

Charlotte-Mecklenburg Planning Department

DATE: November 13, 2019

TO: Sonja Sanders FROM: Taiwo Jaiyeoba

Zoning Supervisor Planning Director

SUBJECT: Administrative Approval for Petition No. 2008-112 Westlake Holdings, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 <u>Alterations to Approval</u>, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- To allow a modification of the site layout.
- Transportation improvement modifications.
- New building elevations.

Staff supports of the request because:

• The site plan complies with the conditional notes and still meets the intent of the original approval by the City Council.

Note:

All other Zoning, PCSO, Subdivision, Tree Ordinances and conditional requirements still apply.

Signage was not reviewed as part of this request.

PETITIONER SHALL PROVIDE ROAD

STREET EXTENSIONS

NEW PROPERTY LINE ON THE SITE PLAN.

OUTPARCEL A: SHALL CONTAIN UP TO 10,000 SQUARE FOOT OF RETAIL) A CLASS B BUFFER (AS DETAILED ABOVE) WILL BE LOCATED BETWEEN THIS DEVELOPMENT AND THE MULTI-FAMILY DEVELOPMENT. VEHICULAR ACCESS ACROSS AND OR TURNAROUND FOR EMERGENCY VEHICLES SHALL BE PERMITTED TO WITHIN THE BUFFER.

IMPROVEMENTS IN PHASE 2 IN CONJUNCTION-

WITH COMPLETION OF PUBLIC AND PRIVATE

6' TEMPORARY ASPHALT RAMP TO TIE

INTO PROPOSED 2' PAVED SHOULDER

150' MIN. CHANNELIZATION

FROM RIGHT-OF-WAY

CONDITIONAL NOTES

USES: SHALL BE LIMITED TO THOSE ALLOWABLE IN THE B-1 DISTRICT, EXCEPT NIGHT CLUBS AND AUTOMOBILE SERVICE STATIONS SHALL NOT BE PERMITTED. HOWEVER, A CONVENIENCE STORE WITH

GASOLINE SALES AND AN ACCESSORY CAR WASH SHALL BE PERMITTED IN THE RETAIL AREAS. MAXIMUM ALLOWABLE SQUARE FOOTAGE: THE PRIMARY DEVELOPMENT AREAS SHALL CONSIS OF A MAXIMUM OF 192 MULTI-FAMILY UNITS. A MAXIMUM OF 10,000 SQUARE FEET OF RETAIL/RESTAURANT/OFFICE USES ON ONE THREE OUTPARCELS. AND A 20 CLASSROOM PUBLIC PRE K

SCHOOL. THE MAXIMUM RETAIL/RESTAURANT/OFFICE SQUARE FOOTAGE IS TRANSFERABLE BETWEEN THE OUTPARCELS. AS LONG AS THE TOTAL SQUARE FOOTAGE DOES NOT EXCEED 55,000SF. DRIVE THRU SERVICE WINDOWS SHALL BE ALLOWED ON OUTPARCEL A AND B.

1 HRU SERVICE WINDOWS SHALL BE ALLOWED ON OUTPARCEL A AND B.

3. <u>LIGHTING:</u> SITE LIGHTING FOR THE MULTI-FAMILY, RETAIL (AND PRE-K SCHOOL) DEVELOPMENTS SHALL BE INWARDLY DIRECTED SO AS NOT TO REFLECT TOWARD ADJACENT PROPERTIES, NO WALL PAK LIGHTING SHALL BE ALLOWED AND ALL LIGHTING SHALL BE SHIELDED WITH FULL CUT-OFFS.

4. <u>DRIVEWAYS:</u> SHALL BE AT THE APPROXIMATE LOCATIONS AS SHOWN ON THIS SITE PLAN AND SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY ENGINEERING AND PROPERTY MANAGEMENT DEPARTMENT, CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION, AND NCDOT REQUIREMENTS. 5. STREET BUFFERS: THE PETITIONER AGREES TO A 40' CLASS B BUFFER ADJACENT TO OLD PLANK

ROAD, BELLHAVEN BLVD, AND BROOKSHIRE BLVD. EXISTING TREES THAT ARE PRESERVED WITHIN THIS BUFFER AREA, AS WELL AS NEW PLANTINGS, WILL BE USED TO MEET TREE PLANTING REQUIREMENTS FOR THE CLASS B BUFFER. THE FIRST 10 FEET ADJACENT TO THE EXTERIOR R.O.W./PROPERTY LINE WITHIN THE 40 FOOT PERIMETER BUFFER SHALL REMAIN UNDISTURBED EXCEPT FOR MINOR BRUSH REMOVAL, UTILITY CORRIDORS, AS RE'D. AND TO ACCOMMODATE THE REQUIRED BIKE/PEDESTRIAN PATH.

6. <u>DUKE ENERGY RIGHT-OF-WAY:</u> ANY USE OF PROPERTY WITHIN THE DUKE ENERGY RIGHT-OF-WAY SHALL BE SUBJECT TO THE APPROVAL BY DUKE ENERGY COMPANY. THE DEVELOPER WILL OBTAIN APPROVAL FROM DUKE ENERGY FOR PARKING, PUBLIC AND PRIVATE STREETS AND DRIVEWAYS WITHIN THE 128' DUKE ENERGY RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE RETAIL DEVELOPMENT.

STORM WATER: CONTROL OF STORM WATER AND WATER QUALITY FROM THE SITE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE CURRENT EDITION OF THE CITY OF CHARLOTTE'S POST CONSTRUCTION STORM WATER ORDINANCE.

8. CONCEPT OF DEVELOPMENT: THE SITE PLAN DEPICTS A FIRM CONCEPT OF DEVELOPMENT; HOWEVER, FINAL SIZE, LOCATION AND CONFIGURATION WITHIN THE PRIMARY DEVELOPMENT AREAS CONDITIONS AND TENANT REQUIREMENTS, BUT IN NO EVENT SHALL THE BUILDING SQUARE FOOTAGE

OR TOTAL NUMBER OF UNITS OR BUILDING EXCEED THE AMOUNTS INDICATED AS THE MAXIMUM FOR THE RETAIL OUT PARCEL AND MULTI-FAMILY DEVELOPMENT. ALTERATIONS TO THE APPROVED SITE PLAN WILL BE SOUGHT IN ACCORDANCE WITH CHAPTER 6 OF THE CITY OF CHARLOTTE ZONING

9. <u>ARCHITECTURAL DESIGN:</u> THE RETAIL DEVELOPMENT SHALL BE BUILT OUT OF DECORATIVE MASONRY BRICK, SPECIALTY MASONRY MATERIALS, STUCCO OR OTHER SIMILAR MATERIALS. OWNER WILL REQUIRE THE OUTPARCEL BUILDINGS TO USE SIMILAR BUILDING MATERIALS AND COLORS AS THE OTHER BUILDINGS IN THE RETAIL DEVELOPMENT AREA. THE DEVELOPER WILL SUBMIT ALL BUILDING ELEVATIONS TO PLANNING STAFF FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

THE MULTIFAMILY BUILDINGS WILL CONSIST OF WOOD SIDING, STUCCO AND BRICK/STONE/MASONRY

10. SCREENING: SCREENING OF THE PARKING AND SERVICE AREAS, AND THE BERM AND

LANDSCAPE IMPROVEMENTS ASSOCIATED WITH THE CLASS B AND C BUFFERS, SCREENING (SECTION 12.3), SIGNAGE (CHAPTER 13) AND VEHICLE AND BIKE PARKING (CHAPTER 12 PART C) SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE. PER SECTION 9.805(6), OUTDOOR STORAGE OF ANY MATERIAL, STOCK OR EQUIPMENT, ACCESSORY TO A PRINCIPLE USE ON ANY LOT IN A BUSINESS DISTRICT SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND ADJOINING PROPERTY IN ACCORDANCE WITH SECTION 12.303.

11. ALL DUMPSTER/RECYCLE CONTAINERS: SHALL BE ENCLOSED WITH A SOLID SCREEN FENCE AND GATE OR LOCATED WITHIN AN ENCLOSED SERVICE AREA. THE DUMPSTER/RECYCLE LOCATIONS. AS SHOWN ON THIS PLAN ARE SCHEMATIC AND ARE SUBJECT TO CHANGE.

12. SIGNAGE: ALL PERMANENT SIGNS ERECTED ON THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE AND IN ACCORDANCE WITH THE FOLLOWING:

WITHIN THE BUFFER ZONES, PERMANENT MONUMENT STYLE PROJECT IDENTIFICATION SIGNS MAY ONLY BE LOCATED WITHIN THE VICINITY OF THE ACCESS POINTS LEADING TO OLD PLANK ROAD AND BELL HAVEN BOULEVARD, AND ONLY TWO SUCH PROJECT IDENTIFICATION SIGNS MAY BE LOCATED ON THE OVERALL SITE. THE HEIGHT AND LOCATION FOR ALL OTHER SIGNAGE WILL MEET THE CURRENT ORDINANCE REQUIREMENTS, WHEN THE SPECIFIC OUTPARCEL DEVELOPS.

THE RETAIL OUTPARCELS WILL BE ALLOWED ONE FREE STANDING TENANT IDENTIFICATION SIGN. ALL FREESTANDING SIGNS OR GRAPHICS INSTALLED WITHIN BUILDING AREAS WILL BE COMPLEMENTARY IN SCALE AND APPEARANCE TO THE STRUCTURE WILL BE COMPATIBLE WITH ITS ARCHITECTURAL DESIGN. THE DEVELOPER WILL REQUIRE THAT ALL SIGNS IN THE PRIMARY RETAIL DEVELOPMENT AREA AND THE OUTPARCELS TO BE HEAVILY LANDSCAPED WITH FLOWERS, SHRUBS, AND UNDERSTORY TREES WITH THE HEIGHT OF THE UNDERSTORY TREES TO BE NO LESS THAN SEVEN (7)

13. OFF SITE ROAD IMPROVEMENTS: THE DEVELOPER WILL INSTALL LEFT TURN LANES ON OLD PLANK ROAD AND BELLHAVEN BLVD. TO SERVE THE PROPOSED PUBLIC AND PRIVATE STREETS, PER FINAL REVIEW AND INPUT BY COOT AND NODOT. THE LEFT TURN LANES SHALL BE DESIGNED WITH A MINIMUM 150 FEET OF STORAGE BUT OTHERWISE DESIGNED TO NCDOT STANDARDS. 8-FOOT

DEVELOPMENT SHALL BE CONSTRUCTED IN 2 CONSECUTIVE PHASES AND WILL BE IDENTIFIED AS PHASE ONE AND PHASE TWO RESPECTIVELY. PHASE ONE SHALL ENCOMPASS THE FIRST 96 DWELLING UNITS, PHASE TWO SHALL ENCOMPASS THE 97TH/ -192ND/ DWELLING UNITS AND RETAIL

- THE DEVELOPER SHALL INSTALL A WESTBOUND LEFT TURN LANE ON OLD PLANK ROAD TO SERVE THE PROPOSED PUBLIC STREET PER FINAL REVIEW BY CDOT. THE LEFT TURN LANE SHALL BE DESIGNED WITH A MINIMUM OF 150' OF STORAGE WITH APPROPRIATE BAY TAPER. BUT OTHERWISE DESIGNED TO CDOT STANDARDS.

A MINIMUM OF 150' OF INTERNAL CHANNELIZATION SHALL BE PROVIDED AT PUBLIC STREET CONNECTION TO OLD PLANK ROAD.

- A 10' SHARED BIKE/PEDESTRIAN MULTI-USE PATH (MUP) WITH ASSOCIATED PUBLIC ACCESS EASEMENT (2' BEHIND SIDEWALK/10' MUP WHERE FEASIBLE) SHALL SUFFICE FOR SIDEWALK ALONG OLD PLANK ROAD. THE MUP SHALL BE LOCATED WITHIN THE 40' CLASS C BUFFER ADJACENT TO OLD PLANK ROAD AND BROOKSHIRE BOULEVARD (OUTSIDE OF THE NCDOT R/W). A STUB SHALL BE PROVIDED TO THE RIGHT OF WAY LINE AT BROOKSHIRE BOULEVARD TO PROVIDE POSSIBLE FUTURE CONNECTIVITY (BY OTHERS).

PHASE 2 TRANSPORTATION IMPROVEMENTS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE 97TH/ DWELLING UNIT OR RETAIL OUT PARCEL. - CURB AND GUTTER TO BE INSTALLED ALONG OLD PLANK ROAD IN COORDINATION WITH THE PREVIOUS STATED ROAD IMPROVEMENTS IN PHASE ONE.

14. ENVIRONMENTAL GDP'S:

- THE DESIGN OF THIS DEVELOPMENT STRIVES TO MINIMIZE THE NEGATIVE ENVIRONMENTAL IMPACTS ON THE AIR, LAND AND WATER RESOURCES BY UTILIZING THE FOLLOWING STRATEGIES:

- REDUCING THE NUMBER OF VEHICULAR TRIPS WITH THE DESIGN AND CONSTRUCTION OF NEW BICYCLE PARKING, AND BOTH INTERNAL AND PERIMETER PEDESTRIAN CONNECTIVITY VIA NEW PROVIDING A MIXTURE OF WELL-CONNECTED LAND USES (i.e. MULTI-FAMILY NEIGHBORHOOD RETAIL

AS SHOWN ON THIS SITE PLAN BY: - FILLING IN VACANT LAND - LOCATING DEVELOPMENT TO TAKE ADVANTAGE OF EXISTING INFRASTRUCTURE AND SERVICES:

- FACILITATING USE OF ALTERNATE MODES OF TRANSPORTATION, INCLUDING BICYCLING, WALKING AND RIDING TRANSIT: AND - SHORTENING TRAVEL DISTANCE BY INCREASING STREET CONNECTIONS WITHIN THE DEVELOPMEN AND TO THE 3 ADJACENT MAJOR THOROUGHFARES.

- THE STRATEGY FOR LESS IMPACT TO WATER: THIS PROJECT WILL STRIVE TO REDUCE THE IMPACT OF NON-POINT POLLUTION ON WATER QUALITY BY

ADHERING TO THE CITY OF CHARLOTTE POST CONSTRUCTION STORMWATER ORDINANCE FOR DESIGN OF ON SITE DETENTION AND WATER QUALITY BMP'S. MINIMIZING IMPERVIOUS SURFACE AREA

REDUCING SEDIMENTATION AND EROSION CONTROL VIA A WELL ENGINEERED GRADING AND \langle EROSION CONTROL PLAN, WHICH WILL BE APPROVED BY THE CITY.

PRESERVATION OF EXISTING TREES VIA TREE SAVE AREAS ALONG THE CREEK AND INTERNAL TO THE MULTI-FAMILY DEVELOPMENT, WHERE APPLICABLE FROM A GRADING AND DEVELOPMENT

UPON APPROVAL BY, AND COORDINATION WITH, THE CHARLOTTE AREA TRANSIT SYSTEM (CATS), THE DEVELOPER WILL INSTALL A CONCRETE BUS STOP PAD OUTSIDE THE PUBLIC RIGHT-OF-WAY, IN A

SOLID WASTE MANAGEMENT PARCEL II: MULTI-FAMILY PARCEL WITH REMAINING UNITS OF UP TO 192 TOTAL WITH ACCESSORY STRUCTURES SHALL CONTINUE WITH INSTALLATION OF PUBLIC AND PRIVATE
STREET TO BELLHAVEN BOULEVARD AND ASSOCIATED ROAD IMPROVEMENTS ON BELLHAVEN BOULEVARD AND GUTTER ALONG OLD PLANK ROAD AS PER DESIGNATION OF
NEW PROPERTY LINE ON THE SITE BLAN

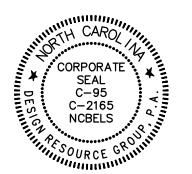
CLEARING, DEMOLITION, AND/OR CONSTRUCTION ACTIVITY. CLEARING, DEMOLITION, AND/OR CONSTRUCTION ACTIVITY.

 $^{\prime}$ SITE PLAN WILL COMPLY WITH LAKE WYLIE PROTECTED AREA WATERSHED REGULATIONS (HIGH DENSITY OPTION) Copyright © 2019 Design Resource Group, PA This plan or drawing and any accompanying documents or calculations are the property of Design Resource Group, PA; and are intended solely for the use of the recipient noted. No third party use or modification is permitted without written authorization

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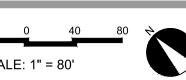
ADMIN APPROVAL PETITION #2008-112



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DRAWN BY



PROJECT #: CHECKED BY:

JULY 16, 2019

REVISIONS: 10.22.19 - PER STAFF COMMENTS

AA1.0



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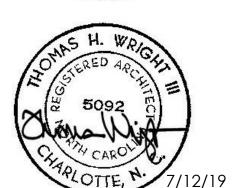
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DESIGN

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BROOKSHIRE BLVD APARTMENT

PROJECT NUMBER: 18-008 ISSUE DATE: 7/12/19

DRAWN BY: KRS CHECKED BY: KLK

Revision Schedule

Description Date

PERMIT REVIEW COMMENTS 8/9/19
PLANNING COMMENTS 10/10/1

ELEVATIONS UPDATED PER PLANNING REQUIREMENTS

BUILDING TYPE III -ELEVATIONS

A2.03