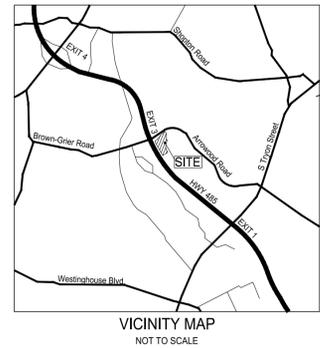
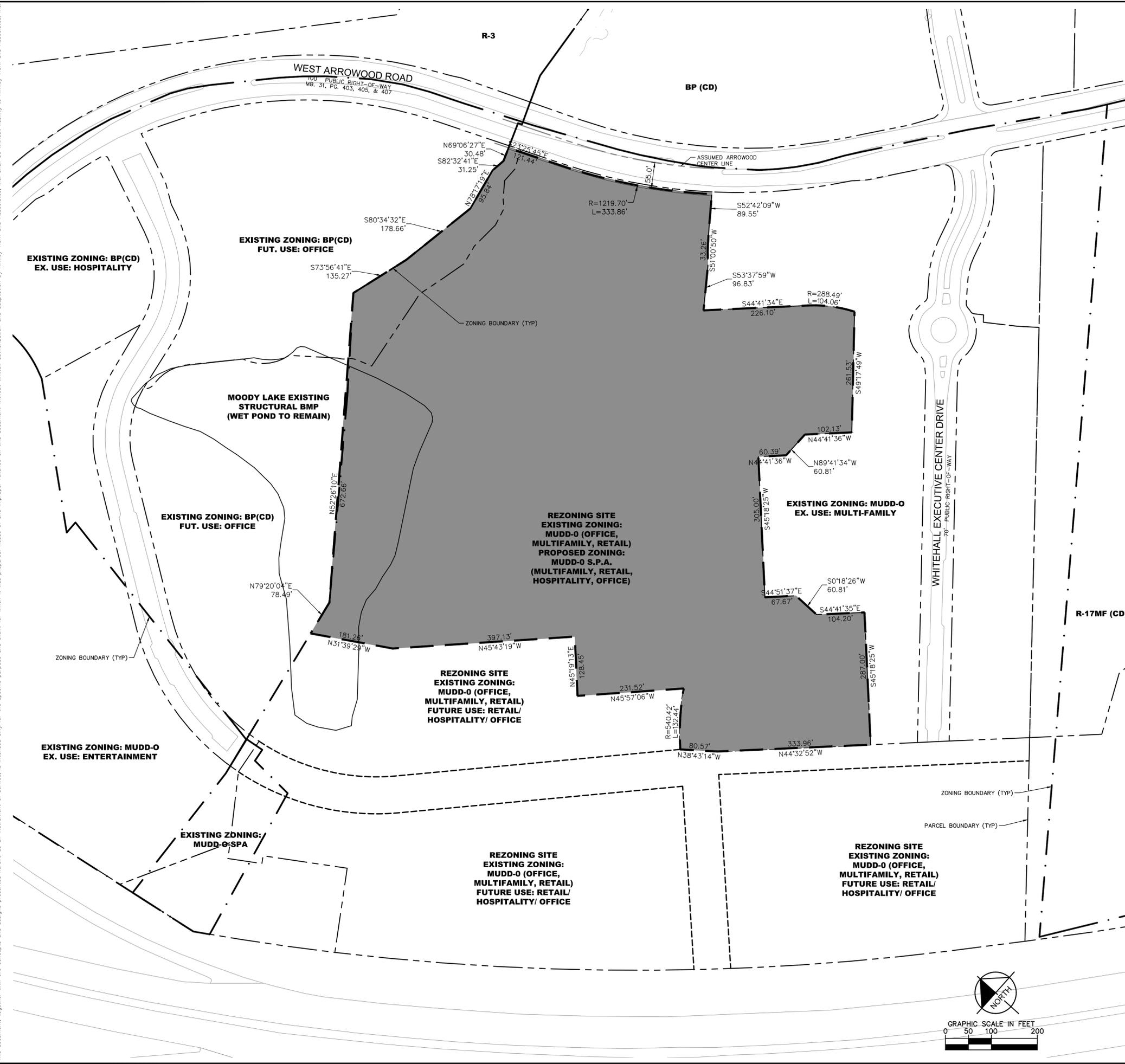


Plotted By: Iida, Nathan - Sheet Set: Moody Lake Rezoning - Layout: RZ-1 - REZONING BOUNDARY - September 16, 2019 04:26:09pm K:\CHL\_PRA\0152722\_aac\041\_moody\_lake\_rezoning\02 - DWG\plansheets\RZ-1\_REZONING\_PLAN.dwg  
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**ZONING CODE SUMMARY**

PROJECT NAME:	2019 MOODY LAKE REZONING UPDATE
OWNER:	WHITEHALL CORPORATE CENTER, LLC
PETITIONER NAME:	AMERICAN ASSET CORPORATION
PLANS PREPARED BY:	KIMLEY-HORN AND ASSOCIATES, INC. PHONE: (704) 333-5131 PORTION OF 201-451-05
TAX PARCEL ID:	MUDD-0
EXISTING ZONING:	MUDD-0 S.P.A.
PROPOSED ZONING:	SEE THE DEVELOPMENT STANDARDS
PROPOSED BUILDING HEIGHT:	SEE DEVELOPMENT STANDARDS
PROPOSED USE:	APPROXIMATELY 23.89 ACRES
SITE AREA:	

NO.	REVISIONS PER CITY COMMENTS	DATE	BY
1		08/19/19	

**Kimley»Horn**

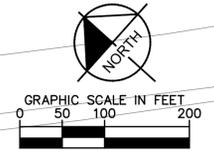
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 200 SOUTH TRYON, SUITE 200, CHARLOTTE, NC 28202  
 PHONE: 704-333-5131  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	015272041
DATE	09/16/19
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**REZONING BOUNDARY**

**MOODY LAKE REZONING**  
 PREPARED FOR  
**AAC**  
 CITY OF CHARLOTTE NORTH CAROLINA

SHEET NUMBER  
**RZ-1**



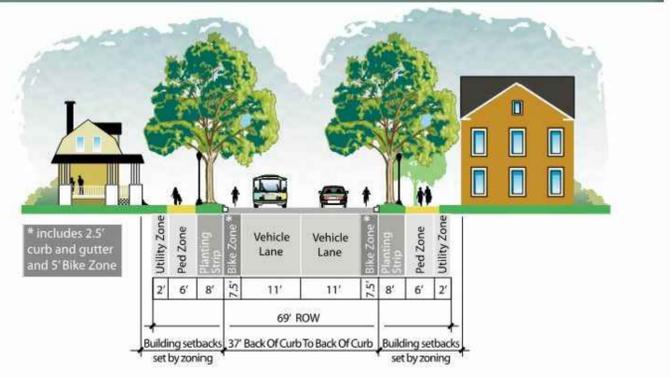


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**Avenue - Two Lane Undivided**

**Width:** 37' from back of curb to back of curb. ROW is 69'.  
**Cross Section:** One travel lane in each direction with bike zone, planting strip, sidewalk and utility zone. If a turn lane is added, an additional 11' is required. Building setbacks will vary by zoning districts.



SCSAP Avenue Section

SHEET NUMBER  
**RZ-3**

**MOODY LAKE  
 REZONING**  
 PREPARED FOR  
**AAC**  
 CITY OF CHARLOTTE NORTH CAROLINA

**TECHNICAL DATA**

KHA PROJECT  
015272041  
 DATE  
09/16/19  
 SCALE AS SHOWN  
 DESIGNED BY  
 DRAWN BY  
 CHECKED BY

**Kimley»Horn**  
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No.	REVISIONS	DATE	BY
1	REVISIONS PER CITY COMMENTS	08/19/19	