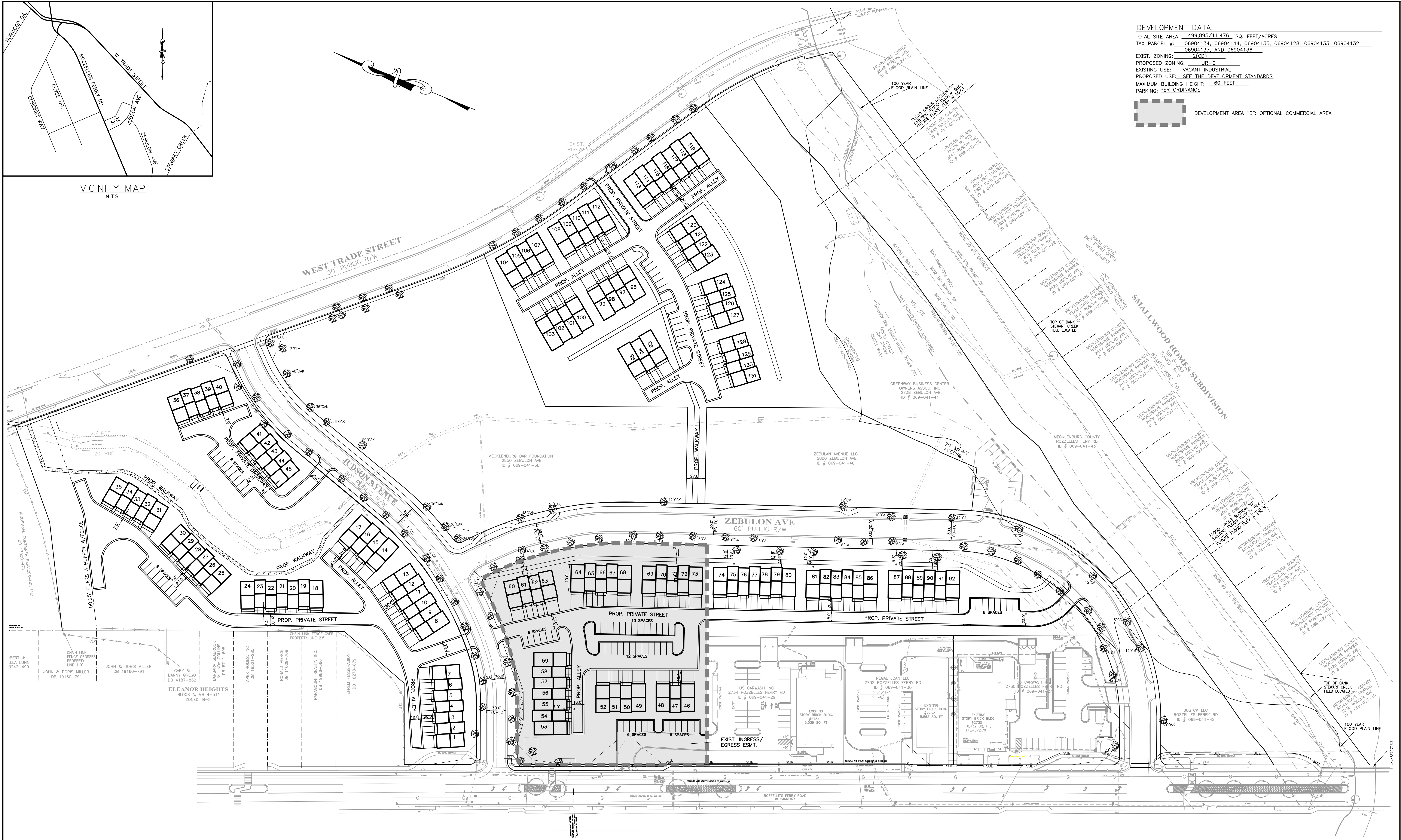


VICINITY MAP  
N.T.S.

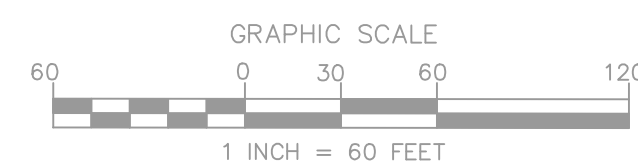


DEVELOPMENT DATA:  
TOTAL SITE AREA: 499,895/11.476 SQ. FEET/ACRES  
TAX PARCEL #: 06904134, 06904144, 06904135, 06904128, 06904133, 06904132  
06904137, AND 06904136  
EXIST. ZONING: I-2(CD)  
PROPOSED ZONING: UR-C  
EXISTING USE: VACANT INDUSTRIAL  
PROPOSED USE: SEE THE DEVELOPMENT STANDARDS  
MAXIMUM BUILDING HEIGHT: 60 FEET  
PARKING: PER ORDINANCE

DEVELOPMENT AREA "B": OPTIONAL COMMERCIAL AREA

COMBINED GRID FACTOR  
IS 0.99984496  
NCGS MONUMENT "M 110"  
NC GRID COORDINATES  
N: 550,473.25 USFT - SPC 83  
E: 1,439,939.25 USFT - SPC 83

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Project: GREENWAY BUSINESS CENTER TOWNHOMES  
CHARLOTTE, NORTH CAROLINA

Title: REZONING PLAN

File #: 19200-RZ.DWG Date: 11/26/19 Project Egr: FBL

Design By: FBL

Drawn By: FBL

Scale: 1"=60'

THE ISAACS GROUP

CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420  
CHARLOTTE, N.C. 28217  
PHONE (704) 527-3440 FAX (704) 527-8335

RZ1.0



A. GENERAL PROVISIONS

- THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY DRB GROUP (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF THAT APPROXIMATELY 11.476 ACRE SITE LOCATED BETWEEN WEST TRADE STREET AND ROZZELLES FERRY ROAD AND GENERALLY AT THE INTERSECTION OF JUDSON AVENUE AND ROZZELLES FERRY ROAD AND ON THE EAST SIDE OF ZEBULON AVENUE, WHICH SITE IS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NOS. 069-041-34, 069-041-44, 069-041-35, 069-041-28, 069-041-33, 069-041-32, 069-041-37 AND 069-041-36.
- FOR ENTITLEMENT PURPOSES, THE SITE IS DIVIDED INTO TWO SEPARATE DEVELOPMENT AREAS THAT ARE DESIGNATED ON THE REZONING PLAN AS DEVELOPMENT AREA A AND DEVELOPMENT AREA B.
- THE DEVELOPMENT AND USE OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE").
- UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE UR-C ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
- THE DEVELOPMENT DEPICTED ON THE REZONING PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS AND SIZES OF THE BUILDING AND PARKING ENVELOPES AS WELL AS THE INTERNAL PRIVATE STREETS/DRIVES/ALLEYS DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE TERMS OF THESE DEVELOPMENT STANDARDS AND THE ORDINANCE, ARE SUBJECT TO MINOR ALTERATIONS OR MODIFICATIONS DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES.
- FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE. ALTERATIONS TO THE REZONING PLAN ARE SUBJECT TO SECTION 6.207 OF THE ORDINANCE.

B. PERMITTED USES/DEVELOPMENT LIMITATIONS

1. DEVELOPMENT AREA A

- (a) DEVELOPMENT AREA A MAY BE DEVOTED ONLY TO A MAXIMUM OF 105 SINGLE FAMILY ATTACHED DWELLING UNITS AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN THE UR-C ZONING DISTRICT.

2. DEVELOPMENT AREA B

- (a) DEVELOPMENT AREA B MAY BE DEVOTED TO A MAXIMUM OF 28 SINGLE FAMILY ATTACHED DWELLING UNITS AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN THE UR-C ZONING DISTRICT.
- (b) ALTERNATIVELY, IN LIEU OF SINGLE FAMILY ATTACHED DWELLING UNITS AND SUBJECT TO THE LIMITATIONS SET OUT BELOW IN SUBPARAGRAPHS (1) - (3), DEVELOPMENT AREA B MAY BE DEVOTED TO COMMERCIAL AND OFFICE USES THAT ARE PERMITTED IN THE B-1 ZONING DISTRICT. THESE COMMERCIAL AND OFFICE USES SHALL BE LOCATED IN FREESTANDING BUILDINGS.

(1) DRIVE-IN WINDOWS AND AUTOMOTIVE SALES, SERVICE, OR REPAIR SHALL NOT BE PERMITTED ON DEVELOPMENT AREA B.

(2) THE MAXIMUM GROSS FLOOR AREA THAT MAY LOCATED ON DEVELOPMENT AREA B THAT IS DEVOTED TO THE PERMITTED COMMERCIAL AND OFFICE USES SHALL BE 12,000 SQUARE FEET.

(3) A MAXIMUM OF TWO FREESTANDING NON-RESIDENTIAL BUILDINGS MAY BE LOCATED ON DEVELOPMENT AREA B, AND ANY BUILDINGS MUST BE LOCATED IN THE BUILDING AND PARKING ENVELOPED DEPICTED ON THE REZONING PLAN.

C. TRANSPORTATION

- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- AS DEPICTED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY EXISTING PUBLIC STREETS AND INTERNAL PRIVATE STREETS/DRIVES/ALLEYS. MINOR ADJUSTMENTS TO THE LOCATIONS OF THE INTERNAL PRIVATE STREETS/DRIVES/ALLEYS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.
- THE EXISTING PUBLIC STREETS SHALL BE UTILIZED WITHOUT WIDENING THE SAME.
- INTERNAL SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL BE PROVIDED ON THE SITE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE INTERNAL SIDEWALKS MAY MEANDER TO SAVE EXISTING TREES.

D. ARCHITECTURAL STANDARDS

- THE MAXIMUM HEIGHT OF ANY BUILDING CONSTRUCTED ON THE SITE SHALL BE 60 FEET AS MEASURED UNDER THE ORDINANCE.
- ROOFTOP TERRACES MAY BE INSTALLED ON THE SINGLE FAMILY ATTACHED DWELLING UNITS TO BE CONSTRUCTED ON THE SITE AT THE OPTION OF PETITIONER.
- THE PRIMARY EXTERIOR BUILDING MATERIALS FOR THE SINGLE FAMILY ATTACHED DWELLING UNITS TO BE LOCATED ON THE SITE WILL BE A COMBINATION OF PORTIONS OF THE FOLLOWING: BRICK VENEER OR SIMILAR MASONRY PRODUCTS, STONE, MANUFACTURED STONE, STUCCO AND CEMENTITIOUS SIDING.
- VINYL, EIFS OR MASONITE MAY NOT BE USED AS AN EXTERIOR BUILDING MATERIAL ON ANY BUILDING TO BE CONSTRUCTED ON THE SITE. NOTWITHSTANDING, VINYL MAY BE UTILIZED ON WINDOWS, DOORS, GARAGE DOORS, SOFFITS, TRIM AND RAILINGS. ADDITIONALLY, ALUMINUM MAY BE USED ON TRIM AND GARAGE DOORS.
- THE ACTUAL SIZES OF THE SINGLE FAMILY ATTACHED DWELLING UNITS/LOTS MAY VARY FROM THE SIZES DEPICTED ON THE REZONING PLAN.
- THE FRONT ELEVATION OF EACH SINGLE FAMILY ATTACHED DWELLING UNIT SHALL HAVE WINDOWS OR OTHER ARCHITECTURAL DETAILS THAT LIMIT THE MAXIMUM BLANK WALL EXPANSE TO 15 FEET ON EACH LEVEL OF THE SINGLE FAMILY ATTACHED DWELLING UNIT.
- EACH SINGLE FAMILY ATTACHED DWELLING UNIT TO BE CONSTRUCTED ON THE SITE SHALL HAVE A GARAGE.
- WALKWAYS SHALL BE PROVIDED TO CONNECT ALL RESIDENTIAL ENTRANCES TO SIDEWALKS ALONG PUBLIC STREETS.

E. STREETSCAPE AND LANDSCAPING

- EXISTING SIDEWALKS AND PLANTING STRIPS LOCATED ALONG THE SITE'S FRONTAGES ON EXISTING PUBLIC STREETS MAY REMAIN IN PLACE.

F. LIGHTING

- ALL FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE BY PETITIONER (EXCLUDING STREET LIGHTS, LOWER, DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG THE DRIVEWAYS, PRIVATE ALLEYS, SIDEWALKS AND WALKWAYS AND LANDSCAPING LIGHTING) SHALL BE FULLY CAPPED AND SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE. THIS REQUIREMENT SHALL NOT APPLY TO EXISTING FREESTANDING LIGHTING FIXTURES ON THE SITE.
- THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE BY PETITIONER, INCLUDING ITS BASE, SHALL NOT EXCEED 21 FEET. THIS REQUIREMENT SHALL NOT APPLY TO EXISTING FREESTANDING LIGHTING FIXTURES ON THE SITE.

G. ENVIRONMENTAL FEATURES

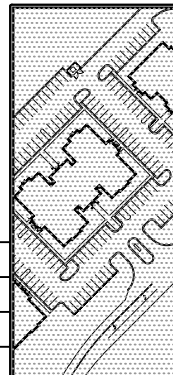
- THE SITE IS A PORTION OF A PLANNED/UNIFIED DEVELOPMENT APPROVED PURSUANT TO REZONING PETITION NO. 2007-106. THE TREE SAVE REQUIREMENTS FOR THE PLANNED/UNIFIED DEVELOPMENT, WHICH INCLUDES THE SITE, HAVE BEEN SATISFIED IN THE APPROXIMATELY 3.271 ACRE SWIM BUFFER LOCATED NEXT TO STEWART CREEK (TAX PARCEL NO. 069-041-43). THEREFORE, ADDITIONAL TREE SAVE AREAS LOCATED WITHIN THE SITE SHALL NOT BE REQUIRED.
- PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION STORMWATER ORDINANCE. THE SITE SHALL UTILIZE THE EXISTING STORM WATER POND LOCATED ON TAX PARCEL NO. 069-041-41.

H. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
- THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

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Project:

GREENWAY BUSINESS CENTER TOWNHOMES  
CHARLOTTE, NORTH CAROLINA

Title:

REZONING NOTES

File #:

19200-RZ.DWG

Date:

11/26/19

Project Egr:

FBL

Design By:

FBL

Drawn By:

FBL

Scale:

1"=N.T.S.

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