



Charlotte-Mecklenburg Planning Department

DATE: September 2, 2016

TO: Donald Moore
Zoning Supervisor

FROM: Ed McKinney
Interim, Planning
Director

SUBJECT: Administrative Approval for Petition No. 2008-031 Mountain Island Promenade, LLC

Attached is the revised site plan for the petition above. This request allows the modification of the proposed site plan as listed below. Since these changes do not alter the intent of the development and meets the requirements of the Charlotte Zoning Ordinance Section 6.207 Alterations to Approval, minor changes, I am administratively approving this plan. Please use these plans when evaluating requests for building permits and certificates of occupancy.

- General layout for proposed retail buildings.
- Note modification: Elevation and review will happen prior to commercial building standards review.
- Master site development record
- Open space and green areas are tied to certain buildings being developed.
- Screening wall along proposed internal public street

Please note that no elevation review was completed as part of this review and approval. Each site will need to submit site layout, elevations, and landscaping plan, master development record as each building is developed. Zoning and conditional requirements will be reviewed as each site comes in for development.

Reasons for Staff's support of the request:

- The site plan complies with the conditional notes and still meets the intent of the approved site plan by the City Council.

Note: All other Zoning, Subdivision, Tree Ordinances, Building Codes, and conditional note requirements still apply.

Signage was not reviewed as part of this request.

Elevations for individual buildings were not reviewed for this request.

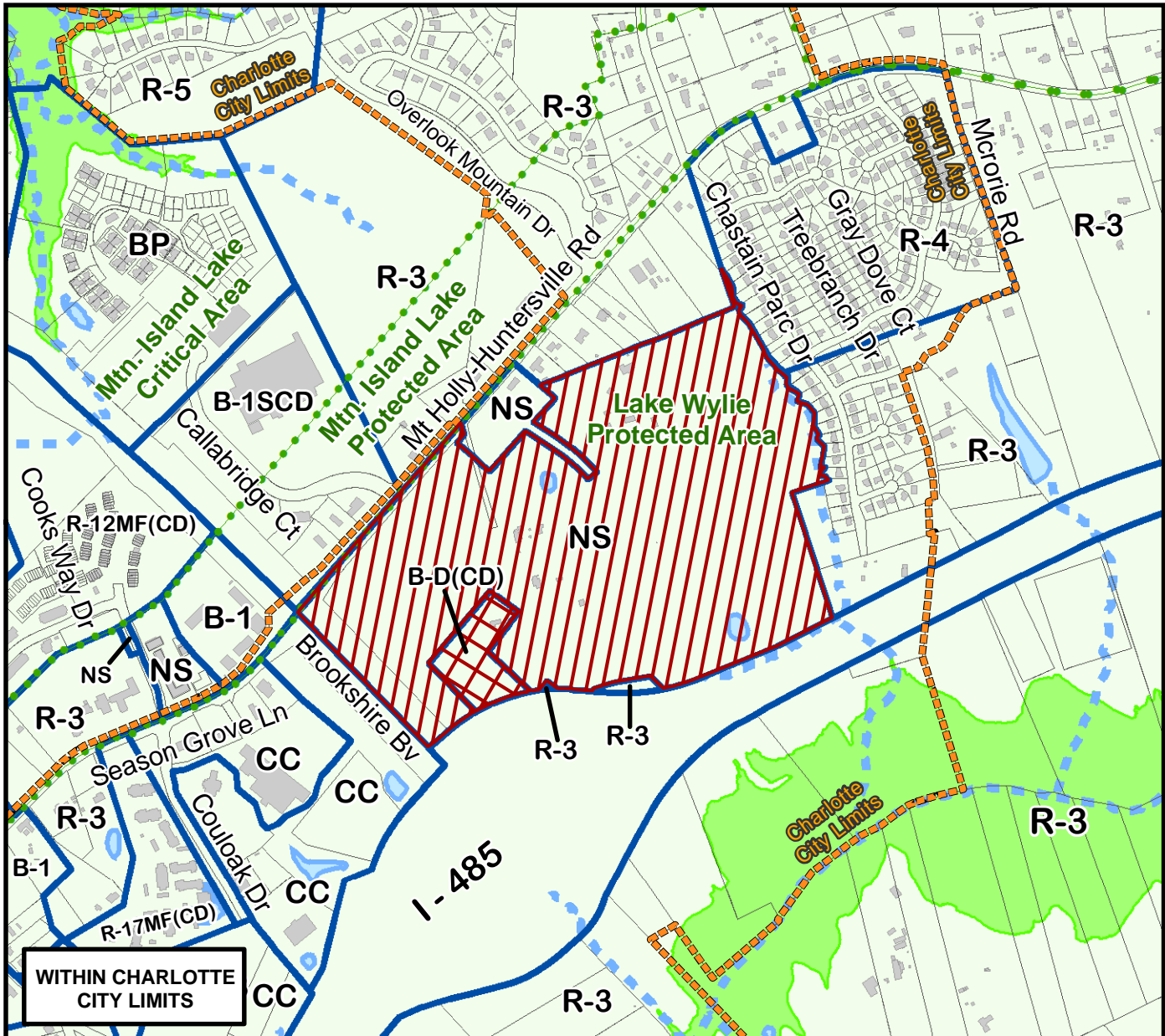
Petition #: **2008-031**

Petitioner: **Mountain Island Promenade LLC**

Zoning Classification (Requested): B-D(CD) S.P.A. (LWPA) and NS S.P.A (LWPA)

(Distributive Business, Conditional, Site Plan Amendment, Lake Wylie Protected Area and Neighborhood Services, Site Plan Amendment, Lake Wylie Protected Area)

Acres & Location: Approximately 111.30 acres located on the northeast quadrant of the Brookshire Boulevard / I-485 Interchange.

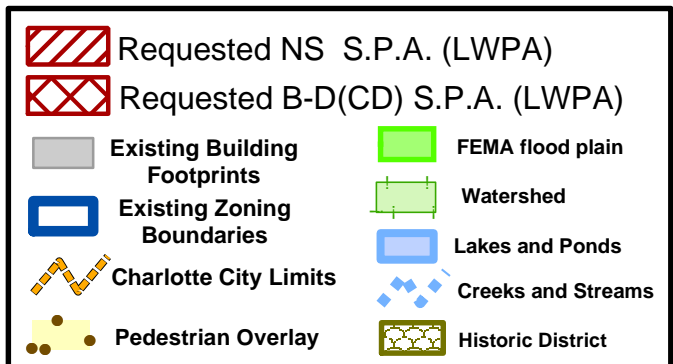


0 380 760 1,520 2,280 3,040 Feet

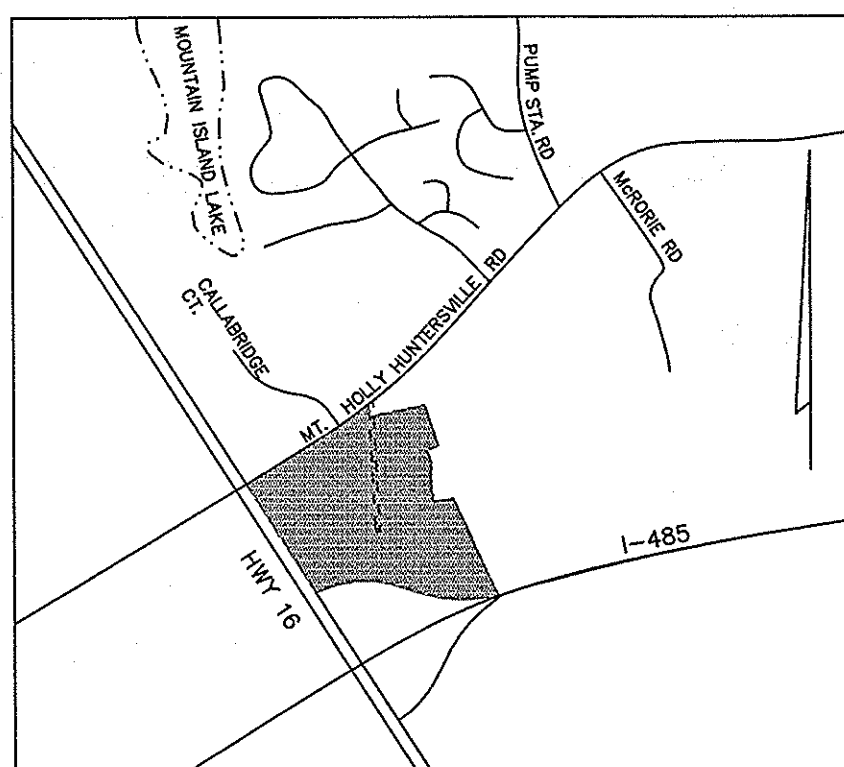
Zoning Map #(s) **48, 49**



Map Produced by the
Charlotte-Mecklenburg Planning Department
8-30-2016.

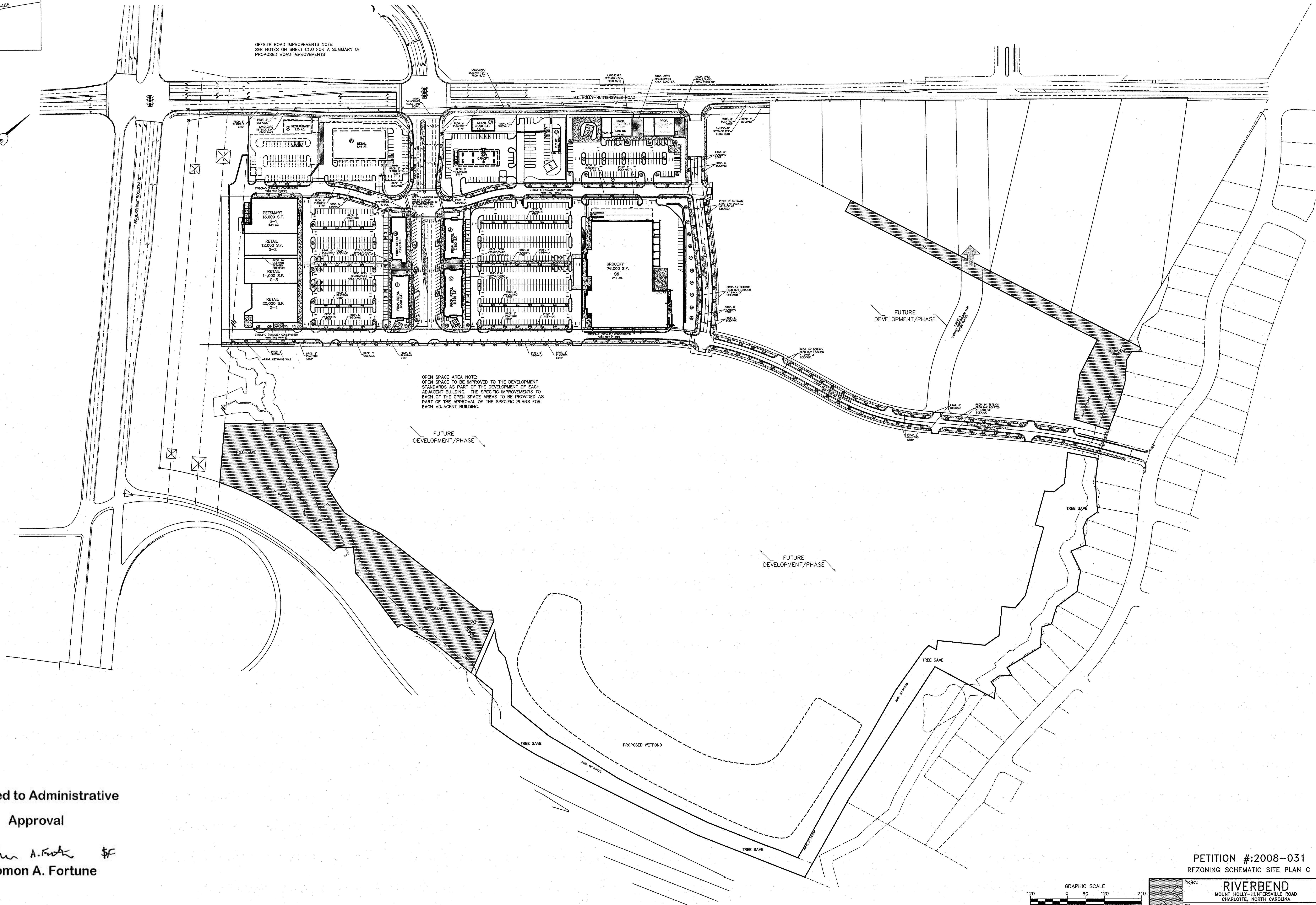


RIVERBEND MT. HOLLY-HUNTERSVILLE ROAD



LOCATION MAP
NOT TO SCALE

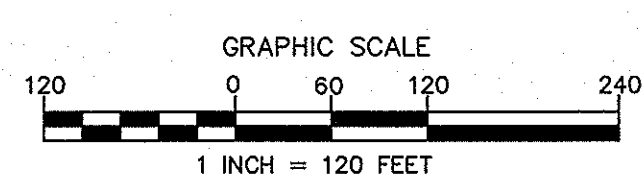
OFFSITE ROAD IMPROVEMENTS NOTE:
SEE NOTES ON SHEET C1.0 FOR A SUMMARY OF
PROPOSED ROAD IMPROVEMENTS



OPEN SPACE AREA NOTE:
OPEN SPACE TO BE IMPROVED TO THE DEVELOPMENT
STANDARDS AS PART OF THE DEVELOPMENT OF EACH
ADJACENT BUILDING. THE SPECIFIC IMPROVEMENTS TO
EACH OF THE OPEN SPACE AREAS TO BE PROVIDED AS
PART OF THE APPROVAL OF THE SPECIFIC PLANS FOR
EACH ADJACENT BUILDING.

Attached to Administrative
Approval

Solomon A. Fortune
Solomon A. Fortune



PRELIMINARY
DO NOT USE FOR CONSTRUCTION

| NO. | BY | DATE | REVISION |
|-----|-----|---------|-----------------------|
| 1 | FBL | 4/5/16 | PER PLANNING COMMENTS |
| 2 | FBL | 8/11/16 | PER PLANNING COMMENTS |

PETITION #:2008-031
REZONING SCHEMATIC SITE PLAN C

Project: **RIVERBEND**
MOUNT HOLLY-HUNTERSVILLE ROAD
CHARLOTTE, NORTH CAROLINA

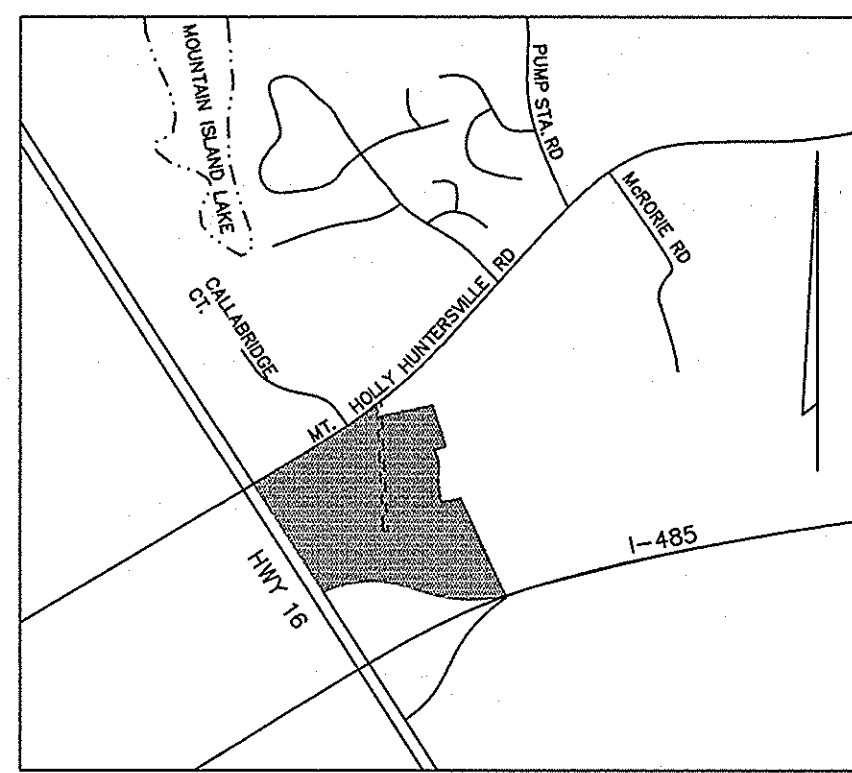
Title: **SITE PLAN FOR PHASE 1**

File #: 15023-PB.DWG | Date: 01/26/16 | Project Egr: BTU

ISAACS CIVIL ENGINEERING DESIGN AND SURVEYING
8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

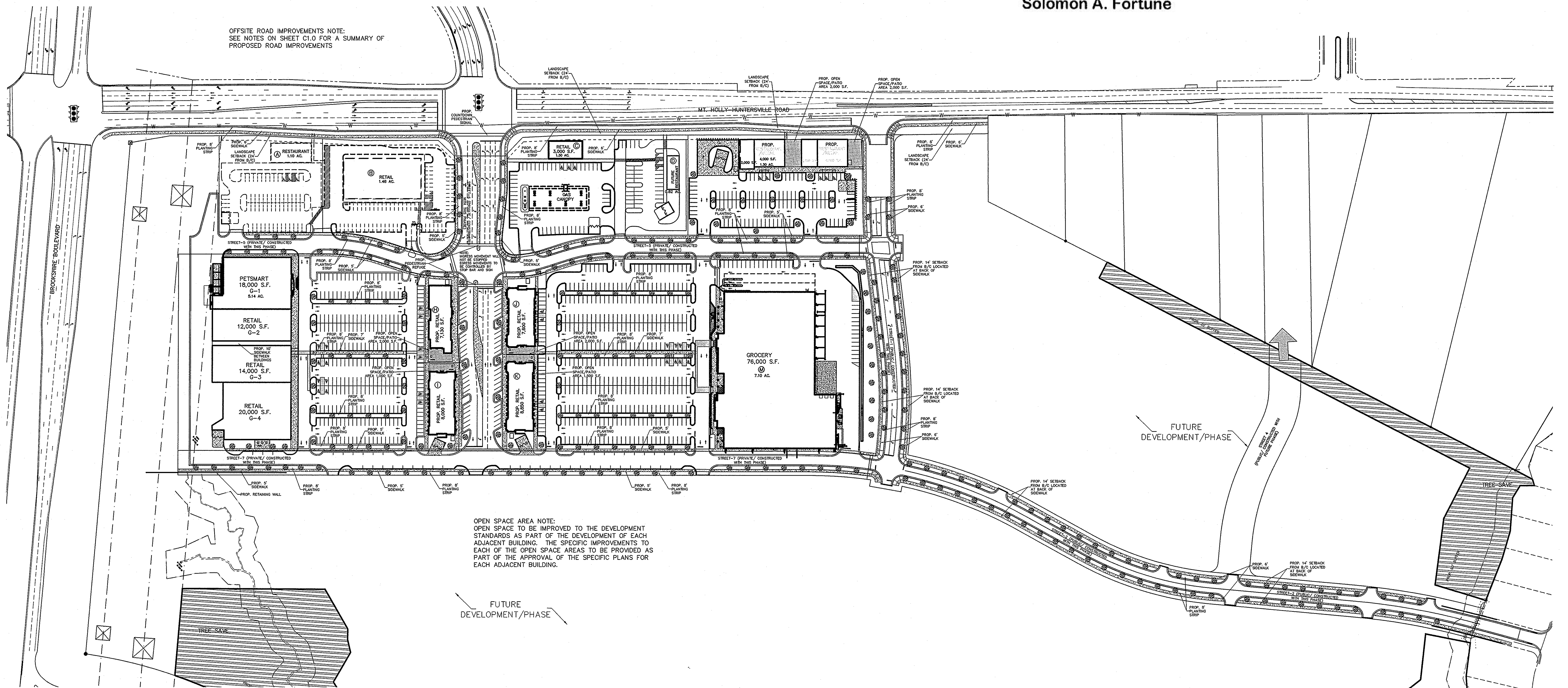
Design By: FBL
Drawn By: FBL
Scale: 1"=120'

C0.0



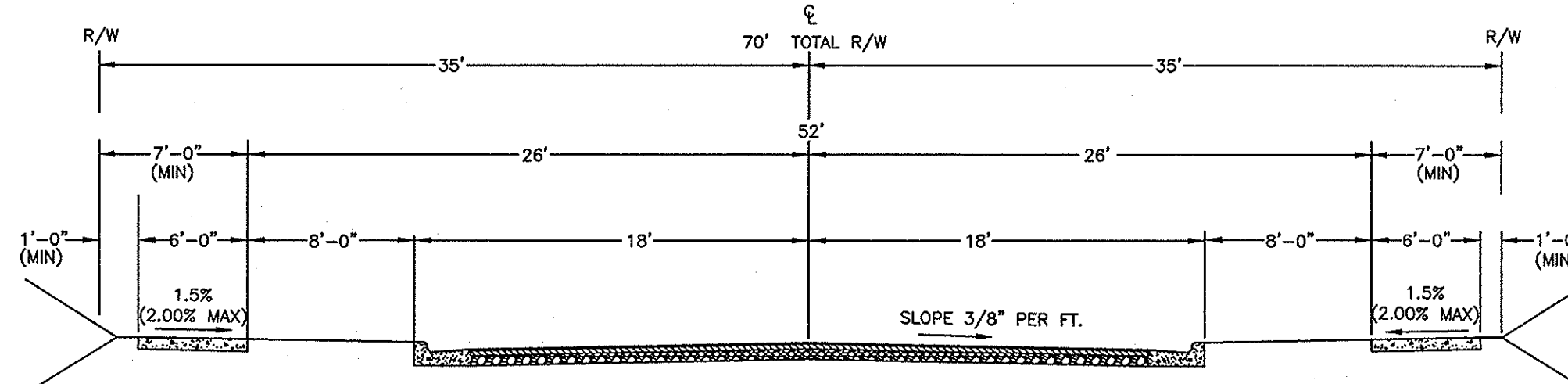
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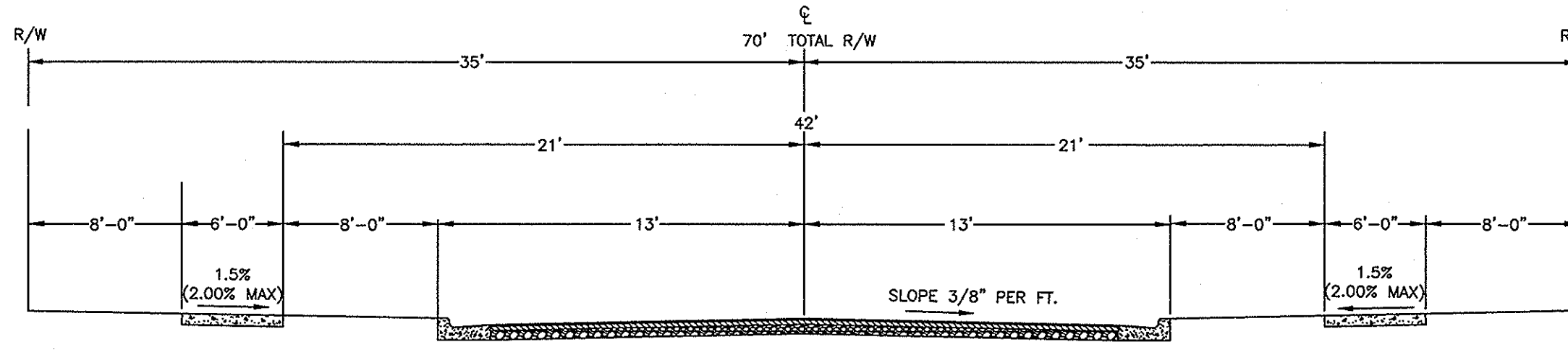


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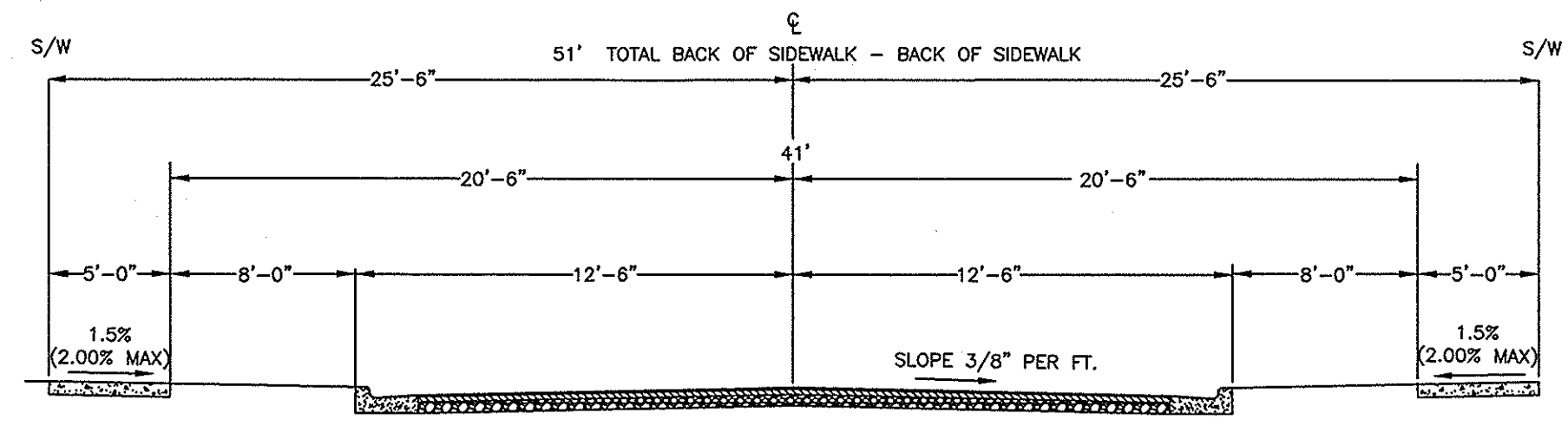
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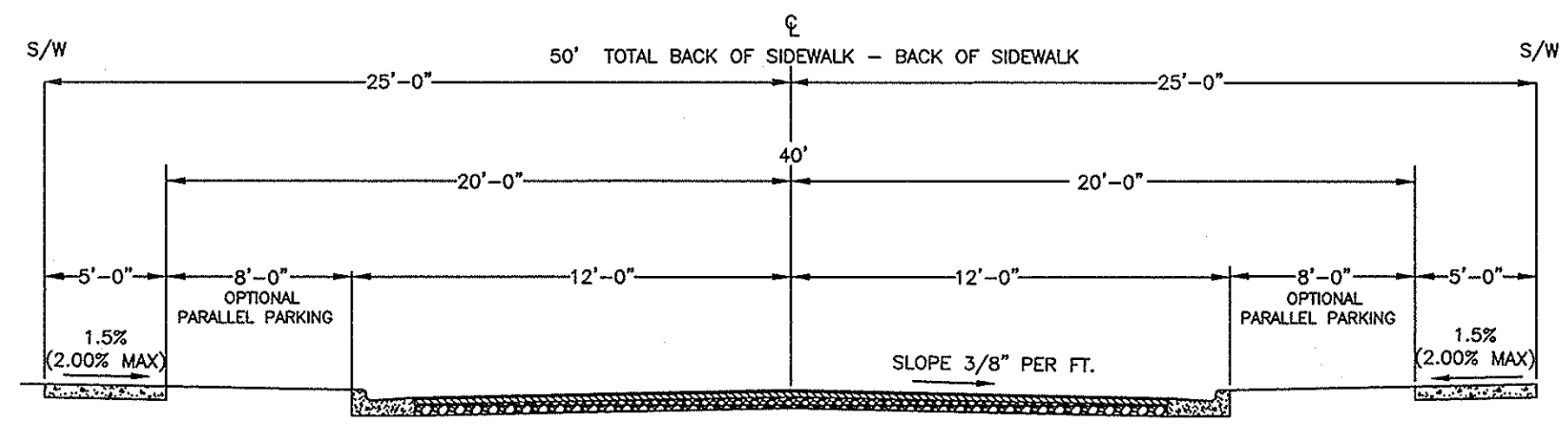
PUBLIC STREET-1 (TYP.)



PUBLIC STREET-2 (TYP.)



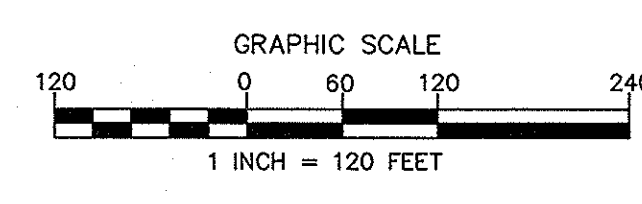
PRIVATE STREET-5 (TYP.)



PRIVATE STREET-7 (TYP.)

| | Residential | Retail Allowed by Rezoning | Office | Climate Controlled Storage | Retail Proposed with this Phase |
|-------------------------------|---|----------------------------|--------------|----------------------------|---------------------------------|
| Area 1 - Residential (60 Ac.) | | | | | |
| Parcel E | 625 units (687,500 s.f.)** | | | | 0 |
| Parcel F | 140 units (175,000 s.f.)** | | | | 0 |
| | **See R2.5 for specific development allowed for Parcel E and Parcel F | | | | |
| Area 1 - Multi-Use (70 Ac.) | | | | | |
| Parcel A | | 245,000 s.f. | | | 46,280 s.f. |
| Parcel B | | 72,500 s.f. | | | 64,000 s.f. |
| Parcel C | | | | 127,000 s.f. | 0 |
| Parcel D, D-1 | | 98,000 s.f. | 165,000 s.f. | | 76,000 s.f. |
| Total | 765 units (862,500 s.f.) | 415,500 s.f. | 165,000 s.f. | 127,000 s.f. | 181,370 s.f. |

PRELIMINARY
DO NOT USE FOR CONSTRUCTION



| NO. | BY | DATE | REVISION |
|-----|-----|---------|-----------------------|
| 1 | FBL | 4/8/16 | PER PLANNING COMMENTS |
| 2 | FBL | 5/11/16 | PER PLANNING COMMENTS |

PETITION #2008-031
REZONING SCHEMATIC SITE PLAN C

Project: **RIVERBEND**
MOUNT HOLLY-HUNTERSVILLE ROAD
CHARLOTTE, NORTH CAROLINA

Title: **SITE PLAN FOR PHASE 1**

File #: 15023-PB.DWG Date: 01/26/16 Project Egr: BTU

ISAACS
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

Design By: FBL
Drawn By: FBL
Scale: 1"=120'

C0.1

DEVELOPMENT STANDARDS
MOUNTAIN ISLAND PROMENADE
PETITION NO. 2008-031

General Provisions

These Development Standards form a part of the Technical Data Sheet associated with the Rezoning Petition filed by the Petitioners to accommodate development of a pedestrian-friendly multi-use development that maintains the vision of the Brookshire Boulevard/485 Area Plan to develop a pedestrian-oriented, walkable, well integrated community on an approximately 116.3 ± acre Site located on the southeasterly quadrant of the intersection between Brookshire Boulevard (NC Highway 16) and Mt. Holly-Huntersville Road (the "Site").

Unless the Technical Data Sheet (Sheet RZ-1), the Schematic Site Plan B (Sheet RZ-2a), the Schematic Site Plan B (Sheet RZ-2b), and the Schematic Site Plan C (Sheet RZ-2c) the Supplemental Sheets (Sheets RZ-3, and RZ-4), or these Development Standards (Sheet RZ-5) establish more stringent standards, the regulations established under the Charlotte Zoning Ordinance (the "Ordinance") for the NS zoning district classification shall govern all development taking place on Parcel A, Parcel B, Parcel D, Parcel D-1, Parcel E and Parcel F of the Site and the regulations established under the Ordinance for the BD zoning district classification shall govern all development taking place on Parcel C of the Site.

- Permitted Uses**
 - Subject to the provisions of Paragraph (b) of Section 2 below, Parcel B of the Site may be devoted to a home improvement center, retail sales, personal and recreational services, day labor service agency, automotive service station and associated car wash, outdoor seasonal sales, donation drop-off facility, equipment rental and leasing within an enclosed building, post office, financial institutions, drug, dental, children's center, schools, general and medical offices, restaurants and medical, dental and optical clinics which are permitted under the Ordinances by right or under substantially conditions in the NS zoning district.
 - Subject to the provisions of Paragraph (c) of Section 2 below, Parcel C of the Site may be devoted to a pre-engineered building, climate-controlled storage building, an above ground office/retail building that is associated with the storage building, associated accessory uses (including any outdoor storage) and above ground off-street parking for Parcel A, Parcel B and Parcel C.
 - Subject to the provisions of Paragraph (d) of Section 2 below, Parcel D of the Site may be devoted to uses allowed in an office district zoning classification, including but not limited to, banks or other financial institutions, (with or without drive through lanes), general and medical offices, optical, dental and medical clinics and elementary and secondary schools, along with associated accessory uses. Additionally, Parcel D-1 of the Site may be devoted to retail, restaurant or commercial uses as permitted in the NS district zoning classification and/or those allowed in an office district zoning classification.
 - Subject to the provisions of Paragraph (f) of Section 2 below, Parcel E of the Site may be devoted to all types of attached for sale and/or for rent residential developments including but not limited to a nursing home, rest home, home for the aged and assisted living center along with associated accessory uses.
 - Parcel F of the Site may be devoted to all types of attached for sale residential developments along with associated accessory uses. Additionally, that portion of Parcel F lying west of Public Street 4 and adjacent to Parcel D may be used for an elementary and secondary school along with associated accessory uses.

- Maximum Building Areas and Development Limitations**
 - No more than 317,500 square feet of gross leasable floor area may be developed on Parcel A and Parcel B. Areas devoted to outdoor dining, gallery areas, outdoor covered walkways and courtyards, areas used for building and equipment access (such as stairs, elevator shafts and maintenance crawl space), service areas, mechanical and electrical rooms and outside sales are not included in this maximum square footage; provided, however, that any off-street parking associated therewith that may be required by the Ordinance will be provided for those uses.
 - Additionally, no outside sales will be allowed on Parcel A except within the general areas depicted on Sheet RZ-2a, Sheet RZ-2b, or Sheet RZ-2c and outside sales conducted in connection with other uses on Parcel A and Parcel B, including outdoor dining, must comply with applicable regulations in the Ordinance.
 - The uses permitted on Parcel A and Parcel B under Paragraph (a) of Section 1 above are subject to the following conditions:
 - A minimum of 5,000 square feet of floor area designated for or leased of office use under the Ordinances shall be constructed on the Site prior to the issuance of any certificate(s) of occupancy for more than 175,000 square feet for retail, restaurant or other commercial uses.
 - No single user may occupy more than 26,500 square feet of space within Parcel A or Parcel B, subject to the following two exceptions:
 - One retail use may be established on Parcel A which occupies no more than 175,000 square feet.
 - A grocery store and/or junior anchor may be established on Parcel B provided no single building shall exceed 55,000 square feet.
 - No more than three establishments with drive-through window facilities, as defined in the Ordinance, and no more than one automotive service station may be developed on these Parcels.

- Parcel D of the Site may be developed with:**
 - Elementary or secondary school uses along with associated accessory uses, and/or
 - Up to 90,000 square feet of office uses along with associated accessory uses.
- Attenptions optice Parcel D-1 of the Site may be developed with:**
 - Up to 98,000 square feet of upscale retail use(s) which may be located within one or more buildings and may be devoted to one anchor tenant or to multiple smaller tenants along with associated accessory uses or
 - Up to 81,000 square feet of office uses along with associated accessory uses and up to 35,000 square feet of upscale retail use(s) which may be located within one or more buildings and may be devoted to one tenant or multiple tenants; or
 - Up to 45,000 square feet of office uses along with associated accessory uses and up to 85,000 square feet of upscale retail uses which may be located within two or more buildings and may be devoted to one tenant or multiple tenants.

- The uses permitted on Parcel D-1 under Paragraph (c) of Section 1 above are subject to the following condition:
- No more than one establishment with drive-through window facilities, as defined in the Ordinance, and no automotive service station may be developed on this Parcel.
 - All buildings must be architecturally integrated to complement one another by using similar exterior materials. Exterior vertical wall surfaces, exclusive of windows and doors, shall be constructed with a minimum of 50 percent masonry materials (brick, stone, pre-cast or poured concrete or other masonry material). No aluminum or vinyl siding or spandrel glass shall be used.
- All buildings must be sited with an emphasis on maintaining pedestrian interconnectivity.
 - Parking areas should be located so they minimize the distance for pedestrian access to the parking areas.
 - Office buildings shall not exceed 60 feet in height and retail buildings shall not exceed 40 feet in height as measured in accordance with the Ordinance

- Any buildings located within Parcel D-1 used for retail purposes shall be constructed with four-sided architecture and shall avoid exposure of solid unarticulated walls exceeding 20 linear feet through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building. The building elevations depicted on Sheet RZ-3 is schematic in nature and is not to be considered as the final architectural or engineered plan but rather as a graphic representation of the type and quality of the architecture proposed. Accordingly, minor alterations and modifications may be made to the configuration and placement of individual building materials and elements during the design, development and construction phases within the limits prescribed by these Development Standards, the submitted conceptual building elevations and Sections 6.207 of the Ordinance.

- Parcel E of the Site may be developed with:
 - Up to 625 attached for sale and/or for rent residential units along with associated accessory uses; provided, however, that no more than 300 of each residential units may be constructed for rent, and/or
 - Up to 125 for sale attached residential units and/or single-family detached residential units which satisfy the existing regulations under the R-6 zoning district classification and accessory uses and an elementary or secondary school containing up to 80,000 located square feet and accessory uses, on that portion of Parcel F that lies west of Public Street 4 and is adjacent to Parcel D.
- Petitioner will keep that portion of Parcel F labeled as the Proposed School Site on the Technical Data Sheet off the market and out of development until the expiration of the Bond Order Date as defined by Charlotte-Mecklenburg Schools and the Board of Education.

- Setbacks, Side Yards and Rear Yards**
 - All buildings constructed on Parcels A, B, D, D-1, E and F of the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the NS zoning district, subject to the provisions of Section 3(c) below. However, a landscape strip of at least 24 feet in width, as measured from the back of the curb specified on the Technical Data Sheet, shall be provided along Mt. Holly-Huntersville Road. This landscape strip shall conform to the specifications outlined on Sheet RZ-3.
 - All buildings constructed on Parcel C of the Site shall satisfy or exceed any required setback, rear yard and side yard requirements established under the Ordinance for the BD zoning district, subject to the provisions of Section 3(c) below.
 - The Site may be considered a unified development plan and as such internal side and/or rear yards may be eliminated, subject to the normally required staff review and approval process.
- Design and Performance Standards**

Accompanying the Rezoning Petition are four optional alternative Schematic Site Plans (Sheets RZ-2a, RZ-2b, and RZ-2c) for the development of Parcel A, B, D and D-1 of the Site, all of which shall be approved without further authorization so long as the ultimate design is consistent with one of the four plans.

The Petitioners reserve the option to combine or not combine buildings depicted on each Schematic Site Plan. However, this option does not include the right to increase the number of buildings shown on any of the Schematic Site Plans.

The developments on Parcels A, B, C, D, D-1, E and F as depicted on the Schematic Site Plan (Sheets RZ-2a, RZ-2b, and RZ-2c) are schematic in nature and intended to describe the general arrangement of uses on the Site. Accordingly, minor alterations and modifications may be made to the configurations, placement, and sizes of the building footprints and Parcels, as well as the locations of streets serving the Parcels, subject to the provisions set forth below under Architectural and Design Controls, during the design, development, and construction phases within the maximum development boundaries established on the Technical Data Sheet (Sheet RZ-1). Parking layouts may also be altered and modified to accommodate final building locations and parking spaces may be located inside or outside development area boundaries to the extent permitted by the Ordinance.

For purposes of the preceding paragraph any alterations or modifications which substantially alter the character of the development or significantly alter the Schematic Site Plan or their conditions as well as any changes which increase the intensity of development shall not be deemed to be minor and may only be made in accordance with the provisions of Section 6.207(c) or (2) of the Ordinance, as applicable.

The Petitioners agree to submit detailed plans with respect to each phase of development proposed on the Site to the Staff of the Charlotte-Mecklenburg Planning Commission for review prior to the issuance of building permits for construction of the proposed phase of development so that the staff development satisfies the conditions imposed under the Technical Data Sheet, the Development Standards and the other Sheets and Exhibits accompanying the Rezoning Petition. Compliance with the provisions of this paragraph shall not be deemed to be an administrative site plan application or require administrative site plan approval as envisioned by Section 6.207 of the Ordinance.

- Architectural and Design Controls**

Parcel A and Parcel B (Predominantly Retail Uses)

 - Buildings located along Mt. Holly-Huntersville Road shall contain translucent glass windows along the elevations which face Mt. Holly-Huntersville Road. Expenses of solid walls exceeding 20 linear feet will be avoided through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building.
 - Buildings located along NC Highway 16 (Brookshire Boulevard) may be multi-tenant and shall contain translucent windows along the elevations which face the highway. The anchor building or buildings shown on Schematic Site Plan B and Schematic Site Plan C (Sheets RZ-2b and RZ-2c) may have solid walls not exceeding 40 linear feet. The Highway 16 elevations of all other buildings except the home improvement center facility depicted on Sheets RZ-2a, RZ-2b, and RZ-2c may have solid walls not exceeding 20 linear feet. Expenses of solid walls beyond the stated maximums for these buildings will be avoided through the introduction of articulated facades and other specially designed architectural elements.

- The rear elevation and the Highway 16 elevation of the home improvement center facility depicted on Site Plan A, Schematic Site Plan B, Schematic Site Plan C (Sheets RZ-2a, RZ-2b, and RZ-2c) shall consist of a finished architectural wall with a full parapet through the use of materials such as jumbo brick. Painted or colored concrete block wall will not be allowed. These walls should be broken every 60 feet through the use of pilasters or other architectural features.

- The rear elevations of those interior buildings facing Private Streets 5 and 7, excluding the home improvement center facility, shall avoid exposure of solid walls exceeding 20 linear feet through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building.

- The building located between Mt. Holly-Huntersville Road, Private Street #6 and Private Street #5, on the west side of the entrance drive shall contain translucent glass windows along the elevation which faces the main entrance drive. Expenses of solid walls exceeding 20 linear feet will be avoided through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building.

- Public open space containing landscaping, benches, and pedestrian scaled lighting shall be provided on Parcel A and Parcel B in those locations depicted on the Schematic Site Plans. Additionally, outdoor dining and seating areas associated with restaurant tenants shall be provided.**
- All retail buildings must be architecturally integrated to complement one another by using similar exterior materials. Exterior vertical wall surfaces, exclusive of windows and doors, shall be constructed with a minimum of 50 percent masonry materials (brick, stone, pre-cast or poured concrete or other masonry material). No aluminum or vinyl siding or spandrel glass shall be used.

- All buildings must be sited with an emphasis on maintaining pedestrian interconnectivity.
- Parking areas should be located so they minimize the distance for pedestrian access between abutting buildings.

- Buildings shall not exceed 40 feet in height as measured in accordance with the Ordinance.
- All public building entrances, except those for fire exits and loading, will connect directly to a sidewalk along a public street or to a private street/drive or to an open space.

- All signage placed on Parcel A and Parcel B shall comply with the standards outlined in the Ordinance for the NS zoning district classification.
- Detached identification signage for buildings located along Mt. Holly-Huntersville Road and NC Highway 16 shall comply with the standards outlined in the Ordinance for the NS zoning classification.

- Detached identification signage for buildings located along Mt. Holly-Huntersville Road shall be limited to ground mounted monument type signs located within the ten (10) foot wide second planting strip identified below in Paragraph (c) (i) of this Section 4. These signs may not exceed four (4) feet in height and the actual signage area may not exceed thirty-two (32) square feet on each side.

- Wall signs will be permitted in accordance with the Ordinance, up to a maximum of one hundred (100) square feet for each wall or 5 percent of the area of each wall face whichever is less.

Parcel C (Substantially Below Ground Climate Controlled Storage Facility)

- The above ground off-street building component located within Parcel C shall be architecturally integrated with the buildings on Parcel A and Parcel B by using similar exterior materials, and shall not exceed twenty-five (25) feet in height as measured in accordance with the Ordinance. Above ground exterior vertical wall surfaces, exclusive of windows and doors, shall be constructed with a minimum of 50 percent masonry materials (brick, stone, pre-cast or poured concrete or other masonry materials). No aluminum or vinyl siding or spandrel glass shall be used.

- The off-street building entrance and all fire escape exits associated with the underground storage building will connect directly to a sidewalk along a public street or an internal street/drive or to an open space.

- The storage building component shall be accessed through the retail/office building. Portions of the storage building which are visible from adjoining streets shall not exceed twenty-five (25) feet in height and such portions, exclusive of fire doors, windows and doors, shall be constructed with 50 percent masonry materials (brick, stone, pre-cast or poured concrete with architectural treatments or other masonry materials), so as to blend in architecturally with the buildings and/or retaining walls on Parcel A and Parcel B.

- All signage placed on Parcel C including wall signs shall comply with the standards outlined in the Ordinance for the BD zoning district classification, excepting that no free standing signs shall be allowed.

- Wall signs will be permitted in accordance with the Ordinance, up to a maximum of 100 square feet for each wall face or 5 percent of the area of each wall face whichever is less.

- Parcel D and D-1 (Office/Retail)**
- All buildings shall be architecturally integrated to complement one another, as well as those retail buildings constructed on Parcel A and Parcel B, by using similar exterior materials. Any building(s) located within Parcel D-1 used for retail purposes shall be constructed with four-sided architecture and shall avoid exposure of unarticulated solid walls exceeding 20 linear feet through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building. Any building(s) located within Parcel D-1 used for office purposes shall be constructed with four-sided architecture and shall avoid exposure of unarticulated solid walls exceeding 40 linear feet through the introduction of articulated facades and other specially designed architectural elements, including the use of translucent glass windows placed so as not to inhibit the use of the building by the user. Buildings may contain gable roofs, partial gable roofs and/or parapet walls so as to screen the rooftop HVAC units. Other architectural treatments such as wall sections containing different but complementary building materials, colors, or textures may be used to enhance the architecture of the building.
 - Parking areas should be located so they minimize the distance for pedestrian access between abutting buildings.
 - Buildings shall not exceed 60 feet in height as measured in accordance with the Ordinance.
 - Above grade exterior vertical wall surfaces, exclusive of windows and doors shall be constructed with a minimum of 50 percent masonry materials (brick, stone, pre-cast concrete or other masonry materials). No aluminum or vinyl siding or spandrel glass shall be used on any building.
 - All signage placed on Parcel D and D-1 shall comply with the standards outlined in the Ordinance for the NS zoning classification. In addition, the following standards shall apply:
 - Detached identification signage shall be limited to ground mounted monument type signs. Monument sign structure shall be limited to a maximum of four (4) feet in height and actual signage area may not exceed thirty-two (32) square feet on each side.
 - Wall signs will be permitted in accordance with the Ordinance, up to a maximum of one hundred square feet for each wall face or 5 percent of the area of each wall face, whichever is less.
 - Shared parking will be permitted in accordance with Section 12.203 of the Ordinance.
 - Prior to the issuance of a certificate of occupancy for any building constructed on Parcel D-1, the Owner of Parcel D-1 shall construct a brick wall having a height of at least 6 feet along the eastern property line that separates the lot parcel from the adjacent single family residential lot facing Mt. Holly-Huntersville Road.
 - Subject to the provisions of the next succeeding paragraph, prior to the issuance of a certificate of occupancy for any building constructed on Parcel D or D-1, Petitioners shall construct a brick wall having a height of at least 6 feet along the northern boundary line for Parcel D and the common rear property lines of certain of the single family residential lots fronting on Mt. Holly-Huntersville Road within the area generally depicted on the Technical Data Sheet.
 - In the event that all of the single family residential lots fronting on Mt. Holly-Huntersville Road and back up to the northern boundary line for Parcel D and a portion of Parcel F, all of which are more particularly described in the preceding paragraph and in Subparagraph (vii) of that part of Paragraph (a) of this Section 4 which deals with Parcel D (Office) are re-zoned to a multi-family or office zoning district, then the Petitioners may eliminate the brick wall otherwise required by the provisions of the next preceding paragraph, provided the Petitioners are able to obtain the prior written consents to so eliminate the brick wall from all of the then owners of the single family residential lots so re-zoned.

- Parcel E (Residential Attached For Sale and/or For Rent)**
- Exterior vertical wall surfaces, exclusive of windows and doors shall be constructed with a minimum of 10 percent masonry materials (brick, stone, architectural block, or other masonry material). No aluminum or vinyl siding or spandrel glass shall be used on any building containing attached for rent residential units. No aluminum siding or spandrel glass and no vinyl siding other than architectural vinyl having a textured finish that has been approved in advance by the Staff of the Charlotte-Mecklenburg Planning Commission shall be used on any building containing attached for sale residential units.
 - Buildings shall not exceed the greater of four stories or 60 feet in height as measured in accordance with the Ordinance.

- Parcel F (Residential Attached For Sale)**
- All signage placed on Parcel F shall comply with the standards outlined in the Ordinance for the NS zoning classification.
 - Exterior vertical wall surfaces, exclusive of windows and doors shall be constructed with a minimum of 35 percent masonry materials (brick, stone, architectural block, or other masonry material). No aluminum siding or spandrel glass and no vinyl siding other than architectural vinyl having a textured finish that has been approved in advance by the Staff of the Charlotte-Mecklenburg Planning Commission shall be used on any building.
 - Buildings shall not exceed the greater of three stories or 50 feet in height as measured in accordance with the Ordinance.

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- Mt. Holly-Huntersville Road and Callabridge Court/Proposed Access "A"**
- Construct a concrete median at Proposed Access "A" that extends from the existing traffic signal to its terminus at Private Street 5 with four footboard lanes, a through lane, an exclusive right turn lane with 100 feet of storage and dual left turn lanes with 250 feet of internal storage, and three inbound lanes at 200 feet footboard lanes, a through lane and a combination through-right turn lane.
 - The section of Private Street 6 from Private Street 5 to Private Street 7 shall be constructed as depicted on the Schematic Site Plan A.
 - The Access "A" driveway connection must be approved by C-DO and NC-DO and occur with the latest edition of the NC-DO/DO Policy on Street and Driveway Access to North Carolina Highways.
 - Construct westbound dual left turn lanes, each with a minimum of 250 feet of trucking and a 15:1 bay taper.
 - Re-strip the eastbound approach on Callabridge Court to provide for dual left turn lanes and a single through lane.
 - Re-strip the eastbound approach on Mt. Holly-Huntersville Road to provide for dual left turn lanes onto Callabridge Court.
 - Construct an eastbound right turn lane on Mt. Holly-Huntersville Road between NC 16 and Proposed Access "A" with 200 feet of storage and a 20:1 bay taper.
 - Modify the existing traffic signal to accommodate a four way intersection.

- Mt. Holly-Huntersville Road and Proposed Access "B"**
- Construct Proposed Access "B" located approximately 900 feet east of Callabridge Court/Proposed Access "A", as depicted on the Schematic Site Plan



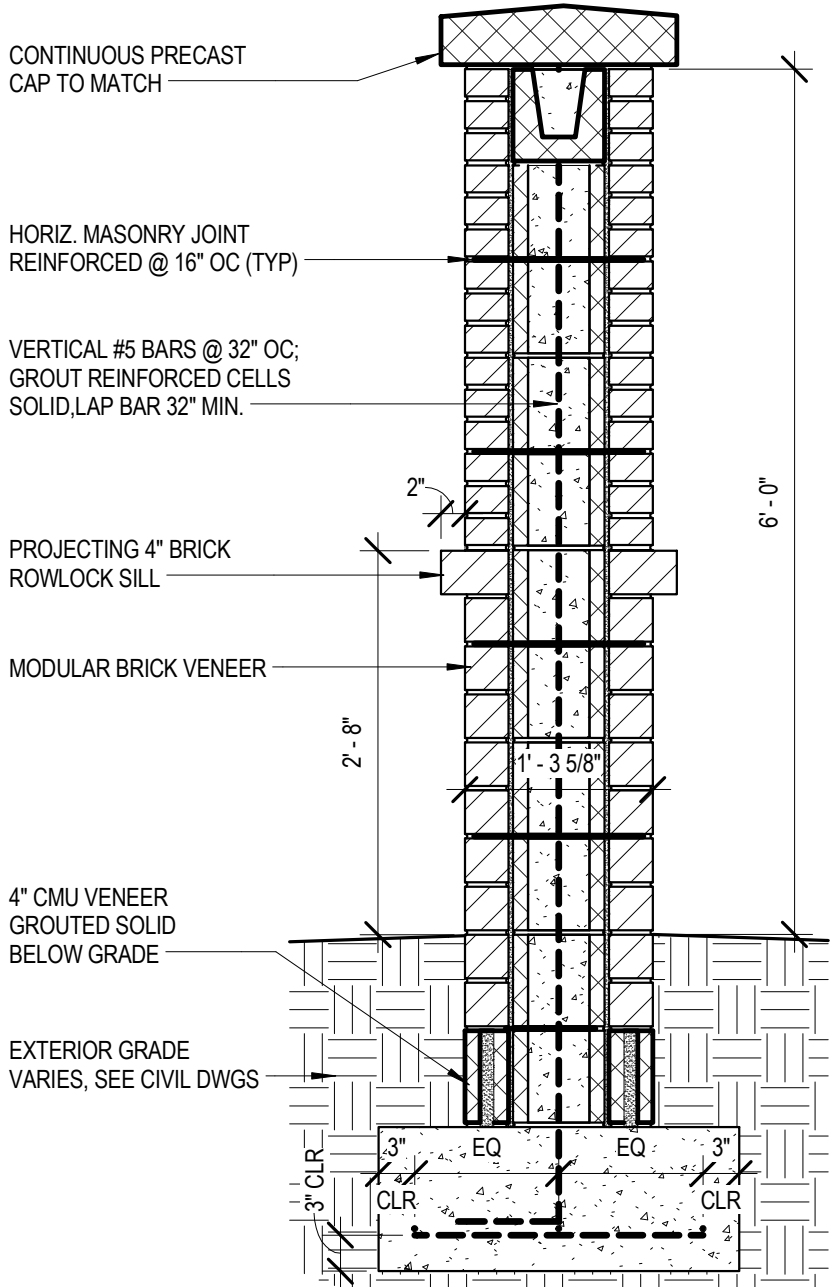
REAR ELEVATION



REAR PERSPECTIVE A



REAR PERSPECTIVE B



TYPICAL WALL SECTION

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