

#### ZONING CODE SUMMARY

PROJECT NAME: WOODIE'S AUTOMOTIVE  
PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440  
ZONING: B-1 (CD)  
REZONING PETITION: 9B-54C  
TAX PARCEL NUMBER: 22310119  
JURISDICTION: CITY OF CHARLOTTE  
SETBACK REQUIREMENTS:  
FRONT: 50' FROM BALLANTYNE COMMONS  
SIDE (L): 0  
SIDE (R): 10' BUFFER  
REAR: 10' BUFFER  
TOTAL PARCEL SIZE: 77,826/1.79 SQ. FEET/ACRES  
PRE-DEVELOPED IMPERVIOUS: 0 SQ. FEET/ACRES  
TOTAL POST-DEVELOPED IMPERVIOUS: 44,865/1.03 SQ. FEET/ACRES  
PROPOSED USE: AUTOMOTIVE SERVICE  
PROP. GROSS FLOOR AREA: 11,500 S.F.  
PARKING:  
REQUIRED: 1 SPACE/250 S.F.  
11,500 S.F. \* (1 SPACE/250 S.F.) = 46 SPACES  
PROVIDED: 33 PARKING SPACES + 18 SERVICE BAYS = 51 SPACES

BIKE PARKING DATA  
2 LONG TERM & 5% OF AUTO PARKING SHORT TERM (5% \* 46 SPACES = 2.3)  
2 LONG TERM AND 2 SHORT TERM PROVIDED  
ALL SIGNAGE WILL BE PERMITTED SEPARATELY.  
AN ASSIGNED BUILDING PERMIT NUMBER AND ADDRESS MUST BE POSTED ON BUILDING  
LOADING SPACE PARKING:  
REQUIRED: 10'X50' SPACE  
PROVIDED: 10'X50' SPACE

#### LEGEND

- PROPOSED HEAVY DUTY PAVEMENT (HDP)  
 PROPOSED LIGHT DUTY PAVEMENT (LDP)  
 PROPOSED CONCRETE  
 PROPOSED LIGHT POLE

#### SIGN SCHEDULE

- Ⓐ RESERVED PARKING-MAX PENALTY \$250 (MUTCD R7-8 & R7-8D)  
Ⓑ NO PARKING; DISABLED PASSENGER LOADING SIGN (MUTCD R7-1)(STD. NO. 50.10A)  
Ⓒ VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A, & R7-8D)  
Ⓓ DO NOT ENTER SIGN (MUTCD R5-1)

#### SIGNAGE NOTE:

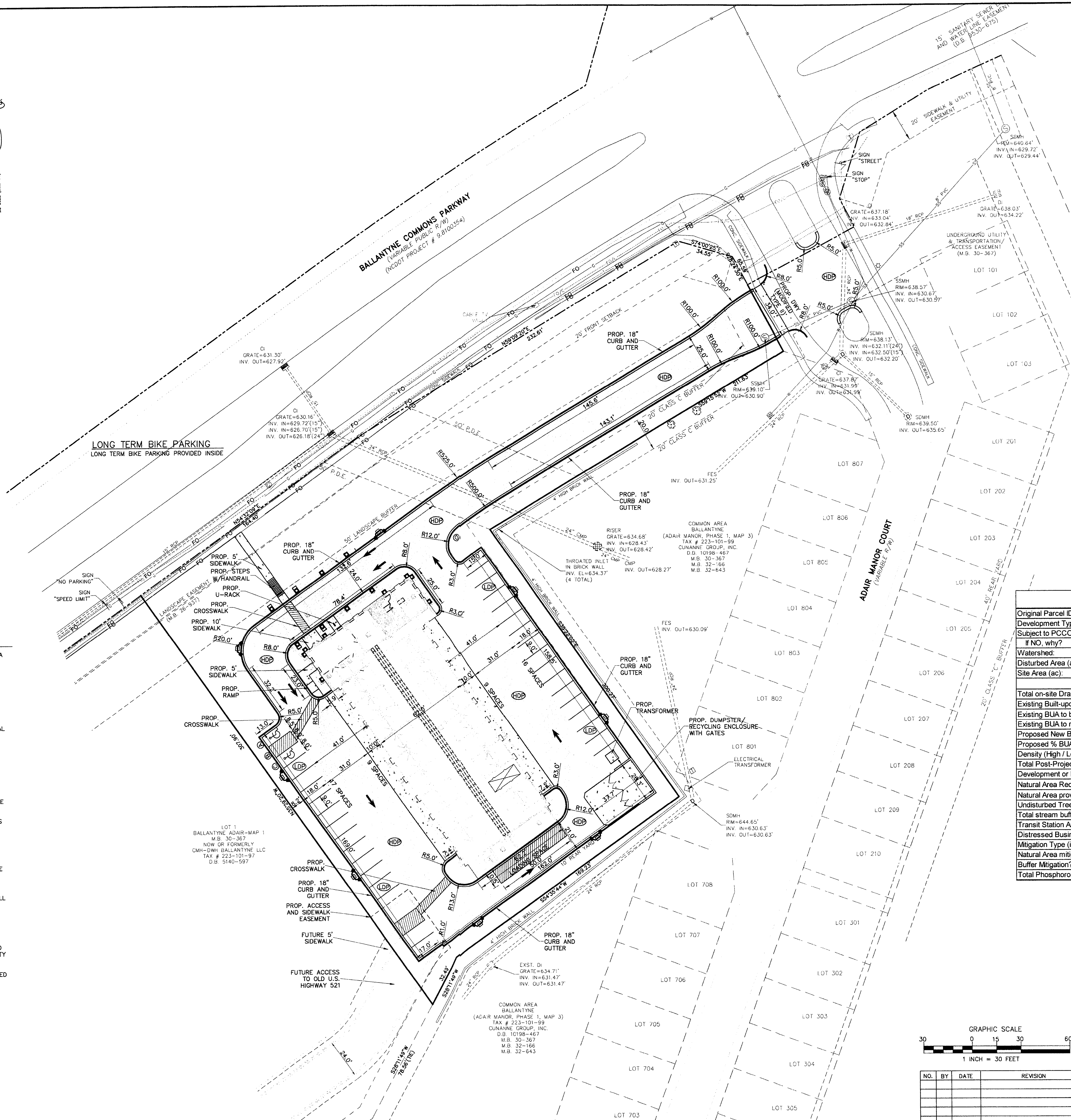
CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION

#### NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY GPA PROFESSIONAL LAND SURVEYORS.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)-336-4282 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL THE CITY ARBORIST AT (704)-336-4282 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)-336-6692 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. "IT'S THE LAW."
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- NO LIGHT/UTILITY POLES TO BE PLACED IN TREE ISLANDS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORMWATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.

#### ADDITIONAL NOTES:

- PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO THE CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.



#### RECOMMENDED PAVING SPECIFICATIONS

\*VERIFY WITH GEOTECHNICAL REPORT\*

**LIGHT DUTY PAVEMENT (LDP):**  
6" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER COURSE, 119.0B  
1" SURFACE COURSE, S9.5B

**HEAVY DUTY PAVEMENT (HDP):**  
8" COMPACTED AGGREGATE BASE COURSE (CABC)  
2" BINDER COURSE, 119.0B  
1" SURFACE COURSE, S9.5B

**CONCRETE DUMPSTER AND HEAVY DUTY PAVEMENT**  
5" COMPACTED AGGREGATE BASE COURSE (CABC)  
7" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH REINFORCEMENT (10 GAUGE WWF)

#### CONCRETE SIDEWALK PAVEMENT

4" 3,600 PSI CONCRETE  
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

#### NOTES:

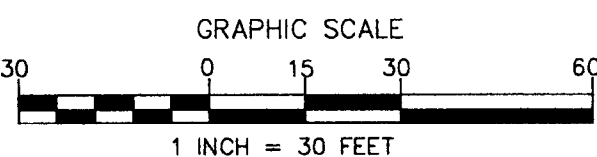
1. ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.

2. PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.

3. UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 308.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

#### PCCO SUMMARY

Original Parcel ID Number(s):	22310119	
Development Type:	Commercial	
Subject to PCCO? Y/N	no	
If NO, why?	Zoning Ordinance Detention Only	
Watershed:	Central Catawba	
Disturbed Area (ac):	1.52	
Site Area (ac):	1.09	
	DA#1	DA#2
Total on-site Drainage Area (ac):	1.86	
Existing Built-upon-area (SF):	0	
Existing BUA to be removed (SF):	0	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	44,865	
Proposed % BUA:	57.6	
Density (High / Low)	High	
Total Post-Project BUA for site:	44,865	
Development or Redevelopment?	Development	
Natural Area Required (ac):	0	
Natural Area provided, total (ac):	0	
Undisturbed Treed Natural Area Preserved (ac):	0	
Total stream buffer protected on-site (ac):	No	
Transit Station Area? Y/N	No	
Distressed Business District? Y/N	No	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	No	
Buffer Mitigation? Y/N	No	
Total Phosphorous Mitigation? Y/N	No	



NO.	BY	DATE	REVISION

**WOODIE'S AUTOMOTIVE**  
BALLANTYNE COMMONS PARKWAY  
CHARLOTTE, NORTH CAROLINA

Site:

File #: 13290-PR.DWG Date: 12/26/13 Project Egr: BTU

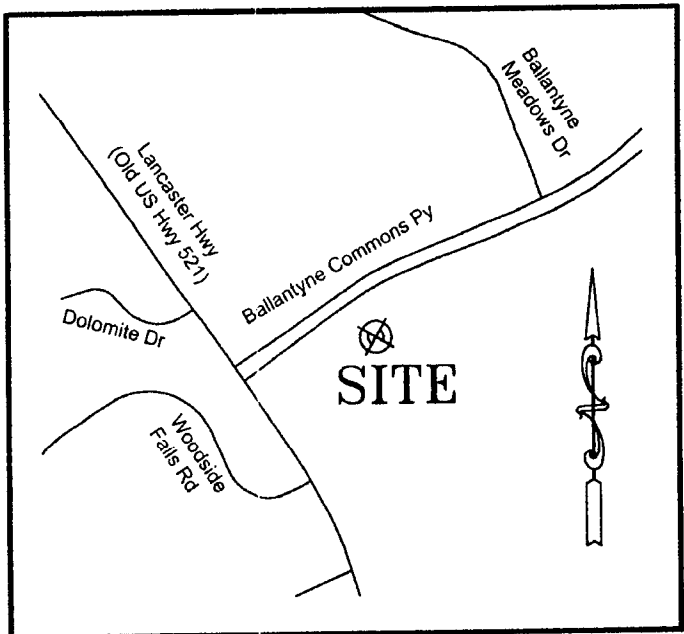
**ISAACS GROUP, P.C.**  
CIVIL ENGINEERING DESIGN AND SURVEYING

Design By: FBL  
Drawn By: FBL  
Scale: 1"=30'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.0**





VICINITY MAP  
NOT TO SCALE

LANDSCAPING NOTES:

1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
3. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
4. PLEASE CALL 336-4354 FOR INSPECTION OF TREES AND/OR TREE PLANTING AREAS, 7 TO 10 DAYS BEFORE THE TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY IS NEEDED.
5. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
6. ADJUST TREE PLANTING TO AVOID UNDERGROUND UTILITIES. 15.0' OFF WATER, ELECT. AND GAS - 15.0' OFF SANITARY SEWER AND STORM DRAINAGE.
7. REFERENCE CMLD STANDARDS 40.01, 40.02, 40.03, 40.04, AND 40.09 FOR TREE PLANTING AND PROTECTION DETAILS.
8. GEOGRID FOR RETAINING WALLS IS TO BE LEFT 24" MIN. BELOW GRADE IN TREE PLANTING AREAS.
9. ATTENTION LANDSCAPER NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES. CALL 336-4354
10. ORDINANCE REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER).
11. ALL AUTOMOBILE PARKING SPACES MUST BE WITHIN FORTY (40) FEET OF A TREE.
12. LARGE MATURING TREES MUST BE A MINIMUM OF 25 FEET FROM OVERHEAD DISTRIBUTION POWER LINES. IF TREES CONFLICT WITH POWER LINES, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
13. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION, AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.
14. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
15. SHRUBS SHALL BE A MIN. OF 2' HIGH AND 2' WIDE AT TIME OF PLANTING AND SHALL BE LOCATED AT 5' O.C.
16. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
17. 75% LARGE MATURING TREES ARE REQUIRED UNLESS THERE IS OVERHEAD POWER.
18. SITE LIGHTING MUST BE A MINIMUM OF THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THE LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY. NO LIGHT POLES ALLOWED IN TREE ISLANDS.
19. UNLESS APPROVED BY URBAN FORESTRY STAFF ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING SHALL BE CALLUSED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREES AGE AND NOT BE BROKEN, DISEASED, OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE OF ADNETITIOUS ROOT GROWTH.
20. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. PROVIDE TREE SAVE AREA (MIN. 30' WIDE) ENTIRE OR IN COMBINATION - SEE SECTION 21.54.
21. MIN. TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). TREES MUST MEET ANSI STANDARDS AND HAVE SINGLE LEADER ALL THE WAY TO THE TOP. ALL MULTI-STEM PLANTS MUST BE TREE FORM MAX. 3 TO 5 TRUNKS, AND MIN. 8' TALL.

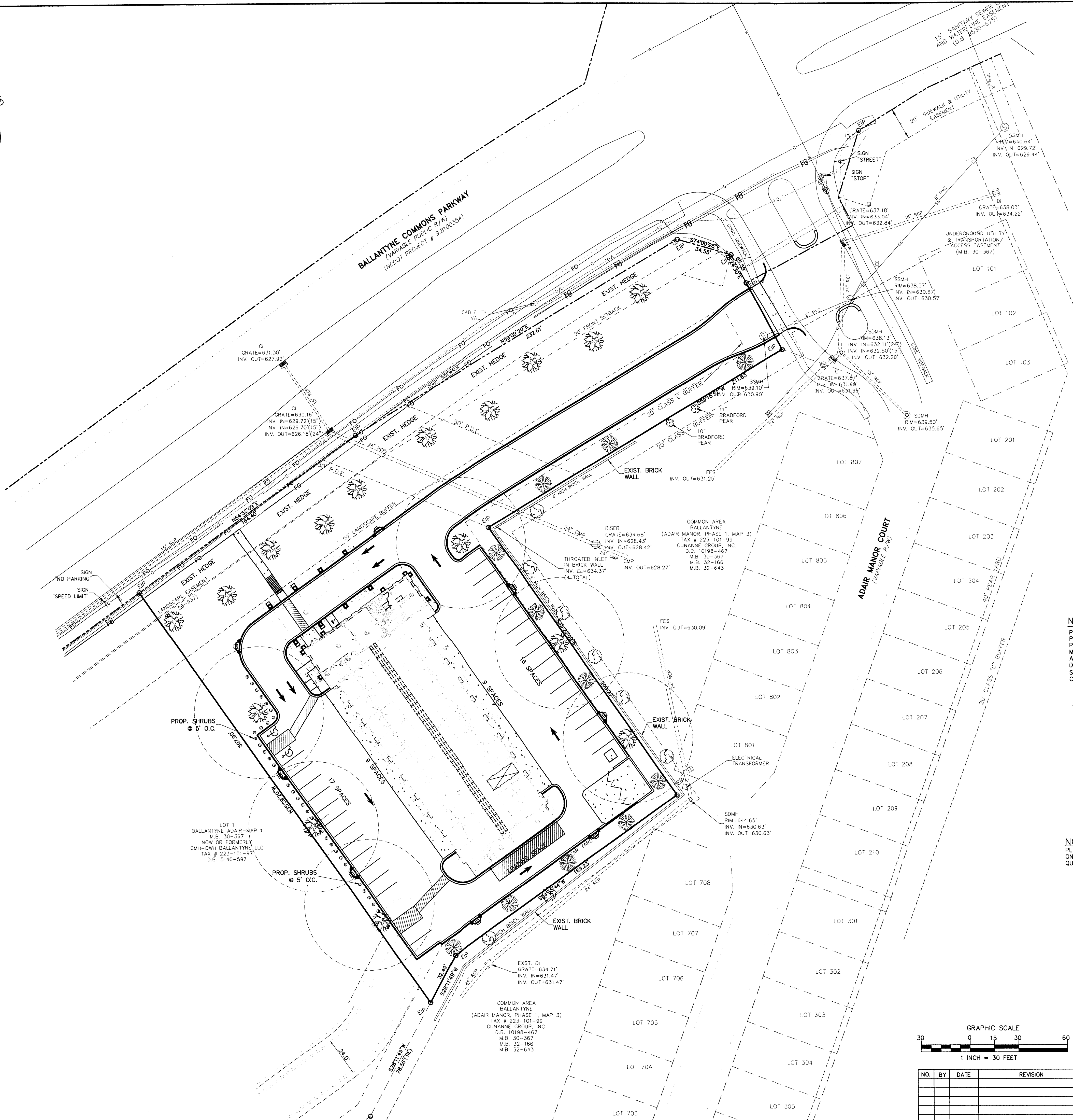
LANDSCAPING REQUIREMENTS

INTERIOR:  
BUILDINGS, PARKING LOTS, AND WALKWAYS: 44,865/1.03 SQ. FEET/ACRES  
LANDSCAPED AREA:  
INTERNAL TREE REQUIREMENT: 1 TREE/10,000 S.F. IMPERVIOUS= 44,865/10,000 S.F. IMPERVIOUS= 5 TREES  
PROVIDED= 6 PROPOSED

STREET TREES:  
BALLANTYNE COMMONS PARKWAY  
396 L.F. OF TOTAL STREET FRONTAGE  
REQUIRED: 1 LMT PER 40 L.F. OF FRONTAGE  
396 L.F. \* (1 TREE/40 L.F.) = 10 TREES  
PROVIDED: 10 LMT'S

TREE SAVE:  
\*NOT REQUIRED  
SITE REZONED PRIOR TO CURRENT TREE ORDINANCE  
OVER 50% OF THE SITE IS CURRENTLY DEVELOPED

NATURAL AREA:  
\*NOT REQUIRED  
CLASS C BUFFER ADJACENT TO RESIDENTIAL  
20' WIDE PER REZONING PLAN  
REQUIRED: 4 TREES PER 100 L.F. + 20 SHRUBS PER 100 L.F.  
573 L.F. OF BUFFER LENGTH  
573 L.F./100 L.F. \* 4 TREES = 23 TREES  
PROVIDED: 23 TREES + THE EXISTING WALL IN LIEU OF SHRUBS



NOTE:

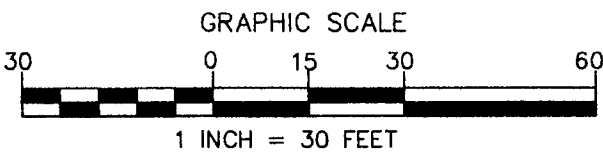
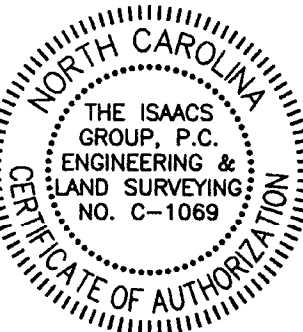
PROPOSED TREES HAVE BEEN SHOWN IN THE BUFFER TO MEET ALL PLANTING REQUIREMENTS IN AREAS WHERE THE REQUIRED TREE PROTECTION DISTANCE CAN NOT BE ACHIEVED. CONTRACTOR SHALL MEET WITH INSPECTOR AND URBAN FORESTER TO DETERMINE IF THERE ARE EXISTING TREES IN THE BUFFER THAT WILL REMAIN UNHARMED DURING CONSTRUCTION. FOR EVERY EXISTING TREE THAT CAN BE SAVED (AS AGREED UPON BY THE CITY) ONE LESS PROPOSED TREE CAN BE PLANTED IN THE BUFFER.

LANDSCAPE LEGEND

	QUANTITY
PROPOSED WILLOW OAK LMT (2 IN. CAL. MAX. HEIGHT 8')	16
PROPOSED DEODAR CEDAR LMT (2 IN. CAL. MAX. HEIGHT 8')	11
PROPOSED VIRGINIA PINE LMT (2 IN. CAL. MAX. HEIGHT 8')	8
PROPOSED BURFORD HOLLY (2' HIGH AND 2' WIDE)	125

NOTE

PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES WITH CHARLOTTE URBAN FORESTRY PRIOR TO INSTALLATION.



NO.	BY	DATE	REVISION

**WOODIES AUTOMOTIVE**  
BALLANTYNE COMMONS PARKWAY  
CHARLOTTE, NORTH CAROLINA

Title: **LANDSCAPE PLAN**

File #: 13590-P6.DWG Date: 12/26/13 Project Cgr: BJA

**THE ISAACS GROUP**  
CIVIL ENGINEERING DESIGN AND SURVEYING

Design By: FB  
Drawn By: FB  
Scale: 1"=30'

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

**C1.1**



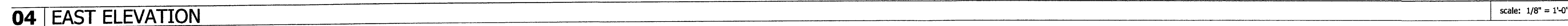


## KEYED NOTES

ROOF		
R-ASH	ARCHITECTURAL FIBERGLASS SHINGLES	07 31 13
R-ASF	FLAT INSULATION	07 31 30
R-BSP	BEAD BOARD PANELING	-
R-CAP	PREFINISHED METAL COPIING	-
R-CND	CORRUGATED METAL CEILING	05 31 00
R-ES	EXTERIOR SHEATHING	09 21 16
R-GRD	GRYPH BOARD	09 20 00
R-MR	MEMBRANE ROOFING	07 34 23
R-MGDS	METAL GUTTERS/DOWNSPOUTS	07 31 23
R-MF	METAL FLASHING	07 62 00
R-MSS	MISCELLANEOUS STEEL	05 21 00
R-ROD	ROOF DRAIN	05 20 13
R-RSI	RIGID INSULATION	07 16 22 13
R-SF	STEEL FRAMING	05 12 00
R-SHC	STEEL HAT CHANNEL 7/8"	05 12 00
R-SJF	STEEL JOIST BRACING	05 12 00
R-SJSP	STANDING SEAM METAL ROOFING	05 12 00
R-FTWB	WOOD JOIST	06 35 04

FLOOR		
F-AT	ALUMINUM THRESHOLD	*
F-CF	CONCRETE FLOORING	03 30 00
F-CFF	CONCRETE FLOOR FINISH	03 35 13
F-FCP	XX	
F-FCP	FIBER CEMENT PANEL	
F-MF	METAL FRAMING	05 40 00
F-SD	STEEL DECKING	06 31 00
F-SF	STEEL FRAMING	06 12 00
F-SJF	STEEL JOIST FRAMING	06 21 00

ITEM	DESCRIPTION	UNIT	QUANTITY
<b>FOUNDATION</b>			
G-CFM	COMPRESSIBLE FILL	—	—
G-CF	CONCRETE FOOTING, SEE STRUCTURAL	03 10 00, 03 20 00, 03 30 00	00
G-CS1	CONCRETE MASONRY UNITS	04 27 31	00
G-CS2	CONCRETE SIDEWALK	03 10 00, 03 20 00, 03 30 00	00
G-CF5	CONCRETE SLAB ON GRADE	03 30 00	00
G-CF	DRAINAGE FILL	—	—
G-P1	THRU WALL FLASHING	04 27 00	00
G-PW	FOUNDATION WALL, SEE STRUCTURAL	03 30 00	00
G-MM	MORTAR MESH	04 27 31	00
G-P1	PERIMETER INSULATION	07 21 00	00
G-SD	SUBDRAINAGE	33 46 00	00
G-STO	DOWNPOUT BOST TO STORM, SEE CIVIL	—	—
G-VR	VAPOR RETARDER	03 30 00	00
G-WP	WATERPROOFING	07 23 00	00



# WOODIES AUTOMOTIVE

BALLANTYNE, NC

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KEY PLAN

ISSUE	DATE
50% PROGRESS SET	12-24-13

## EXTERIOR ELEVATIONS

**A2.1**

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