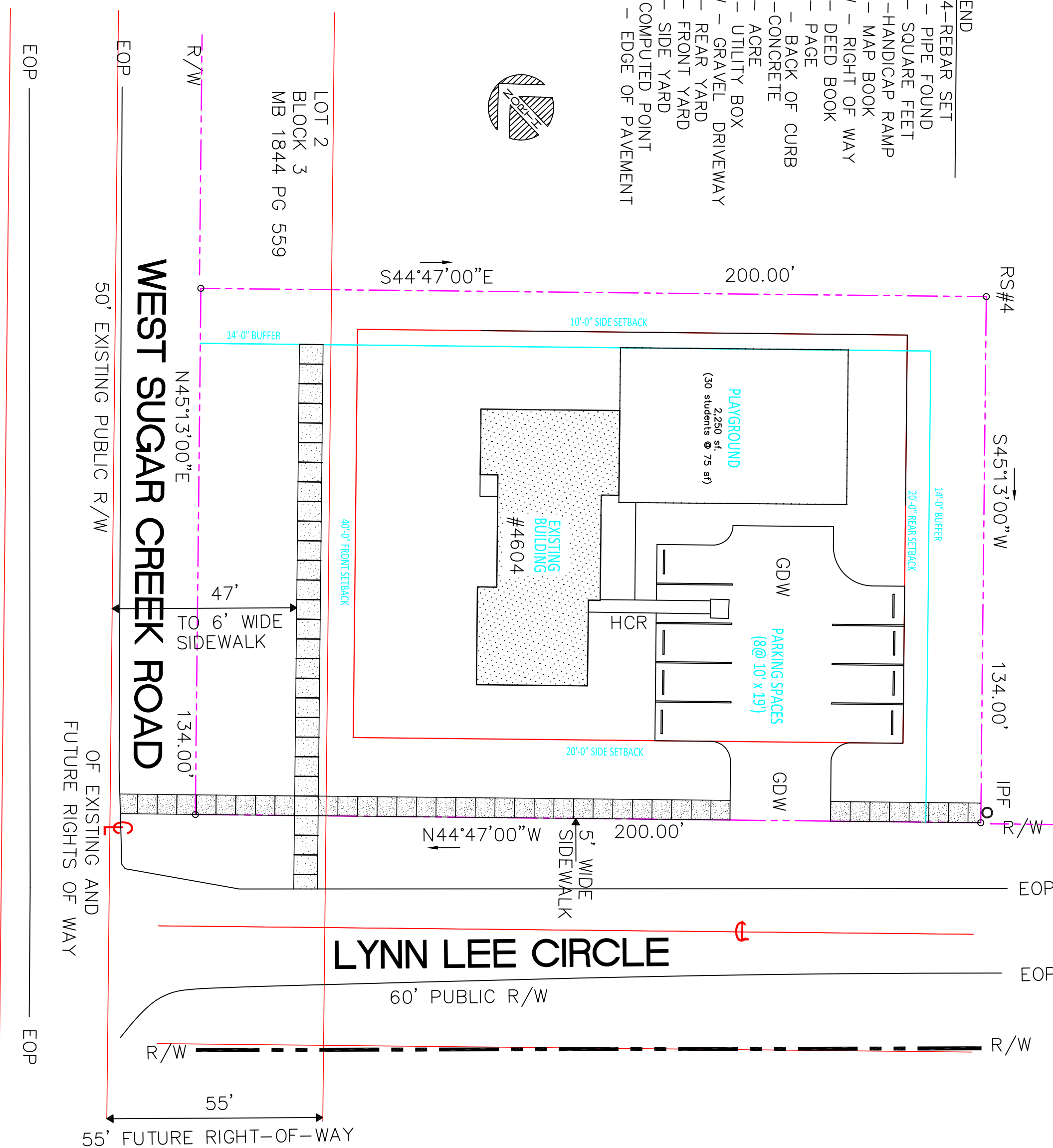
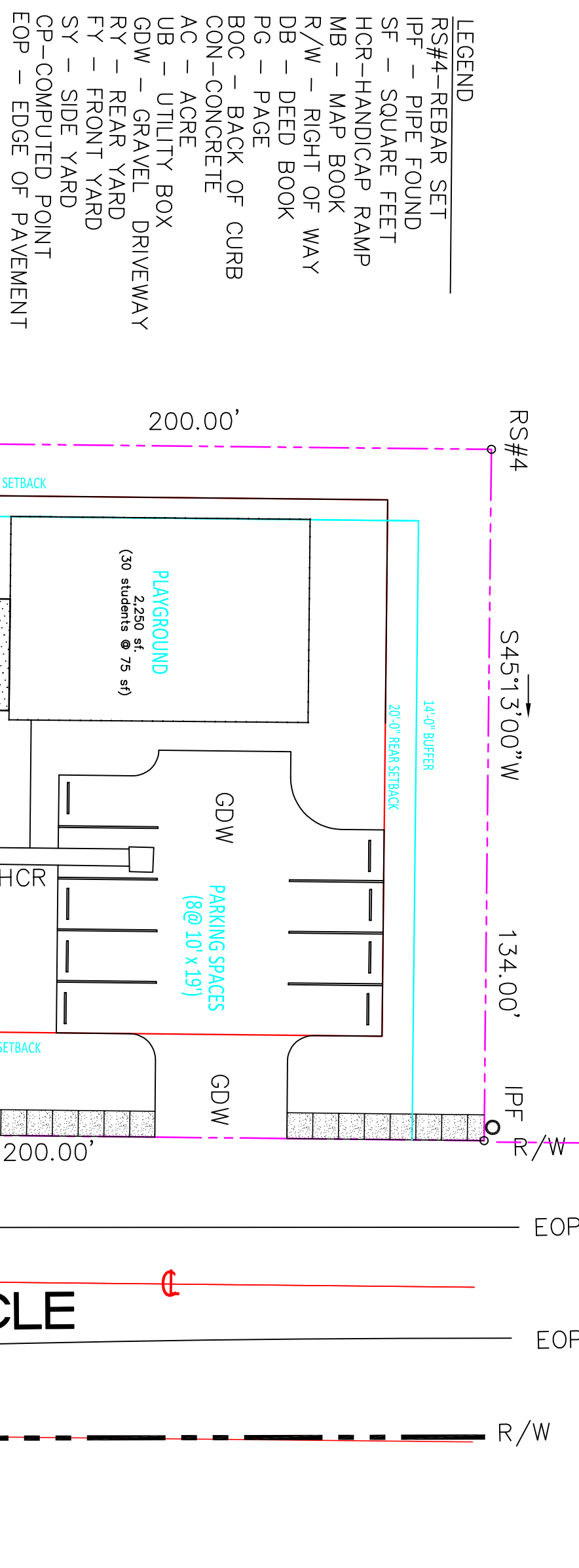


OUTSTANDING ISSUES

SITE PLAN

PROJECT DATA

1. A TRAFFIC IMPACT STUDY IS NOT NECESSARY FOR THE COMPLETE REVIEW OF THIS PETITION.
2. THE SITE PLAN AND THE CONDITIONAL NOTE HAVE BEEN REVISED TO DIMENSION, LABEL, AND CALL OUT THE FUTURE RIGHT-OF-WAY 55' FROM THE CENTERLINE OF WEST SUGAR CREEK ROAD.
3. THE SITE PLAN AND CONDITIONAL NOTES HAVE BEEN REVISED COMMITTING TO THE CONSTRUCTION OF THE 6' SIDEWALK MEASURING 47' FROM THE CENTERLINE OF WEST SUGAR CREEK ROAD.
4. THE SITE PLAN AND CONDITIONAL NOTES HAVE BEEN REVISED COMMITTING TO THE CONSTRUCTION OF THE REQUIRED 5' SIDEWALK LOCATED AT THE BACK OF THE RIGHT-OF-WAY ALONG LYNN LEE ROAD PROPERTY FRONTAGE.
5. THE PETITIONER COMMITS TO THE DEDICATION AND FEE SIMPLE CONVEYANCE OF ALL RIGHTS OF WAY TO THE CITY BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED.
6. THE SITE PLAN HAS BEEN REVISED TO ADD A NOTE SPECIFYING THAT ALL TRANSPORTATION IMPROVEMENTS WILL BE APPROVED AND CONSTRUCTED BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED.



SITE PLAN

NOTE: ALL TRANSPORTATION IMPROVEMENTS WILL BE APPROVED AND CONSTRUCTED BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED.

1. GENERAL PROVISIONS:
 - a. The development of the Site will be governed by the attached plans and the City of Charlotte Development standards.
 - b. Except as otherwise expressly specified on the Rezoning Plan, site elements may be subject to alterations or modifications, during design/development/construction phases, as long as the proposed improvements are in compliance with the accompanying Development Standards and Section 6.2071 of the Ordinance.
 - c. To the extent of any conflict between the matters contained in other areas of the Rezoning Plan and the matters set forth in the Development Standards, the more restrictive shall govern.
2. PERMITTED USES:
 - a. The Petitioner's intent for the site is to rezone the existing property from R3 to Institutional CD to accommodate a Child Daycare Center in an existing residential structure. The new daycare will accommodate 40 students in a 2,105 sq (maximum) building.
3. TRANSPORTATION:
 - a. Covered bicycle parking and bicycle racks will be provided according to City of Charlotte requirements.
4. ARCHITECTURAL STANDARDS:
 - a. The Petitioner's intent for the site is to rezone the existing property from R3 to Institutional CD to accommodate a Day Care Center.
 - b. The building does not exceed the maximum allowed 40 feet in height.
5. FIRE PROTECTION:
 - a. The Petitioner shall adhere to the requirements of the Charlotte Fire Department for this building type and use.
6. SIGNAGE:
 - a. All project signs, banners, flags and pendants for identification or decoration must conform to the Ordinance.

SPECIAL NOTES

CONTRAST TO THE BUILDING'S EARLIER LIFE AS A DAY CARE CENTER WHEN THE CHILDREN WERE YOUNGER AND SMALLER AND PERIODICALLY HAD NEED OF A BUS FOR FIELD TRIPS AND MISCELLANEOUS OUTINGS REQUIRING POSSESSION OF A BUS, THIS REMODELED FACILITY WILL BE FOR "LATCH KEY KIDS" WHO WILL BE DROPPED OFF BY SCHOOL BUSES AFTER SCHOOL FOR THE AFTERNOON STAY WHERE THEY WILL REMAIN UNTIL PICKED UP BY PARENTS AT THE END OF THE DAY. THE BUSES WILL NOT ENTER THE PROPERTY, ONLY LEAVING THE CHILDREN AT CURBSIDE AND LEAVING IMMEDIATELY. THERE WILL BE NO NEED FOR ANY BUSES TO REMAIN AT THE SITE ANY LONGER THAN TO DROP THEM OFF FOR THE AFTERNOON. HENCE, NO NEED FOR PROVIDING A PARKING SPACE FOR PARKING A BUS ON SITE.

SITE DEVELOPMENT DATA

OWNER:	PROJECT ADDRESS:
JOYCE GREEN	4604 WEST SUGAR CREEK ROAD
	CHARLOTTE, NC 28269
<u>LEGAL DESCRIPTION</u>	
APN: 04310540	
CONSTRUCTION TYPE: V2	
CHARLOTTE, NC 28269	
<u>DESIGN TEAM:</u>	
CLARY ARCHITECTURE PLLC	ARCHITECTURE
C2 ENGINEERING SOLUTIONS	MECHANICAL & ELECTRICAL
HOWARD VERNA ENGINEERS	STRUCTURAL

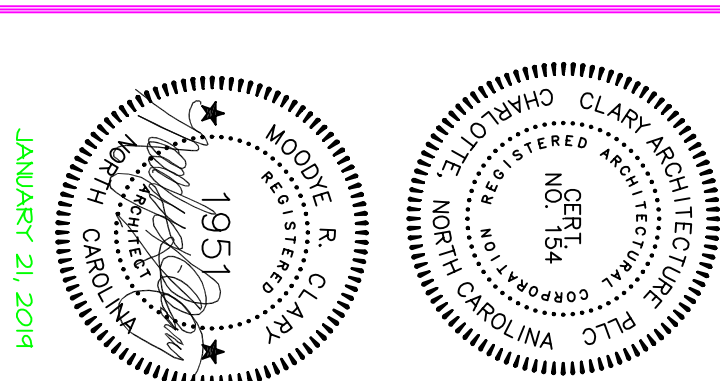
SQUARE FOOTAGE

AREA	SQ. FT.
FIRST FLOOR	2,080
PORCH	25
TOTAL SQUARE FOOTAGE	2,105

VICINITY MAP



PHASE	
DRAWN BY	
CHECKED BY	
APPROVED BY	



Clary Architecture

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RENOVATION OF BUILDING FOR

A STEP AHEAD LEARNING CENTER

4604 SUGAR CREEK ROAD CHARLOTTE, NORTH CAROLINA

SUTE PLAN AND GENERAL NOTES

REVISIONS		
NO.	DATE	
1	June 13, 2014	Revised in accordance with reviewers' comments.
-	_____	_____
-	_____	_____
-	_____	_____

SHEET NO. **A101**
OF **1**

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