter Fields

Name of Rezoning Agent

1919 South Blvd., suite 101

Agent's Address

Charlotte, NC 28203

City, State, Zip

704-372-7855

Telephone Number

704-372-7856

Fax Number

walter@walterfieldsgroup.com

E-Mail Address

Signature of Property Owner

(Name Typed / Printed)

4400 Park Rd, LLC

Name of Petitioner(s)

1 Greenway Plaza, Suite 800

Address of Petitioner(s)

Houston, TX 77046

City, State, Zip

704-971-0874

Telephone Number

Fax Number

mletcher@manntravels.com

E-Mail Address

Mark Fletcher

Signature of Petitioner

Mark Fletcher

(Name Typed / Printed)



318-e6 central ave. P 704.334.3303
Charlotte, nc 28205 F 704.334.3305
bandesignpartners.com
c firm no: P-0418
c coa no: C-03044

4400 Park Road LLC

1 Greenway Plaza SIE 800
Houston, TX 77046

1374 Drexmore Ave.

Rezoning Plan

Charlotte, NC

Charlotte, NC

TAX PARCEL ID #:	171-043-24
TOTAL SITE AREA:	0.32 AC
EXISTING ZONING:	
CURRENT:	R-4
PROPOSED:	O-2

GENERAL PROVISIONS.

- A. DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CHARLOTTE ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE EXACT CONFIGURATION, PLACEMENT, AND SIZE OF THE DEVELOPMENTAL SITE ELEMENTS MAY BE MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE ORDINANCE DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES AS ALLOWED UNDER THE PROVISIONS OF SECTION 6.2 OF THE ZONING ORDINANCE.
- B. THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, SUCH AS THOSE THAT REGULATE STREETS, SIDEWALKS, TREES, BICYCLE PARKING, AND SITE DEVELOPMENT, MAY APPLY TO THE DEVELOPMENT OF THIS SITE. THESE ARE NOT ZONING REGULATIONS, ARE NOT ADMINISTERED BY THE ZONING ADMINISTRATOR, AND ARE NOT SEPARATE ZONING CONDITIONS IMPOSED BY THIS SITE PLAN. UNLESS SPECIFICALLY NOTED IN THE CONDITIONS FOR THIS SITE PLAN, THESE OTHER STANDARD DEVELOPMENT REQUIREMENTS WILL BE APPLIED TO THE DEVELOPMENT OF THIS SITE AS DEFINED BY THOSE OTHER CITY ORDINANCES.
- C. THROUGHOUT THIS REZONING PETITION, THE TERMS "OWNER", "OWNERS", "PETITIONER" OR "PETITIONERS," SHALL, WITH RESPECT TO THE SITE, BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNEES OF THE OWNER OR OWNERS OF THE SITE WHO MAY BE INVOLVED IN ITS DEVELOPMENT FROM TIME TO TIME.

PURPOSE

THE PURPOSE OF THIS REZONING APPLICATION IS TO PROVIDE FOR THE DEVELOPMENT OF A SMALL SURFACE PARKING LOT AS PART OF THE 4400 PARK ROAD SITE. TO ACHIEVE THIS PURPOSE, THE APPLICATION SEEKS THE REZONING OF THE SITE TO THE O-2 DISTRICT AS A CONDITIONAL DISTRICT (O-2 (CD)).

PERMITTED USES

USES ALLOWED ON THE PROPERTY INCLUDED IN THIS PETITION WILL BE LIMITED TO A SMALL SURFACE PARKING LOT.

TRANSPORTATION

THE SITE WILL HAVE ACCESS ONLY FROM THE 4400 PARK ROAD SITE AND FROM AN ADJOINING OFFICE SITE ON PARK ROAD AS GENERALLY DEPICTED ON THE SITE PLAN

ARCHITECTURAL STANDARDS

RESERVED.

STREETSCAPE AND LANDSCAPING

THE PETITIONER WILL INSTALL LANDSCAPE SCREEN ALONG THE FRONT OF THE SITE TO SCREEN THE PARKING FROM DREXMORE AVENUE. THIS LANDSCAPED AREA MAY INCLUDE EXISTING TREES AND VEGETATION AS WELL AS NEW TREES AND EVERGREEN SHRUBBERY.

ENVIRONMENTAL FEATURES

RESERVED

PARKS, GREENWAYS, AND OPEN SPACE

RESERVED

FIRE PROTECTION

RESERVED

SIGNAGE

RESERVED

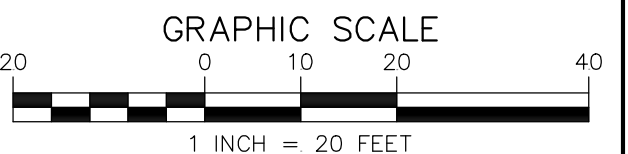
LIGHTING

RESERVED

PHASING

RESERVED

INITIAL SUBMISSION- 4-2-19, 1.0



Project No: 19-025

Date: 03.07.2019

Designed by: UDP

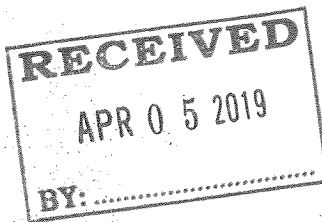
Drawn By: UDP

Sheet No:

D3

RZ-1.0

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-061

Petition #:	
Date Filed:	4/5/2019
Received By:	PH

Property Owners: Metrolina Properties Limited Partnership

Owner's Addresses: 1341 E. Morehead St, Ste 201, Charlotte, NC 28204

Date Properties Acquired: 06/21/1988

Property Addresses: 10046 Northlake Centre Parkway, Charlotte, NC 28269

Tax Parcel Numbers: a portion of 025-081-12

Current Land Use: vacant (Acres): ± 14.5

Existing Zoning: BP Proposed Zoning: UR-2(CD)

Overlay: N/A Tree Survey Provided: Yes: N/A:

Required Rezoning Pre-Application Meeting* with: Michael Russell, Charlotte Lamb, Kathy Cornett, Kent Main, Rick Grochoske, Josh Weaver

Date of meeting: 1/16/2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? ☐ Yes ☒ No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To allow development of the site with a multi-family residential community.

Keith MacVean, Dujuana Keys & Jeff Brown

Name of Rezoning Agent

Moore & Van Allen, PLLC

100 N. Tryon Street, Suite 4700

Agent's Address

Charlotte, NC 28202

704.331.3531(KM) 704-378-1954(KM)
704.331-2371 (DK) 7004-339-5888 (DK)
704-331-1144 (JB) 704-378-1925 (JB)

Telephone Number Fax Number

keithmacvean@mvalaw.com;
dujuanakeys@mvalaw.com; jeffbrown@mvalaw.com

E-mail Address

SEE ATTACHMENT A

Signature of Property Owner

Davis Development (Attn: Lance Chernow)

Name of Petitioner

403 Corporate Center Drive, Ste 201

Address of Petitioner

Stockbridge, GA 30281

City, State, Zip

770.474.4345

Telephone Number Fax Number

Lance.chernow@davisdevga.com

E-mail Address

SEE ATTACHMENT B

Signature of Petitioner

ATTACHMENT A

**REZONING PETITION NO. 2019-
Davis Development**

**OWNER JOINDER AGREEMENT
Metrolina Properties Limited Partnership**

The undersigned, as the owner of the parcel of land located at 10046 Northlake Centre Parkway, Charlotte, NC that is designated as a portion of Tax Parcel No. 025-081-12 on the Mecklenburg County Tax Map and which is subject to the attached Rezoning Application (the "Parcel"), hereby joins in the Rezoning Application and consents to the change in zoning for the parcels from BP zoning district to the UR-2(CD) zoning district as more particular depicted on the related conditional rezoning plan, and to subsequent changes to the rezoning plan as part of this rezoning application.

This 20th day of March, 2019.

Metrolina Properties Limited Partnership

By: Withrow Capital Investments, LLC

Its General Partner

By: Withrow Capital, Inc., Its Manager

By: Terry L. Williams

Name: Terry L. Williams

Its: President

ATTACHMENT B

**REZONING PETITION NO. 2019-
Davis Development**


Petitioner:

Davis Development

By:

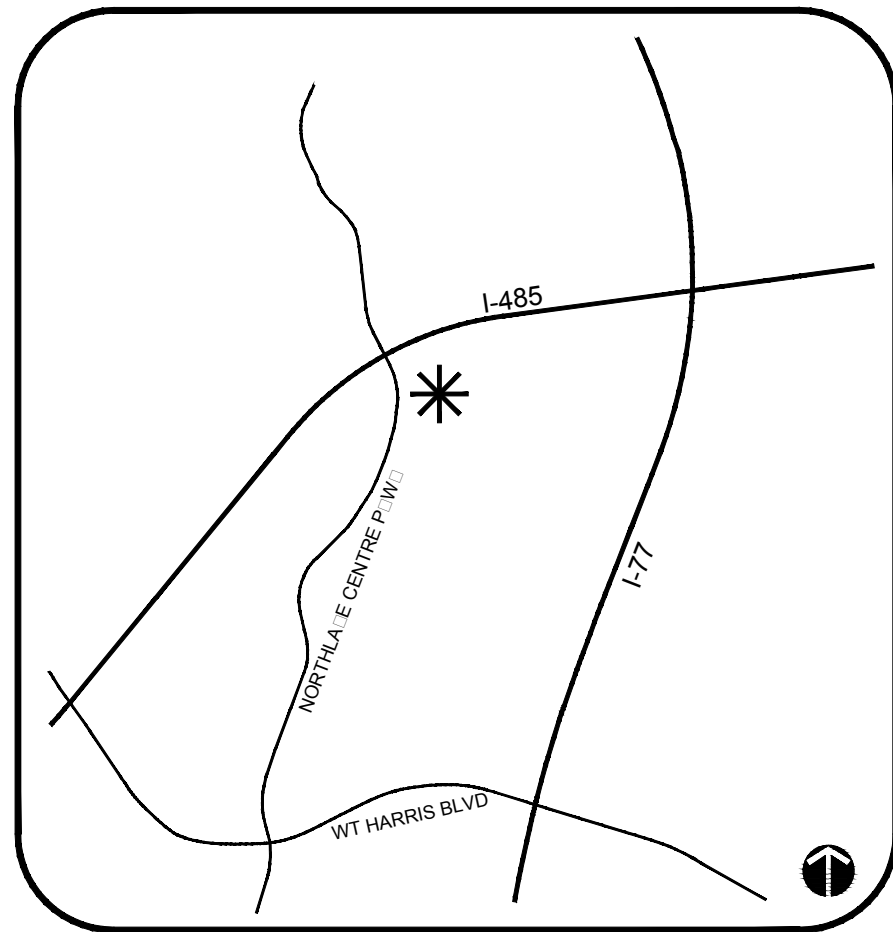
Name:

Its:



Lynne Chenoweth

Corporation Officer



VICINITY MAP
NTS

SITE DEVELOPMENT DATA

ACREAGE: ± 14.5 ACRES

TAX PARCEL #: A PORTION OF 025-081-12

EXISTING ZONING: BP

PROPOSED ZONING: UR-2(CD)

EXISTING USES: VACANT

PROPOSED USES: RESIDENTIAL DWELLINGS UNITS AS PERMITTED BY RIGHT, UNDER PRESCRIBED CONDITIONS, AND BY THE OPTIONAL PROVISIONS BELOW, TOGETHER WITH ACCESSORY USES, AS ALLOWED IN THE UR-2 ZONING DISTRICT (ALL AS MORE SPECIFICALLY DESCRIBED AND RESTRICTED BELOW IN SECTION 3).

MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS: UP TO 300 MULTI-FAMILY RESIDENTIAL DWELLING UNITS AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE UR-2 ZONING DISTRICT.

MAXIMUM BUILDING HEIGHT: UP TO FOUR (4) STORIES. HEIGHT TO BE MEASURED PER THE ORDINANCE.

PARKING: AS REQUIRED BY THE ORDINANCE.

1 PID: 02509141
MECKLENBURG COUNTY
DB 20054 PG 289
EX. ZONING: CC

2 PID: 02510306
FCD-REAMES ROAD LP
DB 10990 PG 932
EX. ZONING: R-3

3 PID: 02508125
METROLINA PROPERTIES LP
DB 05809 PG 855
EX. ZONING: BP

4 PID: 02508124
DEPARTMENT OF TRANSPORTATION
DB 12872 PG 335
EX. ZONING: R-3

5 PID: 02528114
FAISON-PROJECT NORTH LLC
DB 16253 PG 468
EX. ZONING: R-3

NO ZONING OR
CONTRADICTION

NORTH LAKE
MULTIFAMILY

DAVIS DEVELOPMENT

CHARLOTTE, NC

RE ZONING #2019-XXX

LANDDESIGN PROJ.# 1019028

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL RE ZONING SUBMITTAL	04.05.19

DESIGNED BY: LD
DRAWN BY: LD
CHECKED BY: LD

SCALE: NORTH
VERT: N/A
HOR: 1"=200'
0 100 200 400
SHEET TITLE

TECHNICAL DATA SHEET

SHEET NUMBER

R-1

SITE LEGEND

- PROPOSED ROVER LINE
ZONING BOUNDARY
- PROPOSED BLVD ROAD
- PROPOSED BLVD ROAD
- PROPOSED RIVER ROAD
- PROPOSED E BAY
- PROPOSED DRIVE R
- PROPOSED BLVD INTERSECTION
- ALL AVE MOVEMENT
- PROPOSED ALL AVE MOVEMENT

E: MAP

SEAL

NO FOR
ON ORION

PROJECT

NORLA
MLAMIL

DAVIS DEVELOPMENT
CHARLOTTE, NC
RE: ONING #2019-XXX

LANDDESIGN PROJ.# 1019028

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL RE: ONING SUBMITTAL	04.05.19

DESIGNED BY: LD
DRAWN BY: LD
CHECKED BY: LD

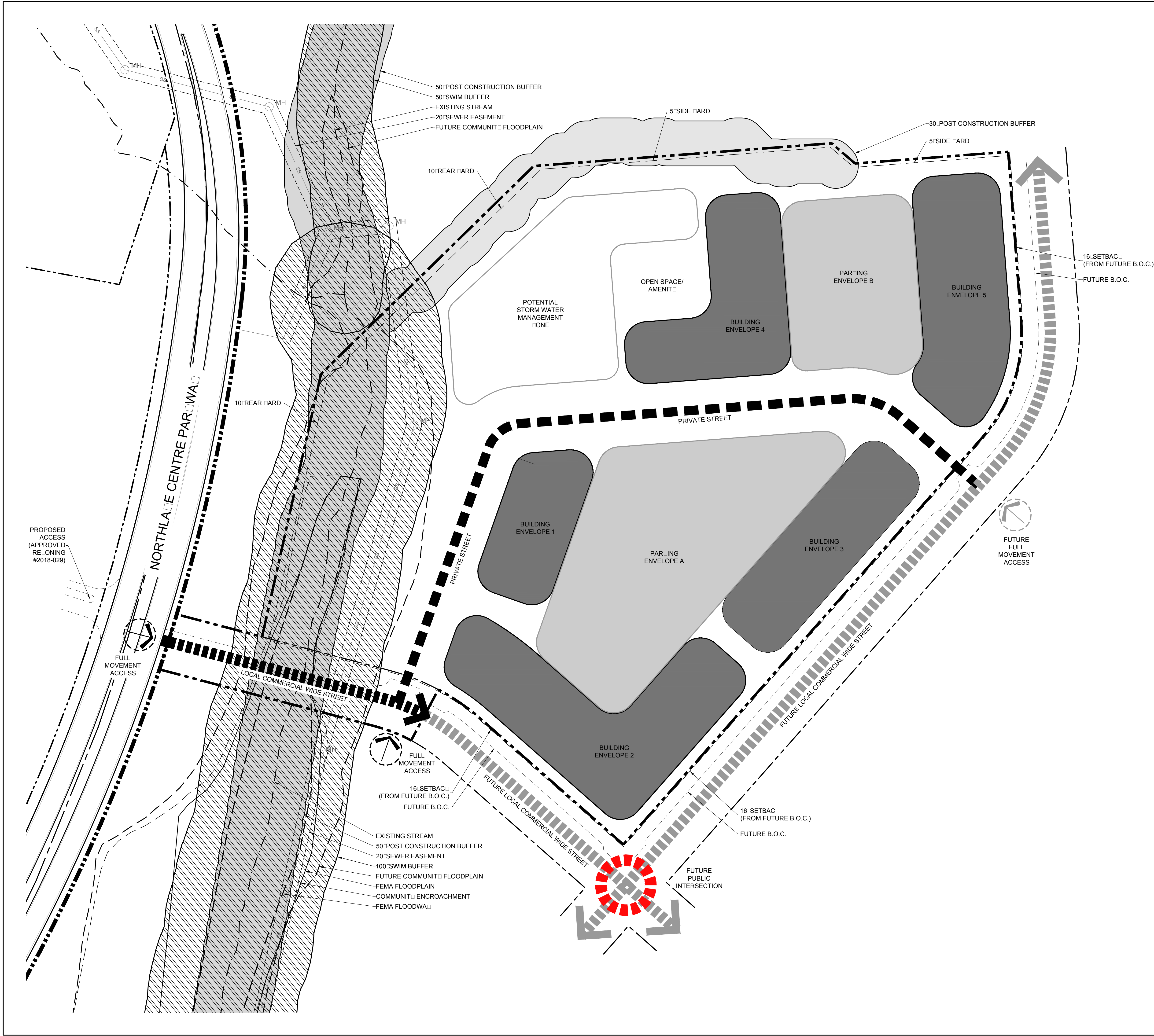
SCALE NORTH
VERT: N/A
HOR: 1"=60'
0 30 60 120

SHEET TITLE

TECHNICAL DATA SHEET

SHEET NUMBER

R-2



SITE LEGEND

- PROPOSED ROADER LINE
ZONING BOUNDARY
REBLIND ROAD
PROPOSED EASEMENT
PROPOSED REVERSE
REBLIND INTERSECTION
ALL AROUND MOVEMENT
RE ALL AROUND MOVEMENT

E: MAP

SEAL

NO FOR
ON ORION

NOR LA E
M L I A M I L

DAVIS DEVELOPMENT
CHARLOTTE, NC
RE: ONING #2019-XXX

LANDDESIGN PROJ.# 1019028

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL RE: ONING SUBMITTAL	04.05.19

DESIGNED BY:
DRAWN BY:
CHECKED BY:

SCALE

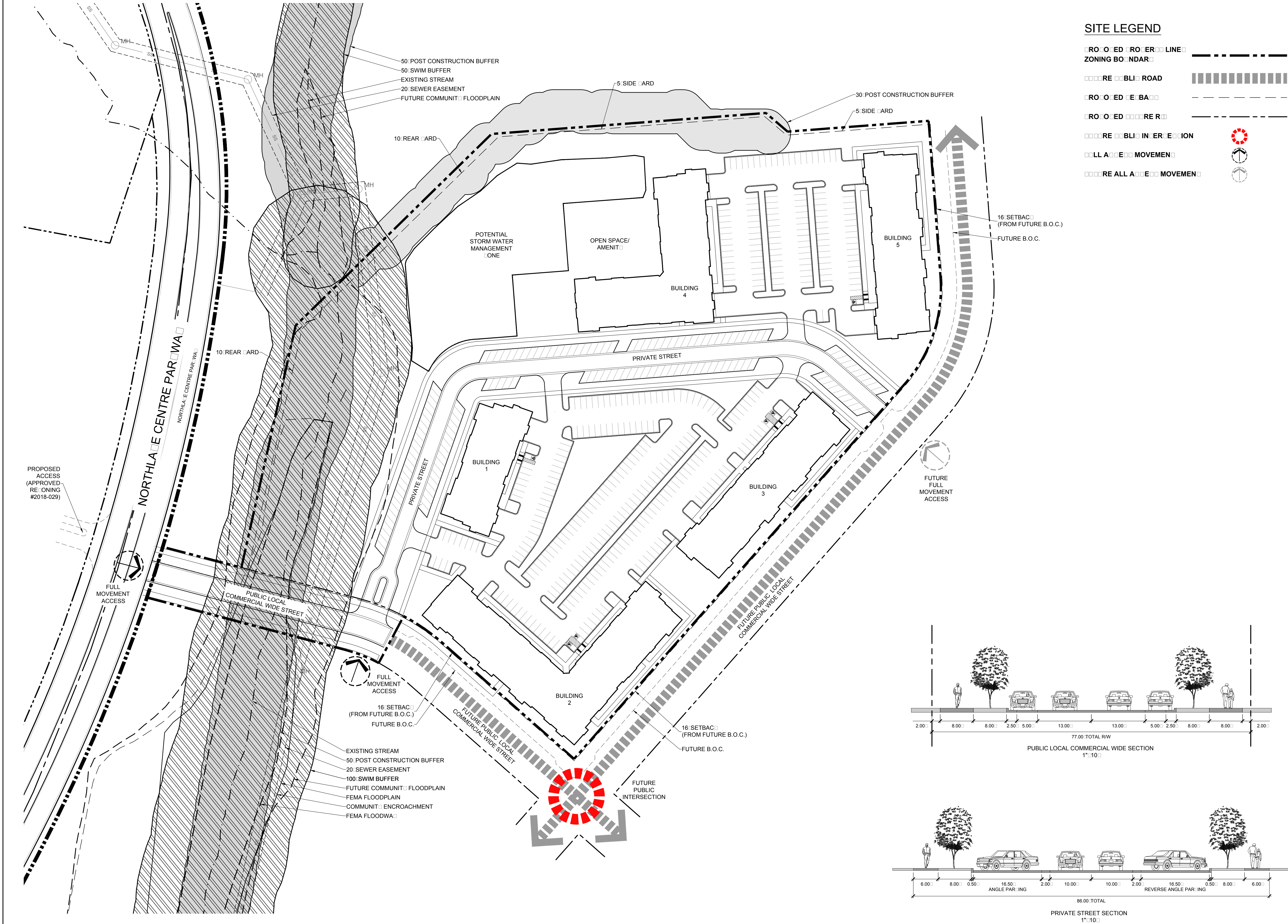
VERT: N/A
HOR: 1"=60'

SHEET TITLE

SCHEMATIC SITE PLAN

SHEET NUMBER

R-3



LINE	BEARING	DISTANCE
L1	S 26°04'34" E	12.01'
L2	N 49°22'02" W	41.44'
L3	S 41°22'57" E	86.83'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	870.21'	500.03'	493.18'	S 09°36'54" E
C2	2510.63'	425.28'	424.77'	S 11°41'56" W
C3	2510.63'	77.09'	77.08'	S 17°25'52" W
C4	2510.63'	756.06'	753.21'	S 26°56'17" W
C5	223.00'	51.83'	51.71'	S 68°34'06" E
C6	300.00'	69.72'	69.57'	S 55°15'07" E
C7	211.50'	168.97'	164.51'	N 18°31'10" E

E: MAP

SEAL

NO ☐ OR
☐ ON ☐ R ☐ ION

PROJECT

NOR ☐ LA ☐ E
M ☐ L ☐ I ☐ A ☐ M ☐ I ☐ L ☐

DAVIS DEVELOPMENT
CHARLOTTE, NC
RE: ONING #2019-XXX

LANDDESIGN PROJ.#

1019028

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL RE: ONING SUBMITTAL	04.05.19

DESIGNED B: LD
DRAWN B: LD
CHECKED B: LD

SCALE NORTH

VERT: N/A

HOR: 1"=100'

SHEET TITLE

METES AND BOUNDS

SHEET NUMBER

R ☐ 4

Site Development Data:

1. General Provisions:

- a. **Site Location.** These Development Standards, the Technical Data Sheet, Schematic Site Plan and other site plan sheets form this **zoning plan** (collectively referred to as the “**Rezoning Plan**”) associated with the Rezoning Petition filed by Davis Development. (“**Petitioner**”) to accommodate the development of a high quality residential community on an approximately 14.4 acre site located at 100406 Northlake Center Parkway (the “**Site**”).
- b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the “**Ordinance**”). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the UR-2(CD) zoning classification shall govern all development taking place on the Site, subject to the Optional Provisions provided below.
- c. **Graphics and Alterations.** The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets, building and parking envelopes other development matters and site elements (collectively the “**Development/Site Elements**”) set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.
- Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development/Site Elements. Therefore, there may be instances where minor modifications will be allowed without requiring the Administrative Amendment Process per Section 6.207 of the Ordinance. These instances would include changes to graphics if they are:
- i. minor and don't materially change the overall design intent depicted on the Rezoning Plan.

The Planning Director will determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Amendment Process per Section 6.207 of the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.

- d. **Number of Buildings Principal and Accessory.** The total number of principal buildings to be developed on the Site will be limited to seven (7). Accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements and designs as the principal building(s) located within the same Development Area as the accessory structure/building.

2. Permitted Uses, Development Area Limitations:

- a. The principal buildings constructed on the Site may be developed with up to 300 multi-family residential dwellings units as permitted by right, under prescribed conditions above together with accessory uses allowed in the UR-2(CD) zoning district.

3. Access.

- a. Access to the Site will be from Northlake Centre Parkway via the extension of a new public street as generally depicted on the Rezoning Plan, subject to adjustments as set forth below.
- b. The new public street will be constructed to a commercial wide street standard, and will be constructed to the Site's internal private street as generally depicted on the Rezoning Plan.
- c. A private street constructed to a public street standards ("Residential Wide") will be constructed on the Site as generally depicted on the Rezoning Plan. This private street will be constructed with reverse angle parking spaces. A public access easement will be provided along this proposed private street.
- d. The alignment of the vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation (CDOT) in accordance with published standards so long as the street network set forth on the Rezoning Plan is not materially altered.

4. Streetscape, Buffer, Landscaping Open Space and Screening:

- a. A sixteen (16) foot setback as measured from the proposed back of curb along in the internal private street will be provided.
- b. An eight (8) foot planting strip and an eight (8) foot sidewalk will be provided along both sides of the new public street extending from Northlake Centre Parkway to the Site, and along both sides of the internal private street as generally depicted on the Rezoning Plan provided, however, the streetscape may be amended to accommodate on-street parking.
- c. Meter banks will be screened where visible from public view at grade level.

5. General Design Guidelines:

- The building materials used on the principal buildings constructed on Site will be a combination of portions of the following brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, decorative block and/or wood ("Proffered Exterior Building Materials"). Vinyl or aluminum as a building material may only be used on windows, soffits and on handrails/rampways. The proposed building will be designed and constructed so that the each building elevation(s) that abut face an existing or proposed road or driveway will be constructed of 100% masonry (including but not limited to brick, stone, precast brick, precast stone, and stucco) exclusive of windows, doors and roofs.
- b. The maximum contiguous area without windows or doors on any floor shall not exceed 20' in length. Where blank or unarticulated walls 20' or greater cannot be addressed principally with doors or windows, they shall be treated with a combination of the following options: (i) a higher level of transparency on the ground floor (exaggerated or larger windows indicative of living areas); and (ii) horizontal and vertical variations in wall planes. If the final architectural design cannot meet the design standards for blank wall articulation, alternative innovative design solutions may be considered for approval by the Planning Director.
- c. The maximum height of any building shall not exceed 16 feet in height. The design variations that visitors can see shall be accomplished through means such as window placement, grade and size variation, Balcony arrangement, unit entrance design, roof variation, material changes, and/or offset wall planes.
- d. Residential building entrances shall be at or slightly above grade and shall be highly visible and architecturally treated as prominent pedestrian entrances through a combination of at least five (5) of the following features: (i) decorative pedestrian lighting/soffits; (ii) architectural details carried through to upper stories; (iii) covered porches, canopies, awnings or sunshades; (iv) archways; (v) transom windows; (vi) terraced or raised planters that can be utilized as seat walls; (vii) common outdoor seating including high stools and/or low seating; landscaping or water features; (viii) double doors; (ix) steps or stairs; and (x) contrasting pavement from primary sidewalk.
- e. To provide a level of comfort and security for residents on the first floor of residential buildings, the first floor shall be visually and physically separated from the sidewalk. Examples include increasing the setback, installing additional landscaping, raising or lowering the first floor or other methods.
- f. Where ground floor connection to units is not possible and a shared or common entry is used, transition from the street to the entry itself is provided to create a unique sense of entry for pedestrians. The ground level transitions are thoughtfully designed and incorporated into the overall character of the building and include any/all the following: changes in grade or setback, stairs, masonry walls, ornamental railing, changes in paving material, additional landscaping or other methods.
- g. Buildings are planned to present a front or side facade to all network required streets (public or private).
- h. Buildings front a minimum of 50% of the total network required street frontage on the site (exclusive of driveways, pedestrian access, points, accessible open space, tree save or natural areas, tree replanting areas and storm water facilities).
- i. Parking lot areas are not located between any building and any network required public or private street however, parking lot areas may be located to the side as generally depicted on the Rezoning Plan.
- j. Provide usable and accessible open space at a minimum of 1 square foot/100 square foot gross floor area or 1 square foot/200 square foot lot area. The amount of open space that is required is greater, in proportion to, and/or other amenities, for buildings with a large internal sidewalk connections shall be provided between buildings and from buildings to all publicly accessible on-site facilities (parking areas, bicycle facilities, open space, etc.) and abutting or adjacent parks, greenways, bikeways, trails, developments and transit stops. Internal sidewalks shall be hard surfaced and at least 6 feet in width unless connecting to four units or less.
- k. Fences or walls used for screening shall be constructed in a durable fashion of brick, stone, other finished masonry materials, wood split-rail, metal or other materials specifically designed as fencing materials.
- m. Service equipment such as dumpsters, refuse areas, recycling and storage are screened from view from public streets with materials and design to be compatible with principal structures. Such design includes a minimum 20' Preferred Exterior Building Material setback from a City Street Right of Way.
- n. All rooftop mechanical equipment on buildings shall be screened from public view from below by integrating the equipment into the building and roof design to the maximum extent feasible, using parapet walls or similar architectural treatments.
- o. Ventilation grates or emergency exit doors located at the first floor level in the building facade oriented to any public street must be decorative.
- p. Roof line feature every 30' feet is required. This can be accomplished by using vertical offset in height, ridge lines, gables, cornices, dormers, roof top tops, material changes, and/or other architectural features such as trellises, portals or porches.
- q. For flat roofs, a parapet extends above the roof plane and include an element that provides a visual termination of the facade. The parapet extends far enough above the roof plane that all mechanical equipment is concealed from view extending to the far edge of any adjacent ROW.
- r. For pitched roofs (not including details that may include cornices, towers or other elements that slope back to the primary roof) the minimum (4:12), excluding buildings with a flat roof and parapet walls.

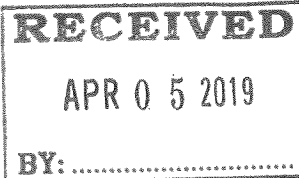
6. Environmental Features:

- a. The Site shall comply with the Charlotte City Council approved and adopted comply with the Post Construction Stormwater Ordinance.
 - b. The Site will comply with the Tree Ordinance.
- 7. Lighting:**
- a. All new attached and detached lighting shall be fully shielded downwardly directed and full cut off fixture type lighting excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.
 - b. Detached lighting on the Site, except street lights located along public streets, will be limited to 22 feet in height.

8. Amendments to the Rezoning Plan:

- a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable development area or portion of the Site affected by such amendment in accordance with the provisions herein and Chapter 6 of the Ordinance.
- 9. Binding Effect of the Rezoning Application:**
- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan shall, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Development Areas, as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.

**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-062

Petition #: _____
Date Filed: 4/5/2019
Received By: BH

Complete All Fields (Use additional pages if needed)

Property Owner: Frank C. Newton, Jr. and Nancy E. Newton

Owner's Address: 1806 Rocky River Road City, State, Zip: Charlotte, NC 28213

Date Property Acquired: March 31, 1997

Property Address: 1806 Rocky River Road, 1702 Rocky River Road, 1704 Rocky River Road and 8225 Newell Farm Road

Tax Parcel Number(s): 105-012-31, 105-012-15, 105-012-14, 105-012-13 and 105-011-08

Current Land Use: Single family residential Size (Acres): +/- 13.012 acres

Existing Zoning: B-1 (CD) and O-1 (CD) Proposed Zoning: UR-2 (CD)

Overlay: N/A (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Sonja Sanders, Grant Meacci and Mandy Rosen
Date of meeting: March 14, 2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To accommodate a residential community on the site comprised of detached style dwelling units and duplex style dwelling units.

John Carmichael (Robinson Bradshaw)
Name of Rezoning Agent

101 N. Tryon Street, Suite 1900
Agent's Address

Charlotte, NC 28246
City, State, Zip

704-377-8341
Telephone Number Fax Number

jcarmichael@robinsonbradshaw.com
E-Mail Address

See Attached Joinder Agreement
Signature of Property Owner

(Name Typed / Printed)

Suncrest Real Estate and Land (c/o Sean Cooney)
Name of Petitioner(s)

2701 East Camelback Road, Suite 180
Address of Petitioner(s)

Biltmore Park, Phoenix, AZ 85016
City, State, Zip

602-481-4301
Telephone Number Fax Number

Scooney@suncrestreal.com
E-Mail Address

SUNCREST REAL ESTATE AND LAND

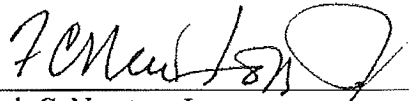
By: [Signature]
Signature of Petitioner

Sean Cooney
(Name Typed / Printed)

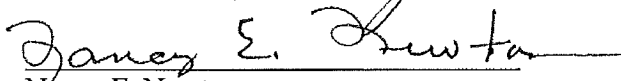
**REZONING APPLICATION FILED BY
SUNCREST REAL ESTATE AND LAND
JOINDER AGREEMENT**

The undersigned, as the owners of those parcels of land subject to the attached Rezoning Application filed by Suncrest Real Estate and Land that are designated as Tax Parcel Nos. 105-012-31, 105-012-15, 105-012-14, 105-012-13 and 105-011-08 on the Mecklenburg County Tax Maps (the "Site"), hereby join in this Rezoning Application and consent to the change in zoning for the Site from the B-1 (CD) and O-1 (CD) zoning districts to the UR-2 (CD) zoning district.

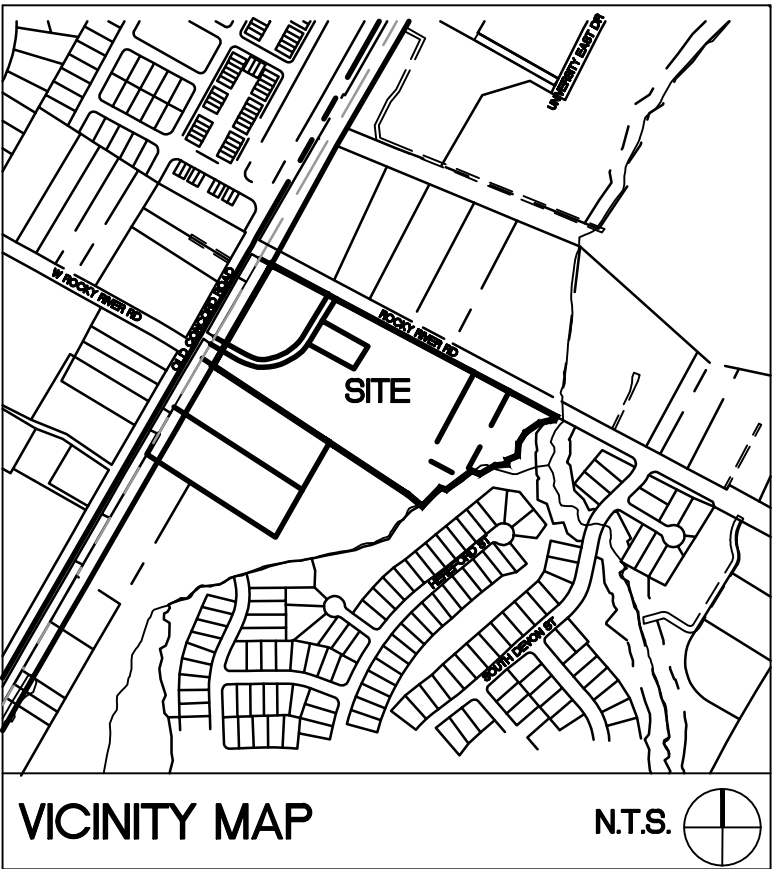
This 4 day of April, 2019.



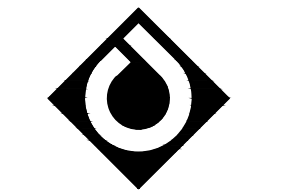
Frank C. Newton, Jr.



Nancy E. Newton



REZONING SUMMARY PETITIONER:	SUNCREST REAL ESTATE AND LAND 2701 EAST CAMELBACK ROAD #180 BILTMORE PARK, PHOENIX, AZ 85016
PROPERTY OWNER:	FRANK C. NEWTON, JR & NANCY E. NEWTON 1806 ROCKY RIVER ROAD CHARLOTTE, NC 28213
TAX PARCEL:	10501231, 10501215, 10501214 10501213, 10501108
EX. ZONING:	B-1 (CD) AND O-1 (CD)
GIS ACREAGE:	13.012 ACRES
ADJUSTED ACREAGE:	12.46 ACRES (OUTSIDE OF RAILWAY R/W)



**ColeJenest
& Stone**

*Shaping the Environment
Realizing the Possibilities*

Land Planning
+
Landscape Architecture
+
Civil Engineering
+
Urban Design

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SUNCREST REAL ESTATE AND LAND

2701 EAST CAMELBACK ROAD, #180
BILTMORE PARK
PHOENIX, AZ

ROCKY RIVER RESIDENTIAL

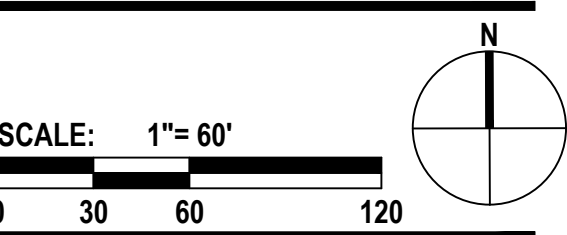
1806 ROCKY RIVER ROAD
CHARLOTTE, NC 28213

EXISTING CONDITIONS PLAN

Project No.
4648.00

Issued
04/02/19

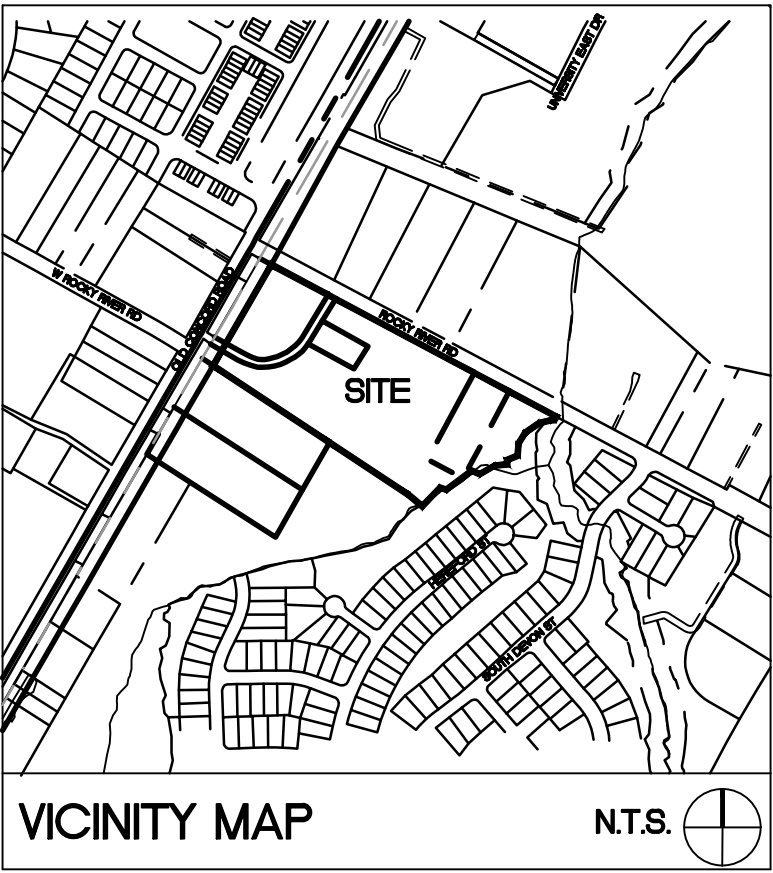
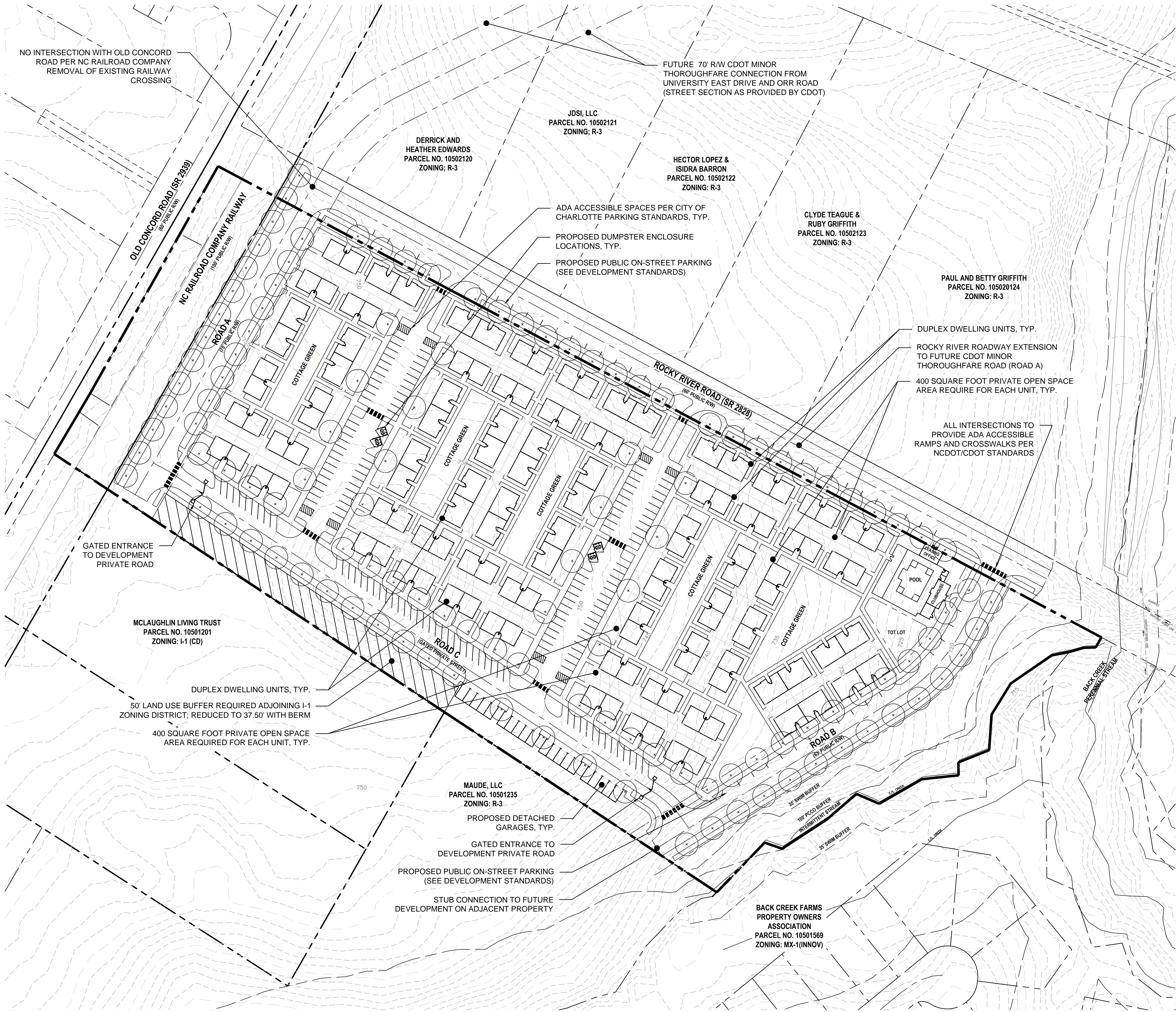
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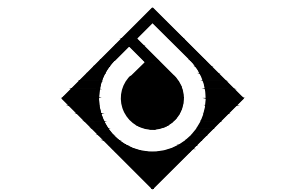
RZ-1.0

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REZONING SUMMARY	
PETITIONER:	SUNCREST REAL ESTATE AND LAND 2701 EAST CAMELBACK ROAD #180 BILTMORE PARK, PHOENIX, AZ 85016
PROPERTY OWNER:	FRANK C. NEWTON, JR & NANCY E. NEWTON 1806 ROCKY RIVER ROAD CHARLOTTE, NC 28213
TAX PARCEL:	10501231, 10501215, 10501214 10501213, 10501108
EX. ZONING:	B-1 (CD) AND O-1 (CD)
PROPOSED ZONING:	UR-2(CD)
GIS ACREAGE:	13.012 ACRES
ADJUSTED ACREAGE:	12.46 ACRES (OUTSIDE OF RAILWAY R/W)
RESIDENTIAL:	126 UNITS (10.11 UNITS/ ACRE)
ZONING SETBACKS:	
PARCEL:	14' MEASURED FROM BACK OF CURB
SIDE:	5'
REAR:	10'
MIN. BLDG. SEPARATION:	10'
PARKING REQUIRED:	PER CITY OF CHARLOTTE STANDARDS
PARKING PROVIDED:	PER CITY OF CHARLOTTE STANDARDS
AMENITY AREA:	0.35 ACRES
OPEN SPACE PROVIDED:	1.52 ACRES (12.28%) *AMENITY AND GREENS
STREAM BUFFERS:	1.74 ACRES
STORMWATER:	PROPOSED UNDERGROUND
*SEE SHEET RZ-3.0 FOR REZONING DEVELOPMENT STANDARDS	



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SUNCREST REAL ESTATE AND LAND

2701 EAST CAMELBACK ROAD, #180
BILTMORE PARK
PHOENIX, AZ

ROCKY RIVER RESIDENTIAL

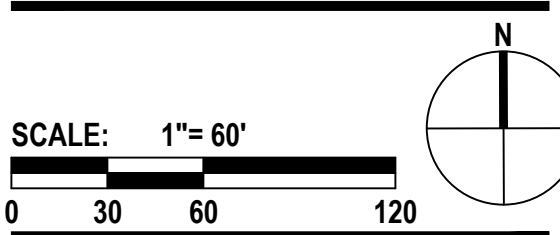
1806 ROCKY RIVER ROAD
CHARLOTTE, NC 28213

CONDITIONAL REZONING PLAN

Project No.
4648.00

Issued
04/02/19

Revised



RZ-2.0

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DEVELOPMENT STANDARDS

April 22, 2019

A. General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Suncrest Real Estate and Land (the "Petitioner") to accommodate the development of a residential community on that approximately 13.012 acre site located on the south side of Rocky River Road between Old Concord Road and South Devon Street, which site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Nos. 105-012-31, 105-012-15, 105-012-14, 105-012-13 and 105-011-08.
- The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.
- The development depicted on the Rezoning Plan is schematic in nature and intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the configurations, placements and sizes of the building footprints as well as the internal public streets, internal private street, internal drives and parking areas depicted on the Rezoning Plan are schematic in nature and, subject to the terms of these Development Standards and the Ordinance, are subject to minor alterations or modifications during the design development and construction document phases.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses/Development Limitations

- The Site may be devoted only to a residential community containing a maximum of 126 dwelling units and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district. Incidental and accessory uses may include, without limitation, a leasing and management office and amenities such as detached garages, a clubhouse, swimming pool and tot lot.
- The dwelling units shall be comprised of duplex dwelling units.

C. Transportation

- Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT").
- As depicted on the Rezoning Plan, the Site will be served by two internal public streets (designated as Road A and Road B on the Rezoning Plan), an internal private street (designated as Road C on the Rezoning Plan) and internal private drives, and minor adjustments to the locations of the internal public streets, internal private street and internal private drives shall be allowed during the construction permitting process.
- Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan. The internal sidewalks may meander to save existing trees.
- Road B shall be substantially completed prior to the issuance of the first certificate of occupancy for a new dwelling unit constructed on the Site.
- Road A shall be substantially completed prior to the issuance of the 80th certificate of occupancy for a new dwelling unit constructed on the Site.
- Road C may, at the option of Petitioner, be gated as generally depicted on the Rezoning Plan.
- The on-street parking on Road B and on Rocky River Road depicted on the Rezoning Plan may be constructed at the option of Petitioner provided that such on-street parking is approved by CDOT and/or NCDOT and any other applicable governmental agencies. If Petitioner elects not to construct such on-street parking or if such on-street parking is not approved by CDOT and/or NCDOT or any other applicable governmental agencies, Petitioner shall not be required to construct the on-street parking.

D. Architectural Standards

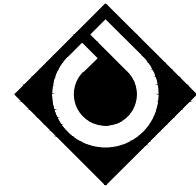
- The maximum height in stories of the duplex dwelling units constructed on the Site shall be one story.
- The actual widths of the duplex dwelling units constructed on the Site may vary from the widths depicted on the Rezoning Plan.
- The primary exterior building materials for the duplex dwelling units constructed on the Site shall be a combination of portions of the following: brick veneer or similar masonry products, stone, manufactured stone, stucco and cementitious siding.
- Vinyl, EIFS or masonite may not be used as an exterior building material on any building constructed on the Site. Notwithstanding the foregoing, vinyl may be utilized on windows, doors, soffits, trim and railings.

E. Streetscape and Landscaping

- A minimum 8 foot wide planting strip and a minimum 6 foot wide sidewalk shall be installed along the Site's frontages on Rocky River Road, Road A and Road B. Notwithstanding the foregoing, the width of the planting strip and the width of the sidewalk may be reduced as required where the sidewalk ties into an existing sidewalk located on the Site's frontage on Rocky River Road.
- Portions of the minimum 6 foot wide sidewalk to be installed along the Site's frontage on Rocky River Road may be located in a sidewalk utility easement.
- A minimum 37.5 foot wide Class A buffer shall be established along that portion of the Site's southern boundary line that is more particularly depicted on the Rezoning Plan. The width of this Class A buffer has been reduced by 25% from 50 feet to 37.5 feet by virtue of Petitioner's commitment to install a berm within this Class A buffer that meets the standards of Section 12.302(8A) of the Ordinance.

F. Binding Effect of the Rezoning Documents and Definitions

- If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



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ROCKY RIVER
RESIDENTIAL

1806 ROCKY RIVER ROAD
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REZONING
DEVELOPMENT
STANDARDS

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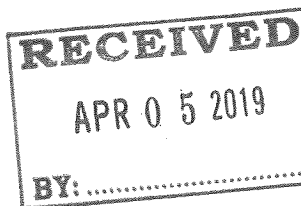
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RZ-3.0

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**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-063

Petition #:	
Date Filed:	4/5/2019
Received By:	BH

Complete All Fields (Use additional pages if needed)

Property Owner: VLE Partners, LLC

Owner's Address: 2100 Crescent Ave, Ste 200 City, State, Zip: Charlotte, NC 28207

Date Property Acquired: March 14, 2019

Property Address: 2010 The Plaza

Tax Parcel Number(s): 095-061-30

Current Land Use: Former hotel and events facility Size (Acres): +/- 2.7982 acres

Existing Zoning: MUDD-O (HD-O) Proposed Zoning: MUDD-O S.P.A. (HD-O)

Overlay: Plaza-Midwood Historic District (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: Sonja Sanders, Mandy Rosen, Carlos Alzate et al.

Date of meeting: December 20, 2018

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To accommodate a multi-use, non-residential development on the site as more particularly described on the conditional rezoning plan. The existing estate home located on the site would be preserved and two additional buildings would be constructed on the site under this development plan.

John Carmichael (Robinson Bradshaw)
Name of Rezoning Agent

101 N. Tryon Street, Suite 1900
Agent's Address

Charlotte, NC 28246
City, State, Zip

704-377-8341
Telephone Number Fax Number

jcarmichael@robinsonbradshaw.com
E-Mail Address

VLE PARTNERS, LLC

By: [Signature]
Signature of Property Owner

Jonathan Dixon
(Name Typed / Printed)

VLE Partners, LLC (c/o Jon Dixon)
Name of Petitioner(s)

2100 Crescent Avenue, Suite 200
Address of Petitioner(s)

Charlotte, NC 28207
City, State, Zip

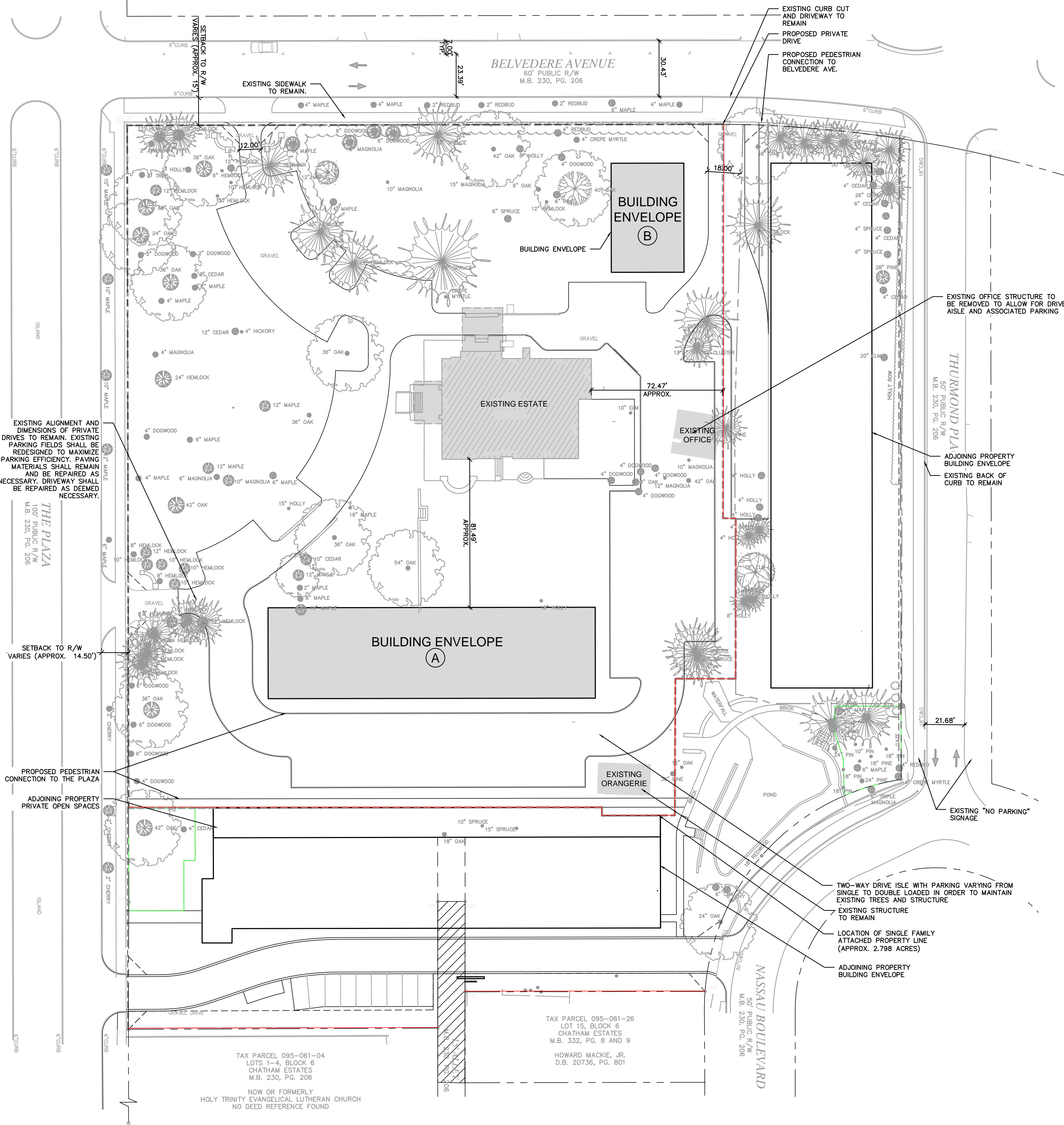
704-900-7307
Telephone Number Fax Number

Jon@ascent.re
E-Mail Address

VLE PARTNERS, LLC

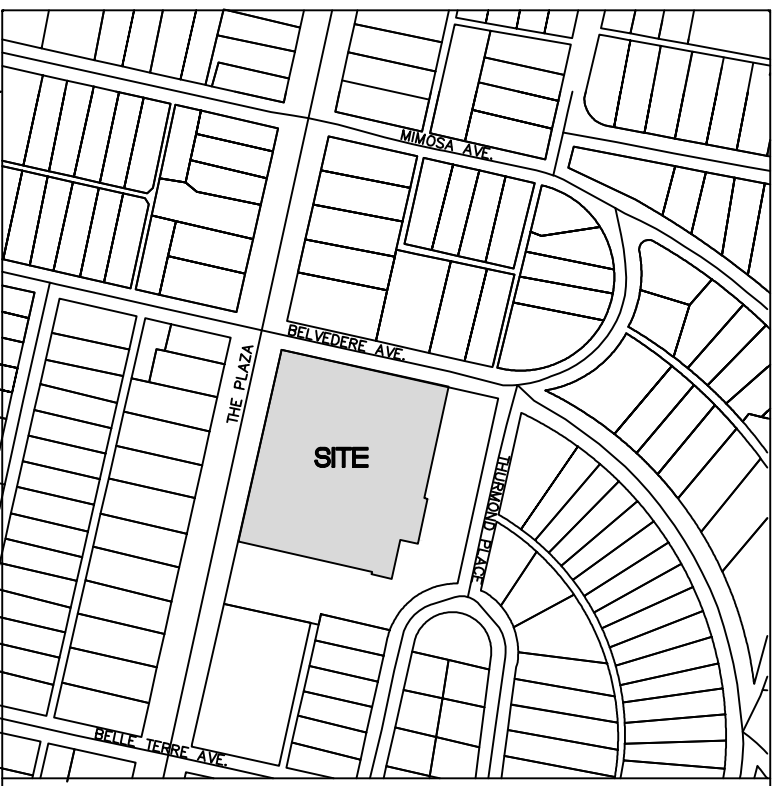
By: [Signature]
Signature of Petitioner

Jonathan Dixon
(Name Typed / Printed)



REZONING SUMMARY	
PETITIONER:	VLE PARTNERS, LLC 2100 CRESCENT AVENUE, SUITE 200 CHARLOTTE NC 28207
PROPERTY OWNER:	VLE PARTNERS, LLC 2100 CRESCENT AVENUE, SUITE 200 CHARLOTTE NC 28207
REZONING SITE AREA:	TOTAL: 2.798 AC
TAX PARCEL #:	09506130
EXISTING ZONING:	MUDD-O (HD-O)
PROPOSED ZONING:	MUDD-O S.P.A. (HD-O)
EXISTING USE:	HOTEL/ EVENT SPACE
PROPOSED USE:	ALL USES ALLOWED IN THE MUDD ZONING DISTRICT EXCEPT AS DESCRIBED ON SHEET RZ-2.0
MAX. BUILDING AREA:	SEE SHEET RZ-2.0 DEVELOPMENT STANDARDS
MINIMUM SETBACK:	EXISTING RIGHT-OF-WAY OR 14' FROM BACK OF CURB, WHICH EVER IS GREATER. SETBACK ALONG THURMOND PL. SHALL MATCH SETBACK OF EXISTING STRUCTURE.
REQUIRED PARKING:	AS REQUIRED IN MUDD DISTRICT OF CITY OF CHARLOTTE ZONING ORDINANCE
TOTAL:	AS REQUIRED BY THE ORDINANCE

•SEE SHEET RZ-2.0 FOR DEVELOPMENT STANDARDS.



SURVEY DISCLAIMER
BOUNDARY SURVEY, ISSUE DATE AUGUST 14, 2014. PROVIDED BY R.B. PHARR & ASSOCIATES, P.A., 420 HAWTHORNE LANE, CHARLOTTE, NC 28204, (336) 782-3796

LEGEND	
SYMBOL	
	PROPOSED BUILDING ENVELOPE
	EXISTING BUILDING ENVELOPE
	EXISTING TREE
	EXISTING LANDSCAPE SCREENING



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VLE PARTNERS, LLC
2100 CRESCENT AVENUE, SUITE 200
CHARLOTTE, NC 28207

VANLANDINGHAM ESTATE

2010 THE PLAZA
CHARLOTTE, NC 28205

CONDITIONAL REZONING PLAN

Project No.
32112.18

Issued
04/02/19

Revised

SCALE: 1"=30'

RZ-1.0

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DEVELOPMENT STANDARDS

April 22, 2019

1. GENERAL PROVISIONS

- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by VLE Partners, LLC for an approximately 2.7982 acre site located at the southeastern corner of the intersection of The Plaza and Belvedere Avenue, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the “Site”). The Site is comprised of Tax Parcel No. 095-061-30. The purposes of this rezoning request include to accommodate the development of certain non-residential uses allowed in the MUDD zoning district on the Site and to maintain the existing Estate Building and the existing Orangerie Building on the Site.
- B. The development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the “Ordinance”). Subject to the optional provisions set out below, the regulations established under the Ordinance for the Mixed Use Development District (“MUDD”) zoning district shall govern the development and use of the Site.
- C. The development and uses depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback and yard requirements set forth on this Rezoning Plan and the development standards, provided, however, that any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan.
- D. The existing Estate Building depicted on the Rezoning Plan shall be maintained on the Site and may be devoted to the uses permitted under the Rezoning Plan. The existing Orangerie Building depicted on the Rezoning Plan shall also be maintained on the Site.
- E. Two new buildings may be constructed on the Site, and any new building shall be located in Building Envelope A or in Building Envelope B depicted on the Rezoning Plan.
- F. Internal sidewalks generally depicted on the Rezoning Plan may be altered provided that such alterations do not materially change the design intent generally depicted on the Rezoning Plan.
- G. The Site is located in the Plaza-Midwood Historic District and the Site and the Estate Building have been designated as an historic landmark by the Charlotte City Council.
- H. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

2. OPTIONAL PROVISIONS

The following optional provisions shall apply to the development of the Site:

- A. Parking, vehicular circulation and vehicular maneuvering space may be located between the buildings and structures located on the Site and the required setbacks from all adjacent public streets as depicted on the Rezoning Plan.
- B. The existing sidewalks, planting strips and streetscape located along the Site's public street frontages shall remain in place.
- C. Notwithstanding the provisions of Section 12.529 of the Ordinance, only the internal pedestrian sidewalks and sidewalk connections that are more particularly depicted on the Rezoning Plan shall be required on the Site.
- D. Valet parking service area(s) may be located between the buildings and structures located on the Site and the adjacent public streets.

3. PERMITTED USES/DEVELOPMENT LIMITATIONS

- A. Subject to the limitations set out below, the Site may be devoted to any use or uses allowed by right or under prescribed conditions in the MUDD zoning district (including any combination of such uses), together with any incidental or accessory uses associated therewith that are permitted under the Ordinance in the MUDD zoning district.
- B. Notwithstanding the terms of paragraph A above, the following uses shall be prohibited on the Site:
- (1) Dormitories.
 - (2) Civic, social service and fraternal facilities.
 - (3) Country and swim clubs.
 - (4) Elementary and secondary schools.
 - (5) Theaters, motion picture.
 - (6) Breweries.
 - (7) Outdoor fresh produce stands.
 - (8) Veterinary clinics.
 - (9) Laboratories, applied and basic research within an enclosed building.
 - (10) Orphanages, children's homes and similar non-profits.
 - (11) Police and fire stations.
 - (12) Post offices.
 - (13) Stadiums, coliseums.
 - (14) Adult establishments.
 - (15) Automotive service stations, including minor adjustments, repairs, lubrication and accessory car washes.
 - (16) Dry cleaning and laundry establishments, up to 4,500 square feet.
 - (17) Equipment rental and leasing, within an enclosed building.
 - (18) Showrooms, up to 70,000 square feet.
 - (19) Accessory shelters.
 - (20) Bus passenger stations.
 - (21) Bust stop shelters.
 - (22) Donation drop-off facility.
 - (23) Electric and gas substations.
 - (24) Homeless shelter.
 - (25) Parking decks, structured.
 - (26) Crematory.
- C. A maximum of three principal buildings (which includes the Estate Building) may be located on the Site. Accessory structures, such as the Orangerie Building, may also be located on the Site.
- D. The maximum size of any building located in Building Envelope A shall be 18,000 square feet of gross floor area.
- E. The maximum size of any building located in Building Envelope B shall be 5,000 square feet of gross floor area.
- F. The Estate Building currently contains 6,634 square feet of rentable space. The rentable space in the Estate Building may be increased to a maximum of 8,000 square feet of rentable space.
- G. All amplified outdoor music on the Site must end by 10:30 PM on weekdays and 11:00 PM on weekends.
- H. Temporary structures such as stages and event tents will be located at least 40 feet from the right of way along The Plaza and Belvedere Avenue and 20 feet from the southern and eastern boundary lines of the Site. All temporary structures shall be erected no sooner than 24 hours prior to events and dismantled no later than 24 hours following events, and in no case shall they be erected or dismantled before 8:00 AM or after 9:00 PM except in the case of an emergency.
- I. With the exception of one event per calendar year, the maximum number of guests or attendees at a single event held in the Estate Building, the Orangerie or on the grounds of the Site shall be 325. Staff shall not be counted towards the maximum number of guests or attendees.
- J. Drive-in and drive-through windows are prohibited on the Site.

4. TRANSPORTATION

- A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access

points are subject to any minor modifications required by the Charlotte Department of Transportation (“CDOT”).

- B. The alignments of the internal driveways and the vehicular circulation areas may be modified by Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by CDOT in accordance with applicable published standards.

5. ARCHITECTURAL AND DESIGN STANDARDS

- A. The maximum height of any building constructed in Building Envelope A shall be 40 feet as measured under the Ordinance.
- B. The maximum height of any building constructed in Building Envelope B shall be 40 feet as measured under the Ordinance.
- C. The exterior design and building materials of any building constructed in Building Envelope A or in Building Envelope B and any addition to the Estate Building are subject to the review and approval of the Charlotte-Mecklenburg Historic Landmarks Commission and the Charlotte Historic District Commission, and a certificate of appropriateness must be issued by the Charlotte-Mecklenburg Historic Landmarks Commission and the Charlotte Historic District Commission prior to the issuance of building permits or other approvals authorizing the construction of these improvements.
6. SETBACK AND YARDS/STREETSCAPE/SCREENING

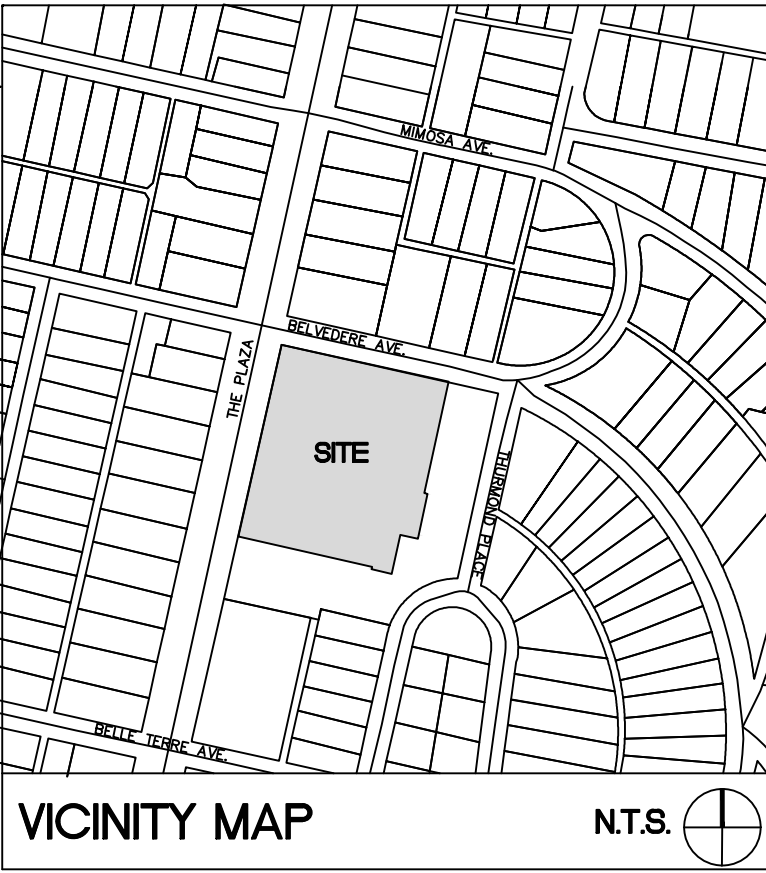
- A. The existing sidewalks, planting strips and streetscape located along the Site's public street frontages shall remain in place.

7. ENVIRONMENTAL FEATURES

- A. Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance.
8. LIGHTING
- A. All new freestanding lighting fixtures installed on the Site (excluding street lights and lower, decorative lighting that may be installed along the driveways, sidewalks and parking areas and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.
- B. The maximum height of any newly installed freestanding lighting fixtures on the Site shall be 20 feet, excluding street lights.
- C. Any new lighting fixtures attached to the structures on the Site shall be decorative, capped and downwardly directed.

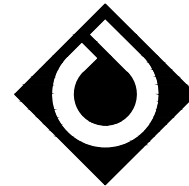
9. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- B. Throughout these Development Standards, the term “Petitioner” shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



SURVEY DISCLAIMER

BOUNDARY SURVEY, ISSUE DATE AUGUST 14, 2014. PROVIDED BY R.B. PHARR & ASSOCIATES, P.A., 420 HAWTHORNE LANE, CHARLOTTE, NC 28204, (336) 782-3796



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VANLANDINGHAM
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DEVELOPMENT
STANDARDS

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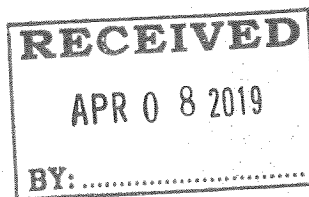
Revised

RZ-2.0

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**I. REZONING APPLICATION
CITY OF CHARLOTTE**



2019-06A

Petition #:	
Date Filed:	4/8/2019
Received By:	ji

Property Owners: Mt Island Promenade LLC
Owner's Addresses: 1401 Sunset Dr, Ste B, Greensboro, NC 27408
Date Properties Acquired: 12/31/2014
Property Addresses: 4756 Smith Farm Rd, Charlotte, NC 28216
Tax Parcel Numbers: 033-046-18
Current Land Use: vacant (Acres): ± 33.163
Existing Zoning: NS Proposed Zoning: NS (SPA)
Overlay: N/A Tree Survey Provided: Yes: N/A:
Required Rezoning Pre-Application Meeting* with: Michael Russell, Isaiah Washington, Grant Meacci, Eric Lemieux, Kent Main
Date of meeting: 3/6/2019

(*Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezoning Only:

Requesting a vesting period exceeding the 2 year minimum? ☐ Yes ☒ No. Number of years (maximum of 5): N/A

Purpose/description of Conditional Zoning Plan: To allow development of the site with a medical office building and a hospital.

Keith MacVean, Dujuana Keys & Jeff Brown

Name of Rezoning Agent

Moore & Van Allen, PLLC
100 N. Tryon Street, Suite 4700

Agent's Address

Charlotte, NC 28202

704.331.3531(KM) 704-378-1954(KM)
704.331-2371 (DK) 7004-339-5888 (DK)
704-331-1144 (JB) 704-378-1925 (JB)

Telephone Number

Fax Number

keithmacvean@mvalaw.com;
djuanakeys@mvalaw.com; jeffbrown@mvalaw.com

E-mail Address

SEE ATTACHMENT A

Signature of Property Owner

Novant Health (Attn: Matthew Stiene)

Name of Petitioner

1900 Randolph Road, Ste 500

Address of Petitioner

Charlotte, NC 28207

City, State, Zip

704.316.4351

Telephone Number

Fax Number

mhstiene@novanthealth.org

E-mail Address

SEE ATTACHMENT B

Signature of Petitioner

ATTACHMENT A

REZONING PETITION NO. 2019-____
Novant Health

OWNER JOINDER AGREEMENT
Mt Island Promenade LLC

The undersigned, as the owner of the parcel of land located at 4756 Smith Farm Rd, Charlotte, NC that is designated as Tax Parcel No. 033-046-18 on the Mecklenburg County Tax Map and which is subject to the attached Rezoning Application (the "Parcel"), hereby joins in the Rezoning Applications and consents to the change in zoning for the parcels from NS zoning district to the NS SPA zoning district as more particular depicted on the related conditional rezoning plan, and to subsequent changes to the rezoning plan as part of this rezoning application.

This 18th day of MARCH, 2019.

MT Island Promenade LLC

By: 

Name: SAM SIMPSON

Its: MANAGER

ATTACHMENT B


ATTACHMENT B

**REZONING PETITION NO. 2019-
Novant Health**

Petitioner:

Novant Health

By:



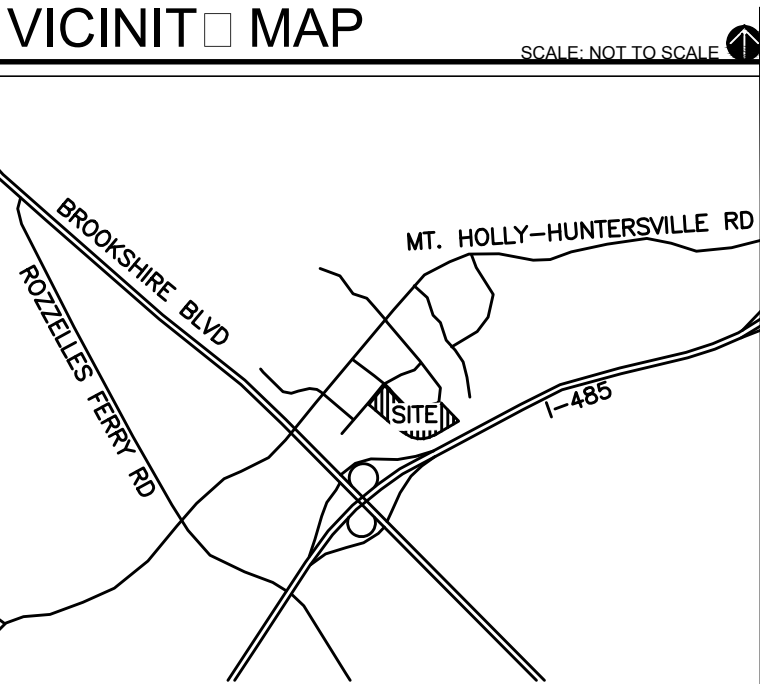
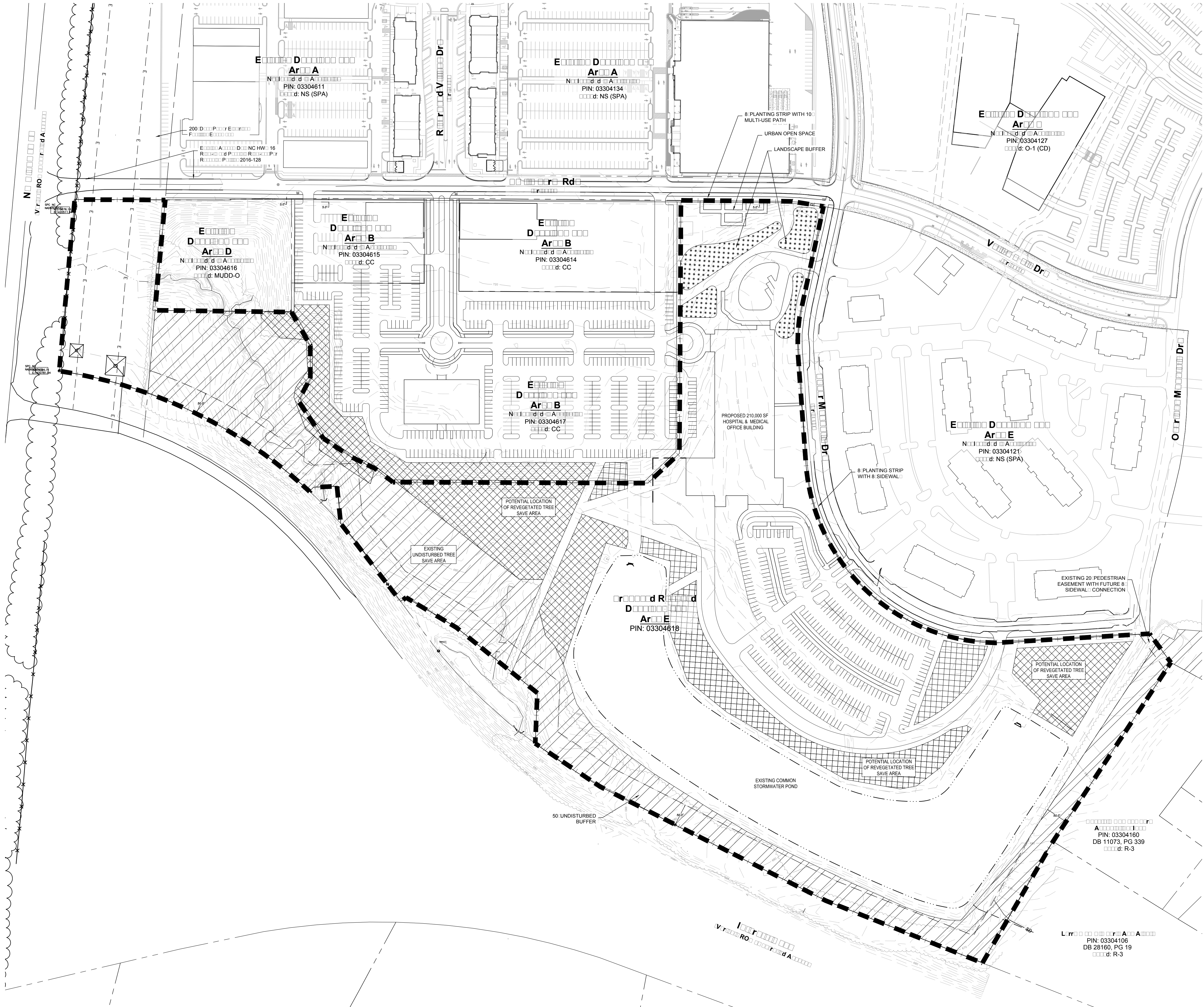
Name:

Matthew Stone

Title:

Vice President

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SITE DATA	
Owner:	Novent Health Inc 1900 Randolph Road, Ste 500 Charlotte, NC 28207
Parcel Numbers:	3304618
Address:	Smith Farm Road Charlotte, NC 20147
Total Acreage:	
Site Acreage:	33.16 Acres +/-
Existing Zoning:	NS(SPA)
Proposed Zoning:	NS(SPA)
See Development Standards on Sheet G-802 for details.	

NOTES

Boundary Information from...
Previous submittal plans by Design Resource Group in Charlotte, NC and survey of tax parcels 03304615, 03304616, 03304617, and 03304618 by Sgroi Land Surveying, PLLC dated March 8, 2019.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
LAND PLANNING

619 S. CEDAR STREET, SUITE L
CHARLOTTE, NC 28202
P: 336.723.1067 F: 336.723.1069
www.stimmelpa.com

SEALS:

PROJECT:

RIVERBEND VILLAGE AREA E REZONING

SMITH FARM ROAD
CHARLOTTE, NC
PETITION #: 2019-XXX

CLIENT:

NOVANT HEALTH
1900 RANDOLPH ROAD
SUITE 500
CHARLOTTE, NC 28207
(704) 316-4351

DRAWN:	ESB
DATE:	04/05/19
REVISIONS:	
JOB. NO.:	19-033
SHEET TITLE:	

SCHEMATIC SITE PLAN

SCALE: 1" = 100'

SHEET NO.:

G-801

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Site Development Data:

- Acreage: ± 33.163 acres
- Tax Parcel #: 03-046-18
- Existing Zoning: NS
- Proposed Zoning: NS SPA
- Existing Uses: vacant
- Proposed Uses: A hospital, medical office uses and clinics as permitted by right and under prescribed conditions together with accessory uses, including a helicopter landing pad, a parking structure as allowed in the NS zoning district (as more specifically described and restricted below in Section 2).
- Maximum Gross Square feet of Development: Up to 210,000 square feet of gross floor area for a hospital, medical office uses, including medical, dental, and optical clinics.
- Maximum Building Height: As allowed by the Ordinance, but not to exceed 60 feet.
- Parking: Parking will be provided as required by the Ordinance.

1. General Provisions:

- a. **Site Location.** These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Novant Health ("Petitioner") to accommodate the development of a hospital with a variety of medical offices and clinic uses as allowed in the NS zoning district on approximately 33.163 acre site located at 4756 Smith Farm Road (the "Site").
- b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards the regulations established under the Ordinance for the NS zoning classification shall govern.
- c. **Graphics and Alterations.** The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, driveways, and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.
- d. **Number of Buildings Principal and Accessory.** The total number of principal buildings to be developed on the Site shall not exceed two (2). Accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, architectural elements and designs as the principal buildings located on the Site.

2. Permitted Uses & Development Area Limitation:

- a. The Site may only be developed with up to 210,000 square feet of gross floor area for a hospital, medical offices uses, and medical, dental, and optical clinics, together with accessory uses, including a helicopter landing pad, a parking structure as allowed in the NS zoning district.

For purposes of the development limitations set forth in these Development Standards for this Petition (but not to be construed as a limitation on FAR requirements or definition set by the Ordinance), the following items will not be counted as part of the allowed gross floor area (floor area as defined by the Ordinance) for the Site: surface or structured parking facilities, and all loading dock areas (open or enclosed).

3. Access and Transportation:

- a. Access to the Site will be from Smith Farm Road, and Sugar Magnolia Drive in the manner generally depicted on the Rezoning Plan. Additional or fewer driveways to the abutting streets will be allowed.
- b. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site development and construction plans and to any adjustments required for approval by CDOT and/or NCDOT in accordance with applicable published standards.
- c. All required transportation improvements will be approved and constructed prior to the issuance of the first certificate of occupancy subject to the petitioner ability to post a bond for any improvements not in place at the time of the issuance of the first certificate of occupancy.
- e. The alignment of the internal vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by CDOT and/or NCDOT in accordance with published standards.

4. Streetscape, Buffers, Yards and Landscaping:

- a. The setback along Smith Farm Road will be 18 feet as measured from the existing back of curb. The setback along Sugar Magnolia Drive will be 16 feet as measured the existing back of curb. A 50 foot undisturbed buffer will be provided along I-485.
- b. Along the Site's frontage on Smith Farm Road the Petitioner will provide an eight (8) foot planting strip and a 10 foot multi-use path (MUP) as generally depicted on the Rezoning Plan. Along Sugar Magnolia Drive an eight (8) foot planting strip and an eight (8) foot sidewalk will be provided as generally depicted on the Rezoning Plan. A sidewalk easement will be provided if the proposed sidewalk or MUP is located outside of the right-of-way.
- c. The Petitioner will provide a sidewalk network that links the proposed building entrances to the sidewalk along Sugar Magnolia Drive, and to the Smith Farm Road MUP. The minimum width for this internal sidewalk will be six (6) feet.
- d. Above-ground backflow preventers will be screened from public view and will be located outside of the required setbacks.
- e. Dumpster areas and recycling areas will be enclosed by a solid wall with one side being a decorative gate. The wall used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the principal building.

5. Architectural Standards:

- 1. Building Placement and Site Design shall focus on and enhance the Pedestrian environment on Public network required streets, through the following:
 - a. The proposed buildings shall be placed so as to present an interesting and well-articulated façade to Sugar Magnolia Drive as generally depicted on the Rezoning Plan.
 - b. The Facade fronting on Sugar Magnolia Drive shall include windows for a minimum of 60% of the Sugar Magnolia Drive elevation, transparent glass between 2' feet and 10' feet on the first floor. Up to 20% of this requirements may be comprised of display windows. These display windows must maintain a minimum of 3'-0" foot clear depth between window and rear wall. Windows within this zone shall not be screened with film, decals, and other opaque material, or glazing finishes. The maximum sill height for required transparency shall not exceed 4'-0" feet above adjacent street sidewalk.
 - c. The facade of first/ground floor of the building along Sugar Magnolia Drive and Smith Farm Road shall incorporate a minimum of 30% masonry material such as brick or stone.
 - d. Direct pedestrian connection shall be provided between the building and Sugar Magnolia Drive and Smith Farm Road, to the sidewalk and MUP along each street.
 - e. The building design will include a door facing/oriented toward Sugar Magnolia Drive and Smith Farm Road.
 - f. Building elevations shall not have expanses of blank walls greater than 20 feet in all directions and architectural features such as but not limited to banding, medallions, or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.
 - g. Building elevations shall be designed with vertical bays or articulated architectural features which shall include a combination of at least three of the following: a combination of exterior wall off-sets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.
 - h. Buildings should be a minimum height of 22 feet.
 - i. Multi-story buildings should have a minimum of 20% transparency on upper stories.

6. Environmental Features:

- a. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Ordinance.
- b. The location, size, and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- c. The Site will comply with the Tree Ordinance.

7. Lighting:

- a. All new detached and attached lighting shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.
- b. Detached lighting on the Site will be limited to 25 feet in height.

8. Amendments to the Rezoning Plan:

- a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the portion of the Site affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.

9. Binding Effect of the Rezoning Application:

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

SEALS:

PROJECT:

RIVERBEND VILLAGE
AREA E REZONING
SMITH FARM ROAD
CHARLOTTE, NC
PETITION #: 2019-XXX

CLIENT:

NOVANT HEALTH
1900 RANDOLPH ROAD
SUITE 500
CHARLOTTE, NC 28207
(704) 316-4351

DRAWN:	ESB
DATE:	04/05/19
REVISIONS:	

JOB. NO: 19-033
SHEET TITLE:

DEVELOPMENT
STANDARDS

SCALE: NTS
SHEET NO.:

G- 802

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