

SECOND COMMUNITY MEETING REPORT
Petitioner: Sweetgrass Residential Partners, LLC
Rezoning Petition No. 2017-112

This Second Community Meeting Report is being filed with the Office of the City Clerk and the Charlotte-Mecklenburg Planning Commission pursuant to the provisions of the City of Charlotte Zoning Ordinance.

PERSONS AND ORGANIZATIONS CONTACTED WITH DATE AND EXPLANATION OF HOW CONTACTED:

A representative of the Petitioner mailed a written notice of the date, time and location of the Second Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on May 16, 2018. A copy of the written notice is attached hereto as Exhibit B.

DATE, TIME AND LOCATION OF MEETING:

The Second Community Meeting was held on Wednesday, May 30, 2018 at 6:00 p.m. at the Pleasant Hill Presbyterian Church, 15000 South Tryon Street, Charlotte, North Carolina 28278.

PERSONS IN ATTENDANCE AT MEETING (see attached copy of sign-in sheet):

The Second Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit C. The Petitioner was represented at the Second Community Meeting by Dan Gualtieri, as well as by Petitioner's civil engineer Brent Stough with Design Resource Group, and Petitioner's agent Collin Brown with K&L Gates.

SUMMARY OF PRESENTATION/DISCUSSION:

The Petitioner's agent, Collin Brown, welcomed the attendees and introduced the Petitioner's team. Mr. Brown used a PowerPoint presentation, attached hereto as Exhibit D. Mr. Brown explained that this petition involves approximately 30 acres of land located off South Tryon Street, east of Youngblood Road and west of Birnamwood Lane.

From the outset, Mr. Brown acknowledged that this site is likely to be developed due to the property's location and the owners' eagerness to sell. Property owners who were present at the meeting also introduced themselves.

Mr. Brown explained that there are many competing priorities to consider when developing a piece of property, including property owner requirements, existing zoning, natural and environmental constraints, access and transportation requirements, adjacent property owner concerns, Ordinance and policy requirements, City Staff priorities, City Council priorities, broader community concerns, and market realities. The property's existing zoning is R-3, which typically allows for single-family residential developments with a density up to three units per acre. The Steele Creek Area Plan, which was adopted by the Charlotte City Council in 2012, acknowledges this property as a future neighborhood center with support for higher density and commercial development. The Area Plan specifically proposes a mix of

single-family residential, multi-family residential, office and retail uses at this property. The Plan further states that development should be limited to a convenience size center (70,000 square feet maximum) and residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent single-family residential development.

Mr. Brown explained the City's connectivity policy is aimed at creating a robust network of streets and is contained in the Subdivision Ordinance, which means that interconnected streets will be required for all new development regardless of whether the development goes through the rezoning process. Mr. Brown also explained that a traffic impact study was completed for this proposed development and traffic mitigation measures were suggested.

Mr. Brown then walked through the conditional rezoning plan and showed the proposed access points, buffers, and development areas. Mr. Brown explained that the development must conform to the site-specific development plan. First, Mr. Brown showed the initial site plan concept that was presented at the first Official Community Meeting last winter; this plan included a commercial component on the corner of the intersection of South Tryon Street and Youngblood Road, including office and retail with a drive-through use at the corner. Additionally, an apartment complex and for-rent townhomes were proposed for a total of 280 residential units and 30,000 square feet of commercial development at the site and an approximate density of 10 dwelling units per acre.

Mr. Brown stated that community feedback included concerns over density, traffic, connectivity, buffers, and for-rent residential product. In response to traffic concerns, the Petitioner conducted a traffic study which demonstrated that one of the main traffic issues in the area is the stacking along Youngblood Road turning left toward South Carolina. The traffic study recommended the expansion of Youngblood Road to create an additional turn lane to mitigate the traffic issue. The Petitioner intends to make this commitment. Additionally, the Petitioner initially proposed a left-over through the median on South Tryon to accommodate the proposed commercial component on the site. However, the plans have now evolved based on community involvement and the left-over on South Tryon is no longer essential for this development.

Mr. Brown walked through a few changes to the site plan since the initial community meeting. First, the Petitioner decreased the residential density from 280 units to 254 units while also adding two additional acres into the development area. The density was then calculated at approximately 8 dwelling units per acre. The Petitioner also increased the buffers and created a smoother transition of townhomes next to the existing single-family homes. Since then, the Petitioner has heard additional feedback and has revised the site plan yet again. Mr. Brown showed the current site plan, which now requests a rezoning to the R12-MF and MUDD (mixed use development) districts rather than the NS (neighborhood services) district. Mr. Brown explained, as a reference, that the recently approved rezoning by the Woda Group on the other side of Birnamwood Drive was a request for R12-MF zoning and contains an affordable housing component.

Mr. Brown explained that the new site plan is reflective of feedback from surrounding neighbors, including: increase buffers along Birnamwood Lane; decrease the amount of rental units along Youngblood Road; preserve trees where possible; minimize traffic impact; and limit grading near rear

property line. The new plan completely takes the area adjacent to Birnamwood Lane out of the development proposal and instead proposes a commitment to preserve this 2-acre zone as a permanent tree save area. Mr. Brown stated that this commitment was well received by Birnamwood Lane neighbors. Mr. Brown further explained that in brainstorming ways to address the traffic impacts, the Petitioner came up with a plan to incorporate a self-storage component into the development. Self-storage uses have very low daily trip counts and no school impact while still creating an economically viable development.

As a comparison, the earlier plan (with 254 dwelling units and 30,000 square feet of commercial space) generated approximately 4,700 trips per day, whereas the new plan (with the self-storage component and approximately 240 dwelling units) would generate less than 1,750 trips, resulting in a 200% reduction in the number of daily trips.

Mr. Brown showed the site plan for the two self-storage buildings, which would be fully enclosed and climate-controlled, with commitments to architectural standards. Mr. Brown explained that the self-storage use is particularly desirable in this location in part due to its proximity to Lake Wylie where there is demand for storage options to accommodate equipment for outdoor activities and water sports.

Importantly, Mr. Brown explained the Petitioner's willingness to delay the connection from the site to Birnamwood Lane. Many neighbors expressed aversion to the connection of the Petitioner's development to the small unpaved road. Whereas a by-right development would be required to make this connection under the Subdivision Ordinance, the Petitioner may have the ability to request flexible timing for building the connection. The Petitioner could propose to dedicate funds to the City of Charlotte for the future construction of the road, which would not be constructed until such time as the single-family residences on the other side of Birnamwood Lane get redeveloped, thus making the connection more practicable. However, any type of phased connection would be at the City's discretion.

A resident on Birnamwood Lane stated that her biggest concern is traffic. She also stated that she strongly prefers that a connection not be made to Birnamwood Lane at this time.

One attendee voiced her opinion that more apartments are not needed along Tryon Street. Another attendee, also opposed to apartments, stated that school overcrowding is a major concern in the Steele Creek area. Mr. Brown explained that fewer students are typically projected in apartments than in townhome or single-family developments. Mr. Brown further stated that the busy corner of Tryon Street and Youngblood Road is not likely to be a desirable location for single-family residents.

An attendee stated that the Steele Creek area needs more restaurants, movie theaters and amenities rather than additional apartments. On the other hand, another attendee stated that she would be strongly opposed to a movie theater in her front yard.

The formal meeting concluded at approximately 7:30 p.m. and the Petitioner's agents continued to answer individual questions until approximately 8:00 p.m.

Respectfully submitted, this 11th day of June, 2018.

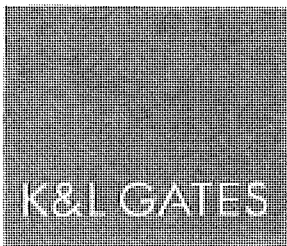
cc: Claire Lyte-Graham, Charlotte-Mecklenburg Planning Department
Tammie Keplinger, Charlotte-Mecklenburg Planning Department

Exhibit A

Pet_No	taxpid	ownerlastn	ownerfirst	cownerfirs	cownerlast	mailaddr1	mailaddr2	city	state	zipcode
2017-112	19901103	VAUGHN	CARL S			4331 HORD RD		SHARON	SC	29742
2017-112	19901104	STEEL CREEK ONE LLC				101 S TRYON ST SUITE 2430	ATTN: BRANDON D PERRY	CHARLOTTE	NC	28280
2017-112	19901105	S & S HOLDINGS OF CHARLOTTE LLC				14809 LONESOME OAK CIRCLE		CHARLOTTE	NC	28278
2017-112	19901122	MAHEK,LLC				6302 RED MAPLE DR		CHARLOTTE	NC	28053
2017-112	19901171	CITY OF CHARLOTTE				600 EAST 4TH ST		CHARLOTTE	NC	28202
2017-112	19902102	MECKLENBURG COUNTY			% REAL ESTATE /FINANCE DEPT	600 E 4TH ST 11TH FLOOR		CHARLOTTE	NC	28202
2017-112	21701112	SPRUILL	MICHAEL W	JUDITH R	SPRUILL	14320 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21701113	LAWSON	MARION D	ELIZABETH S	LAWSON	14300 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21701115	CHHAY	TONG CHING	SEAR MEY	CHHAY	790 LAKEY GAP RD		BLACK MOUNTAIN	NC	28711
2017-112	21911101	GALLOWAY	RODGER DALE	PHYLLIS F	GALLOWAY	16601 CAPPS RD		CHARLOTTE	NC	28278
2017-112	21911102	NASH	DAVID B	DEBORAH C	NASH	14247 YOUNGBLOOD RD		CHARLOTTE	NC	28273
2017-112	21911115	APS INVESTMENTS LLC				PO BOX 34689		CHARLOTTE	NC	28234
2017-112	21911117	APS INVESTMENTS LLC				255 CHEROKEE RD		CHARLOTTE	NC	28207
2017-112	21911118	WASHAM	JUDY A			14243 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911119	HARKEY	W TED	SARAH J	HARKEY	14229 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911120	STROUPE	MARCUS			7201 COLLEY FORD LN		CHARLOTTE	NC	28273
2017-112	21911121	NANCE	GEORGE F	DIANE P	NANCE	14217 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911122	POPE	KERRY R	ROXANNE J	POPE	14309 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911123	KNOX	F VERNON	JUDY	KNOX	14301 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911128	VOORTMANS	ANN SKIPPER		FRANCISCUS C (B/W)	14001 YORK RD		CHARLOTTE	NC	28278
2017-112	21911129	LFP ASSOCI		ALAN A	PRESLEY	304 E MOREHEAD ST		CHARLOTTE	NC	28202
2017-112	21911130	MCAULEY	TROY JAMES		BY ENTIRETY	14624 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21911131	PHAN	TAI NGOC	DIEM NGOC	PHAN	400 WESTINGHOUSE BLVD		CHARLOTTE	NC	28273
2017-112	21911132	CHEA	KHIN	MALINE S	CHEA	15617 EAGLEVIEW DR		CHARLOTTE	NC	28278
2017-112	21911133	SHAW	MICHAEL T	REBECCA M	PAPRITZ	14800 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21911137	GALLOWAY	ROGER DALE	PHYLLIS F	GALLOWAY	16601 CAPPS RD		CHARLOTTE	NC	28278
2017-112	21912412	GIBSON	KEVIN	DIANE	STENSING-GIBSON	13801 YORK RD		CHARLOTTE	NC	28278
2017-112	21912413	FRYE	LISA S			5924 MAMOLAKE RD		CHARLOTTE	NC	28270
2017-112	21912423	SANCHEZ	MICHELLE M			14619 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21912424	MORANTES	JUAN			14701 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21912425	BUCK	NOLAN R			9427 HARRISBURG ROAD		CHARLOTTE	NC	28215
2017-112	21919403	TUCKER	ROBERT G	DEBRA A	TUCKER	14017 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919404	2014-3 IH BORROWER LP			C/O INVITATION HOMES	1717 MAIN ST STE 2000		DALLAS	TX	75201
2017-112	21919405	EBERHARDT	AMANDA	JOHN	EBERHARDT	14029 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919406	BROUGH	JOCK	WHITNEY	BROUGH	14033 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919407	BABER	JAMES L	CARROLLYN J	BABER	14037 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919408	YURKOVIC	BRIAN L	PAM C	YURKOVIC	14043 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919409	KORMANNSHAUS	CRAIG			14045 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919410	EATON	ROBERT L N	HAYLEY T	EATON	14047 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919411	TEAGUE	CHRIS	SHARON	TEAGUE	14044 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919412	LYNCH	JOHN M	DIANE M	LYNCH	14042 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919413	CAPERS	SHEILA A	CALVIN G	CAPERS	14036 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919414	VEGSO	WILLIAM JR	MARIA ROSLIE	VEGSO	14030 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919415	CARTER	BONITA A			14024 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919434	CLAPHAM PROPERTIES II LLC			C/O MARK C CLAPHAM	14801 LONESOME OAK CIR		CHARLOTTE	NC	28278
2017-112	21919435	BERRY	LATOSHIA			14904 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919436	HOBBS	JOSHUA A.S.			14842 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919437	CLAPHAM PROPERTIES II LLC			C/O MARK C CLAPHAM	14801 LONESOME OAK CIR		CHARLOTTE	NC	28278
2017-112	21919438	MARKS	JAYNE A			14832 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919439	MOSES	ELLIS D	COLLEEN M	MOSES	14826 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919440	WAGNER	DAVID T	CATHERINE M	WAGNER	14820 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919441	BURKE	JOHN V	EUDORA R	BURKE	14818 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919442	FOX	RANDALL S	GINGER S	FOX	14812 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919443	MANN	KEVIN C	DEBRA L	MANN	14806 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919444	KENT	BARBARA A	THOMAS G	KENT	14802 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919445	SUAREZ	MILTON E	PATRICIA J	SUAREZ	14800 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919446	SMOLAR	THOMAS A	SALLY A	SMOLAR	14801 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919447	DECKER	DAVE S	MARY L	DECKER	14809 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919448	AMH 2014-3 BORROWER LLC			C/O AMERICAN HOMES 4 RENT	30601 AGOURA RD SUITE 200		AGOURA HILLS	CA	91301
2017-112	21919449	AMH 2014-3 BORROWER LLC			C/O AMERICAN HOMES 4 RENT	30601 AGOURA RD SUITE 200		AGOURA HILLS	CA	91301
2017-112	21919450	ACOSTA	ERIC L			14827 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919451	SHAW	SIMON	VICTORIA	SHAW	14833 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919499	WILTSHIRE MANOR HOMEOWNERS ASSOCIATION INC				PO BOX 2191		DAVIDSON	NC	28036
2017-112	21919504	KEARNEY	JEFFREY D			13713 WEATHERSTONE CIR		CHARLOTTE	NC	28278

Pet_No	ORGANIZATI	FIRST_NAME	LAST_NAME	STREET_ADD	UNIT_NUM	CITY	STATE	ZIP
2017-112		Justin	Bonaparte	15030 Jerpoint Abby Dr.		Charlotte	NC	28273
2017-112	Pineknoll HOA	Art	Lange	15614 Pine Glen Ct		Charlotte	NC	28273
2017-112	Pleasant Hill Road Resident's Association	Richard	Frank	14600 Pleasant Hill Rd		Charlotte	NC	28278
2017-112	Reunion/Enclave	Stephen	Massa	14626 Brotherly Lane		Charlotte	NC	28278
2017-112	Steele Croft Place HOA	Paula	Yorick	14329 Arlandes Drive		Charlotte	NC	28278
2017-112	Steelecroft Place Homeowners Association	Debbie	Jamro	15514 DeHavilland Dr		Charlotte	NC	28278
2017-112	Westmoreland Homeowners Association	Tom	Bidwick	13621 Kensal Green Dr		Charlotte	NC	28278

Exhibit B



May 16, 2018

Collin W. Brown
collin.brown@klgates.com

T +1 704 331 7531
F +1 704 331 7598

NOTICE TO INTERESTED PARTIES OF SECOND COMMUNITY MEETING

Date: Wednesday, May 30th at 6:00 p.m.
Location: Pleasant Hill Presbyterian Church
15000 South Tryon Street
Charlotte, NC 28278
Petitioner: Sweetgrass Residential Partners, LLC
Petition No.: 2017-112

Dear Charlotte Resident,

We represent Sweetgrass Residential Partners, LLC (the "Petitioner") in its plans to redevelop an approximately 30-acre property located off South Tryon Street, east of Youngblood Road and west of Birnamwood Lane (the "Property"). The Petitioner requests to rezone the Property from the R-3 zoning district in order to accommodate its mixed-use redevelopment plans.

In accordance with the requirements of the City of Charlotte Zoning Ordinance, the Petitioner will hold a Second Community Meeting prior to the Public Hearing on this Rezoning Petition for the purpose of discussing this rezoning proposal with nearby property owners and organizations. An initial Official Community Meeting was held on November 7, 2017. This meeting will serve as a follow-up to the initial meeting to discuss updates to the proposed rezoning plan. The Charlotte-Mecklenburg Planning Commission's records indicate that you are either a representative of a registered neighborhood organization or an owner of property that adjoins, is located across the street from, or is near the Site.

Accordingly, on behalf of the Petitioner, we invite you to attend the Second Official Community Meeting regarding this Petition on **Wednesday, May 30th at 6:00 p.m.** to meet with the Petitioner and its design and development team. We will give a brief overview of the updated redevelopment concept and then provide an opportunity for you to meet and talk with individuals that are involved in planning the project.

Please contact me if you are unable to attend and would like additional information.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Collin W. Brown', written over a horizontal line.

Collin W. Brown

cc: Council Member LaWana Mayfield
Claire Lyte-Graham, Charlotte-Mecklenburg Planning Staff

Exhibit C

Pleasant Hill Presbyterian Church
15000 South Tryon Street
Charlotte, NC 28278
May 30, 2018 @ 6:00 p.m.

Please fill out completely. This information is used by the Planning Department to distribute material regarding this petition.

[illegible]

Exhibit D

The logo for K&L GATES, featuring the company name in white, uppercase, sans-serif font on an orange rectangular background.

K&L GATES

Community Meeting Presentation

Rezoning Petition 2017-112 Sweetgrass Residential

May 30, 2018

Pleasant Hill Presbyterian Church

AGENDA

- Introductions
- Property Location
- Property Owners/History
- Development Considerations
- Original Plan
- Revised Plan
- Community Feedback
- Proposed Plan
- Discussion

Sweetgrass Residential Developer/Petitioner

Ryan Hanks



Bailey Patrick, George Macon



Site Design/Traffic Engineer

Brent Stough, Jim Guyton, Randy Goddard



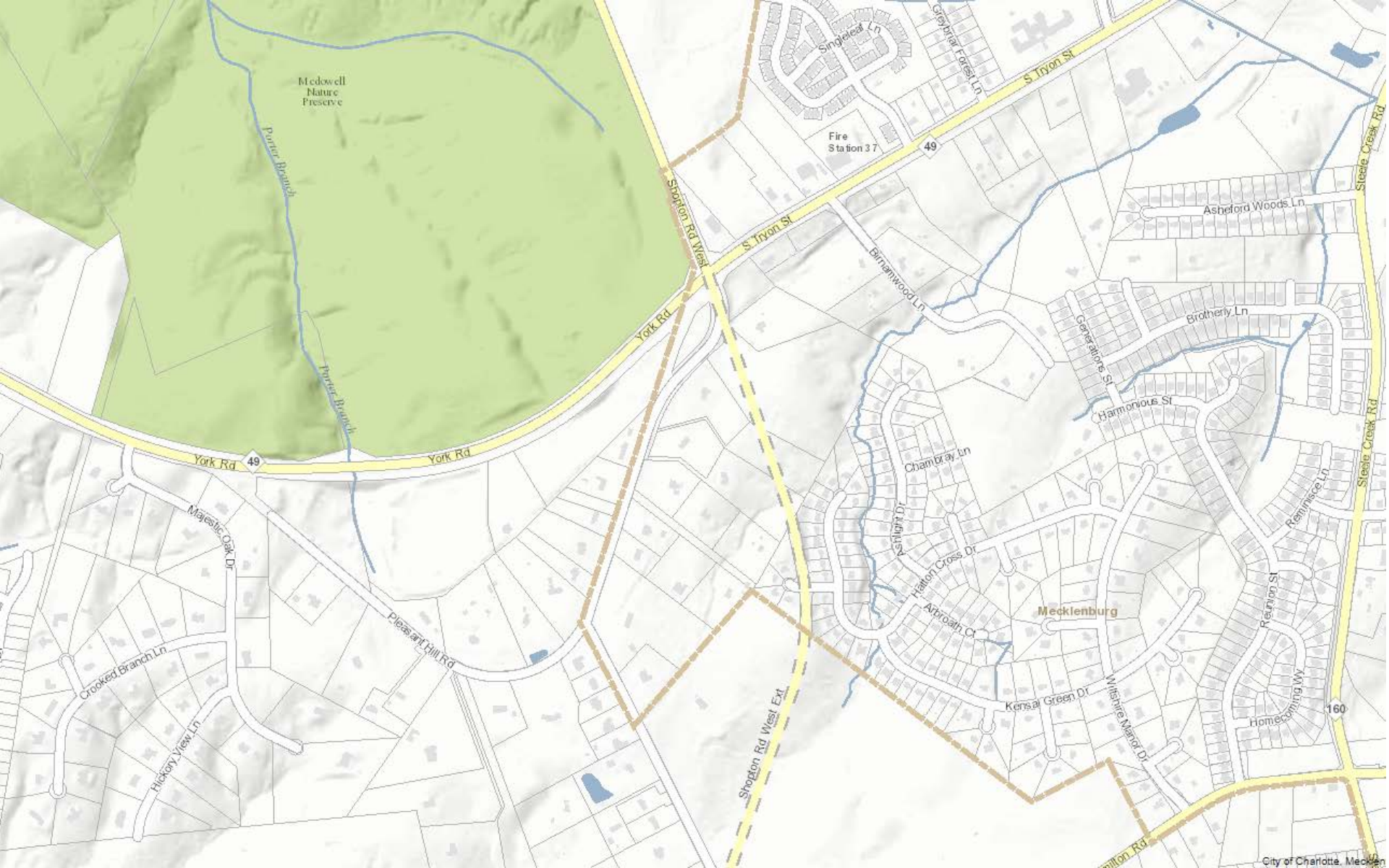
Tom Wright

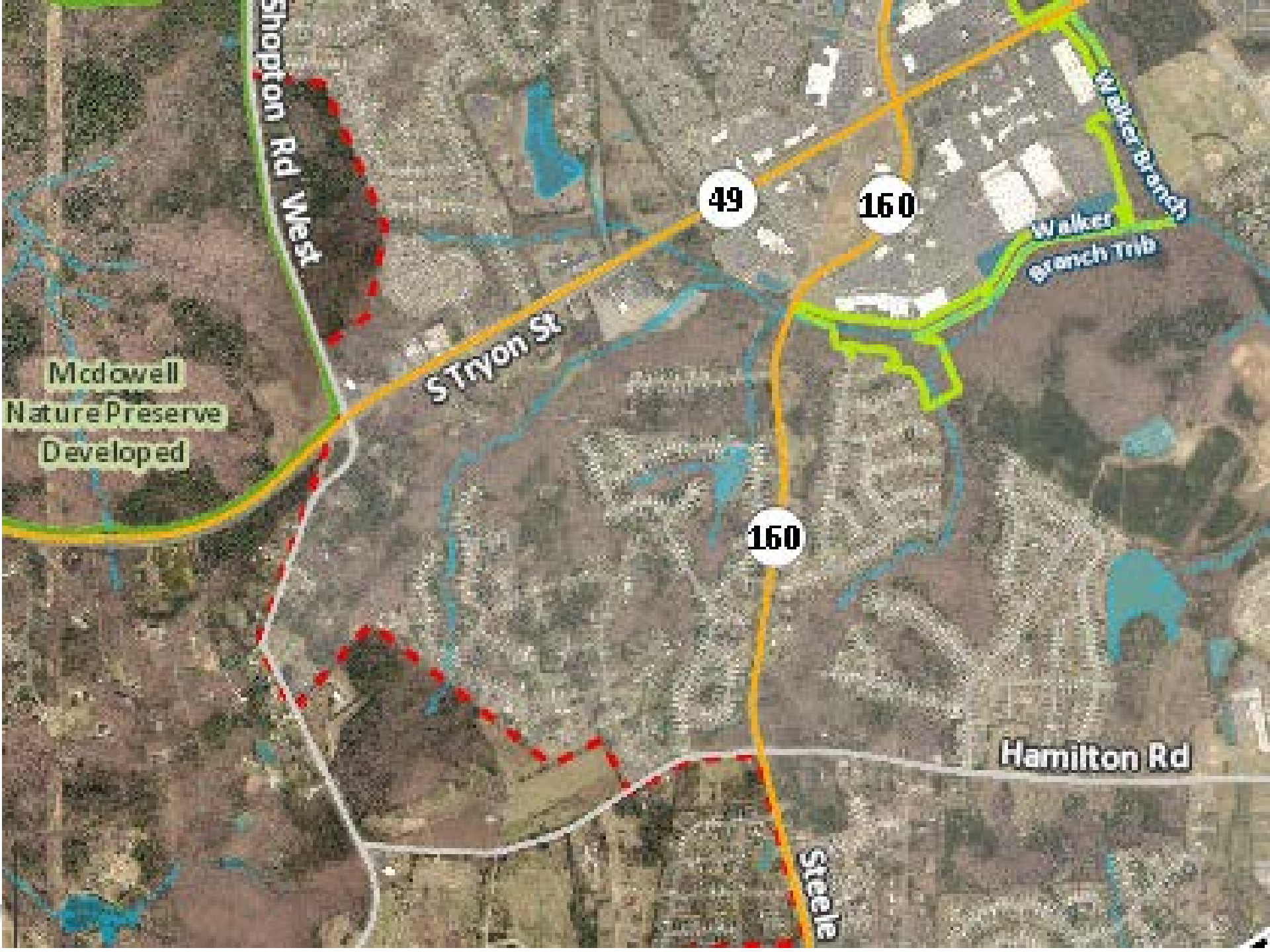


Collin Brown & Brittany Lins

The image features a blue bokeh background with a central orange band. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering effect. The orange band is a solid, horizontal strip that spans the width of the image, providing a contrasting background for the text.

Property Location





Shopton Rd West

49

160

Walker Branch

Walker Branch Trlb

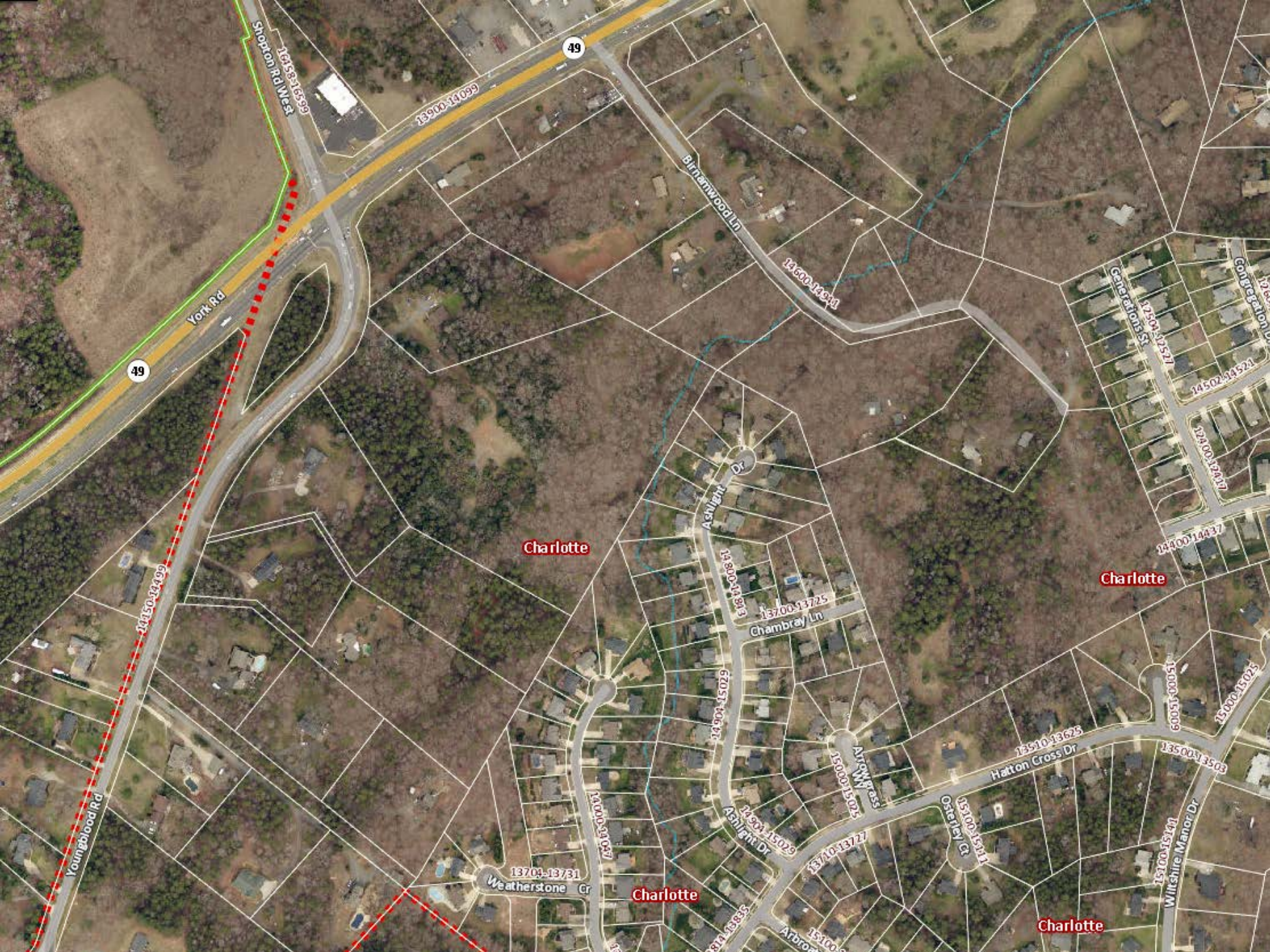
S Tryon St

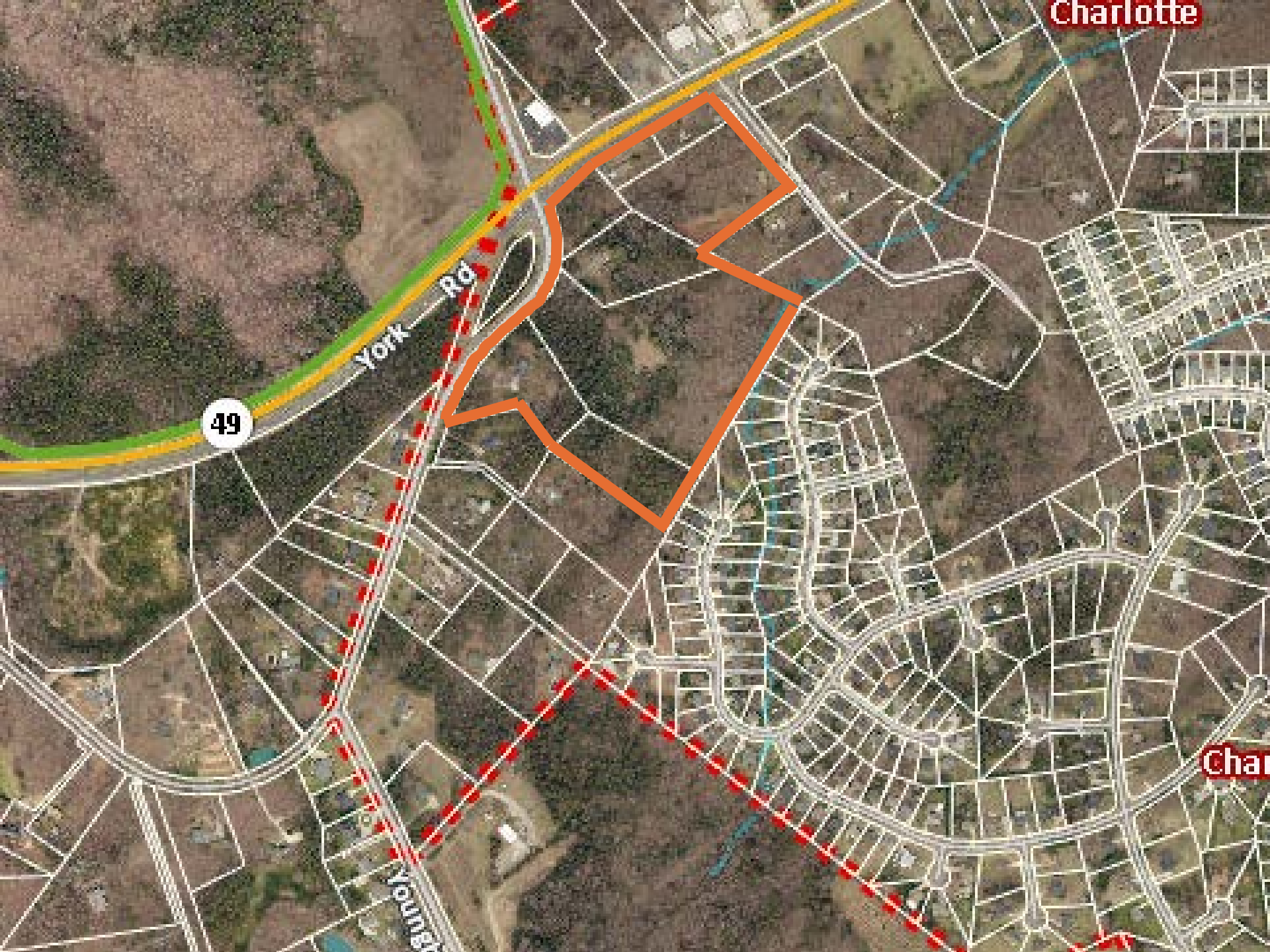
160

Hamilton Rd

Steele

Mcdowell
Nature Preserve
Developed





Charlotte

York Rd

49

Youngh

Char

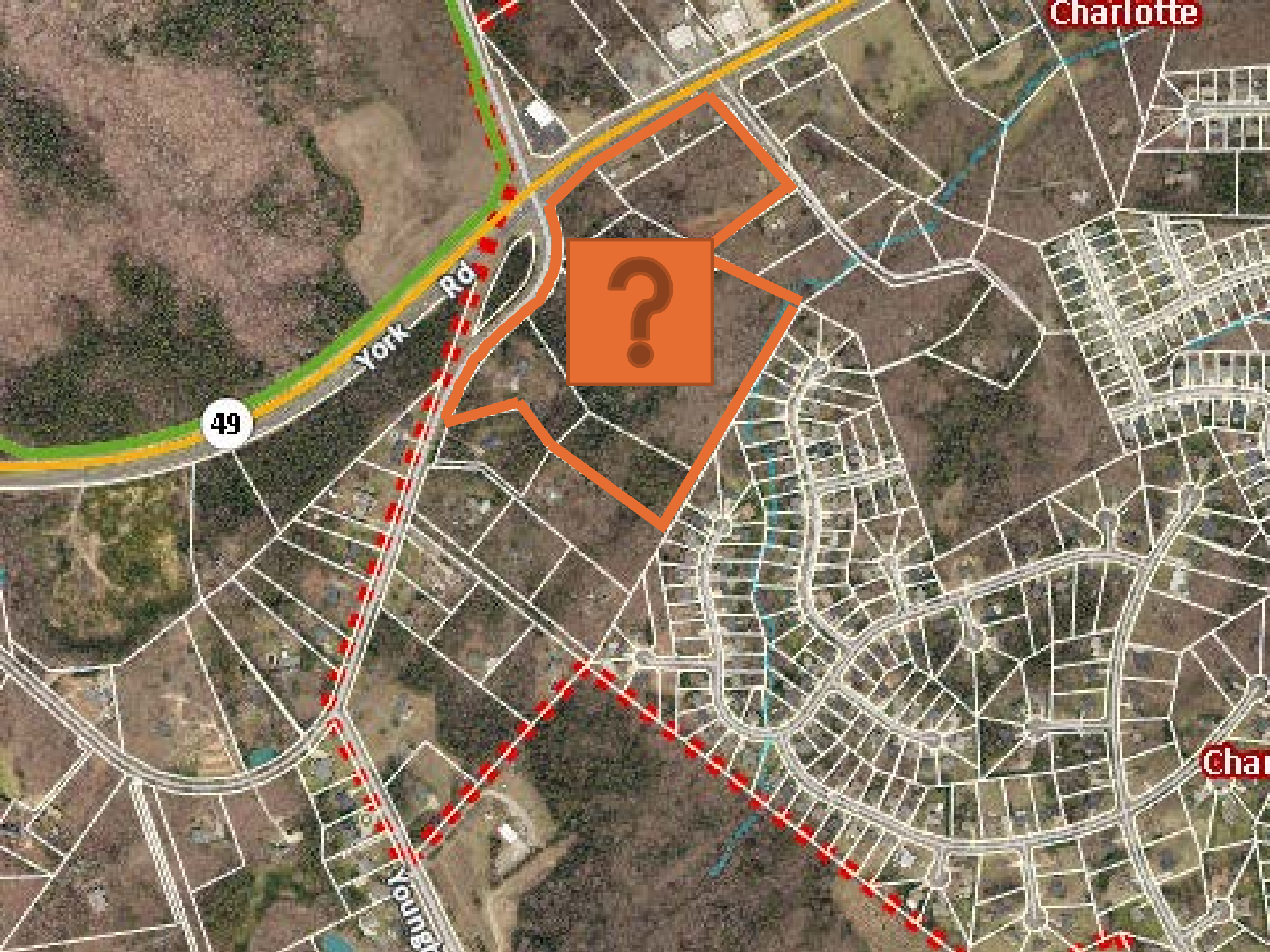






The background of the slide is a deep blue with numerous out-of-focus light spots, creating a bokeh effect. These spots vary in size and brightness, with some appearing as sharp, bright white or yellowish points and others as softer, larger blue or white circles. The overall texture is grainy and ethereal, resembling a night sky or underwater light reflections.

The Owners are Ready to Sell Their Land



Charlotte

49

York Rd

Young Rd

Char

The background of the slide is a deep blue color with a bokeh effect, featuring numerous out-of-focus light spots in various shades of blue and white, creating a textured, sparkling appearance.

Considerations

DEVELOPMENT CONSIDERATIONS

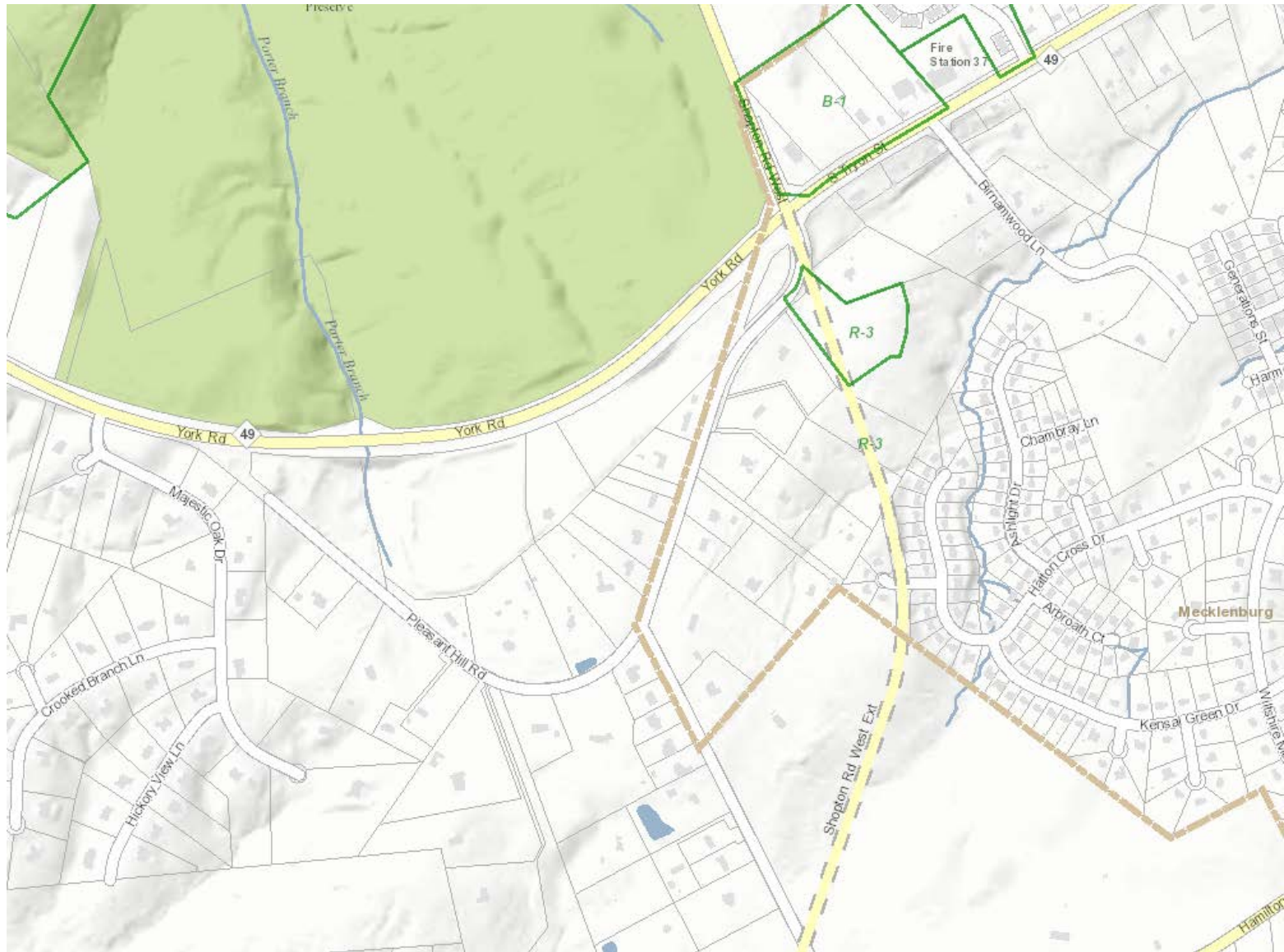
- Property Owner Requirements
- Existing Zoning
- Natural/Environmental Constraints
- Access/Transportation Requirements
- Adjacent Owner Concerns
- Ordinance/Policy Requirement (non-zoning)
- Adopted Area Plans
- City Priorities
- Community Concerns
- Market Realities



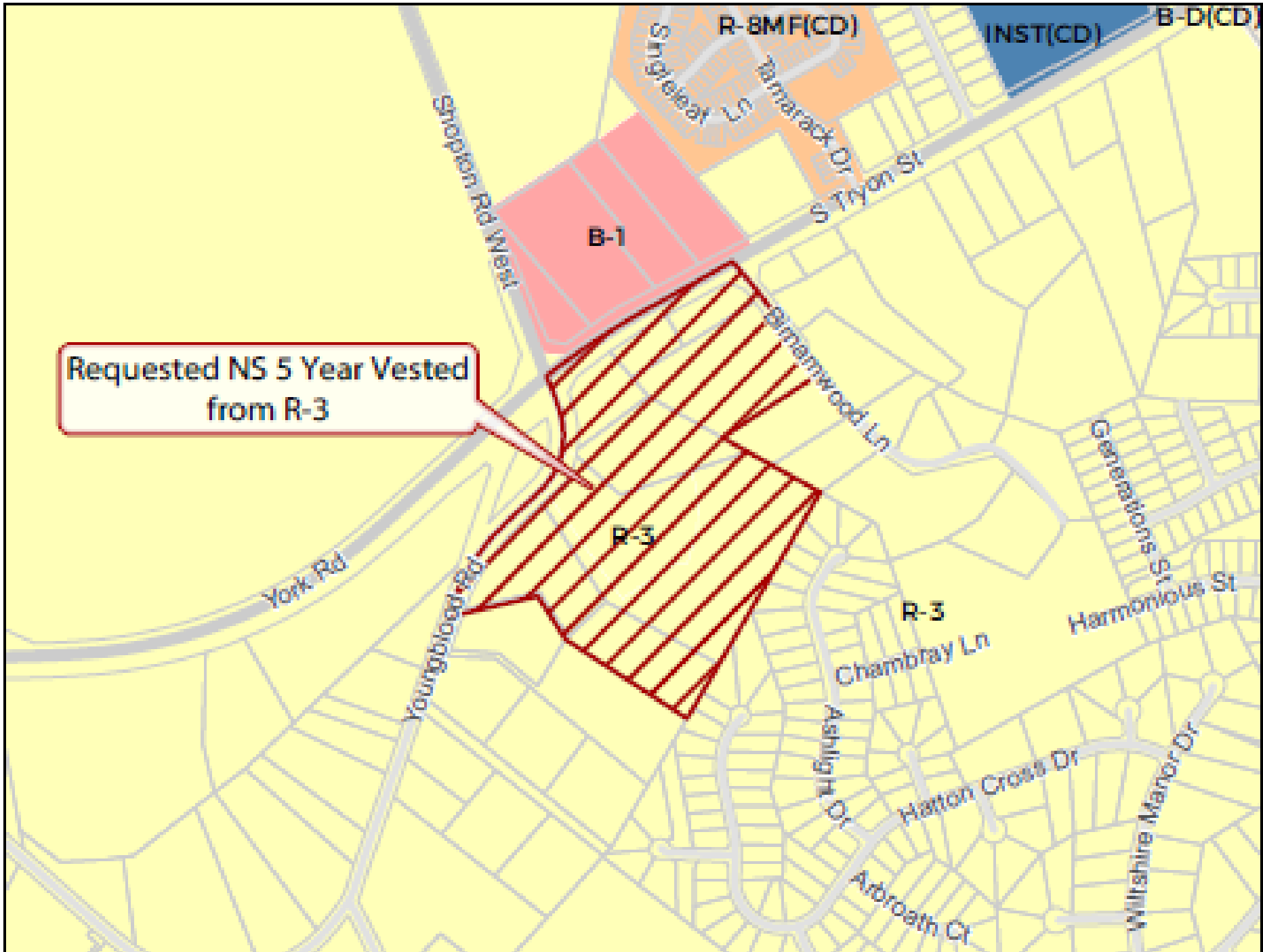
The background of the slide is a deep blue color with a bokeh effect, featuring numerous out-of-focus light spots in shades of white and light blue. A solid orange horizontal band is positioned in the center of the slide, containing the text.

Existing Zoning

Existing Zoning = R-3



Existing Zoning & Rezoning Request



The background of the slide is a deep blue with a bokeh effect, featuring numerous out-of-focus light spots in shades of white and light blue. A solid orange horizontal band is positioned in the center of the slide, serving as a background for the title text.

Adopted Land Use Plans

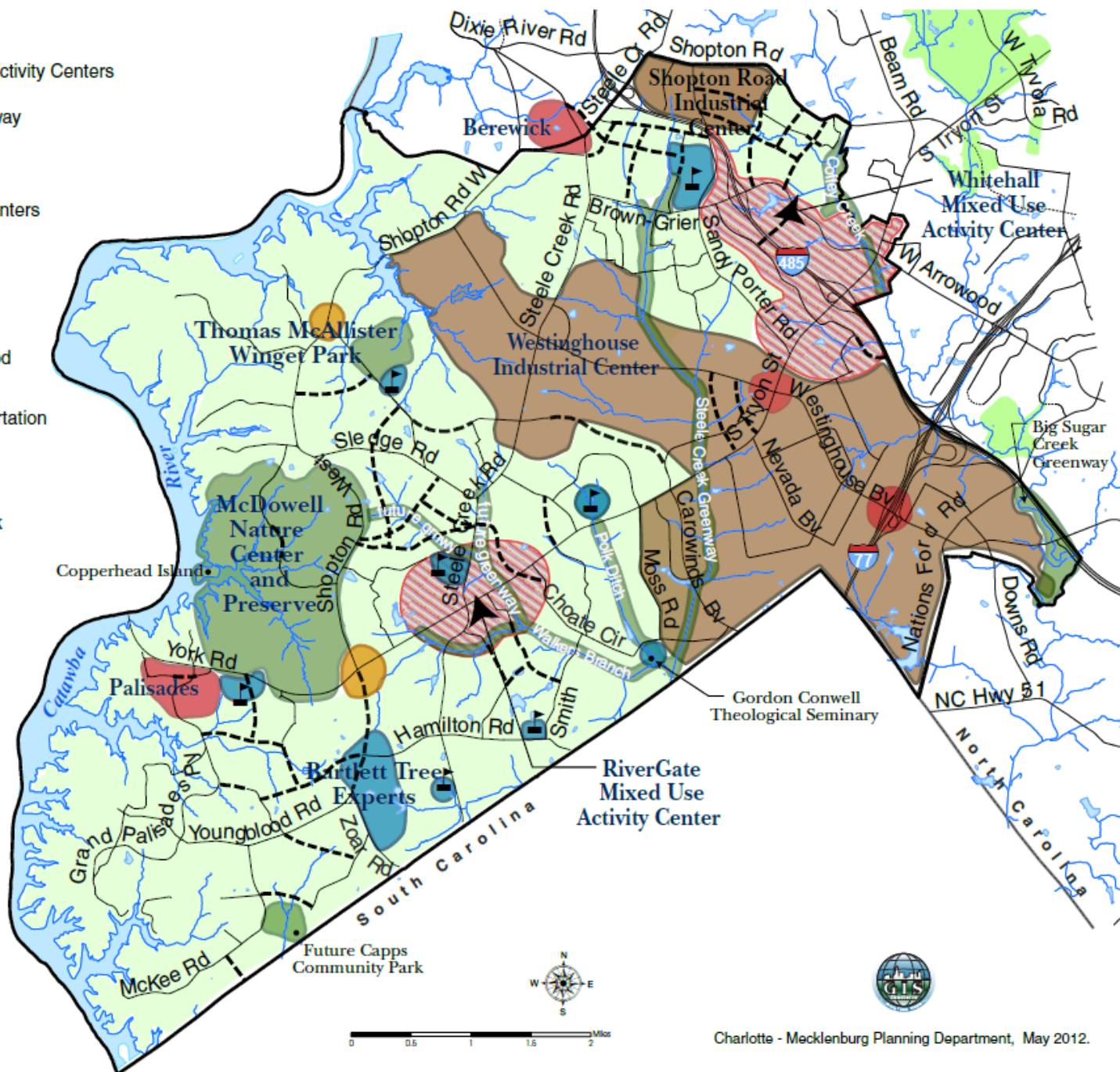


Steele Creek Area Plan

Charlotte-Mecklenburg Planning Department



Adopted by Charlotte City Council February 27, 2012



Charlotte - Mecklenburg Planning Department, May 2012.

Mixed Use Activity Centers

Park/Greenway

Institutional

Industrial Centers

Wedge Residential

Community Centers

Neighborhood Centers

Key Transportation Connections

School

Steele Creek Area Plan Boundary

Thomas McAllister Winger Park

Westinghouse Industrial Center

Whitehall Mixed Use Activity Center

McDowell Nature Center and Preserve

Palisades

Bartlett Tree Experts

RiverGate Mixed Use Activity Center

Gordon Conwell Theological Seminary

Future Capps Community Park

Big Sugar Creek Greenway



Existing Land Use

The Steele Creek plan area is comprised of approximately 26,767 acres. As shown in the table below and illustrated on **Map 8, Existing Land Use**, the largest categories of existing land uses are vacant (27 percent), and single family detached (20 percent). Based upon approved rezonings, there are approved plans for 29 percent of the now vacant land (approximately 2096 acres) .

Industrial and warehouse/distribution accounts for 6 percent of development. The Westinghouse Industrial Center is located along both sides of Westinghouse Boulevard generally between I-77 and Shopton Road West. This is the largest industrial core in the Carolinas with over 20 million square feet of industrial development. A small portion of the Shopton Road Industrial Center is located on the western boundary of the plan area.

Major industrial businesses in the area include Siemens; this company recently announced plans to add 600 jobs. Others are International Paper Company, Arrowood Capital Corporation, TJ Maxx Distribution Center, Sprint, Time Warner Cable and Frito-Lay. Major industrial parks include Arrowood Southern Industrial Park, Moody Lakes and Whitehall.

Existing Land Use	Acreage	% of Total
Agriculture	1,582.32	6%
Industrial	1,500.64	6%
Institutional	501.46	2%
Mixed	11.60	0.04%
Multi-Family	550.98	2%
Office	450.26	2%
Open Space	2,230.22	8%
Retail	548.47	2%
Single Family - Attached	6.56	0.02%
Single Family - Detached	5,426.43	20%
Transportation	83.56	0.31%
Utility	47.37	0.18%
Vacant	7,258.22	27%*
Warehouse/Distribution	2,278.43	9%
Water	1,987.21	7%
Right of Way	2,303.41	9%
Total	26,767.13	100%

Source: Charlotte Mecklenburg Planning, September 22, 2010

Note: The land use acreage figures are calculated by parcel and do not include rights-of-way. As a result, the total acreage figures will not always match the total acreage figure for the plan area which does include rights-of-way as part of that calculation.

* Approximately 29% of the vacant land, or 2096 acres, has an approved development plan.

Existing Land Use Categories

Major land use categories are Vacant (27 percent), Single family residential (20 percent), Industrial and Warehouse/Distribution (17 percent), and Open Space (8 percent).



Agriculture

1,582.32 acres
6% of total acres



Industrial

1,500.64 acres
6% of total acres



Institutional

501.46 acres
2% of total acres



Mixed

11.60 acres
0.04% of total acres



Multi-Family

550.98 acres
2% of total acres



Office

450.26 acres
2% of total acres



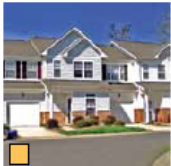
Open Space

2,230.22 acres
8% of total acres



Retail

548.47 acres
2% of total acres



Single Family - Attached

6.56 acres
0.02% of total acres



Single Family - Detached

5,426.43 acres
20% of total acres



Transportation

83.56 acres
0.31% of total acres



Utility

47.37 acres
0.18% of total acres



Vacant

7,258.22 acres
27% of total acres



Warehouse/Distribution

2,278.43 acres
9% of total acres



Water

1,987.21 acres
7% of total acres



Right-of-Way

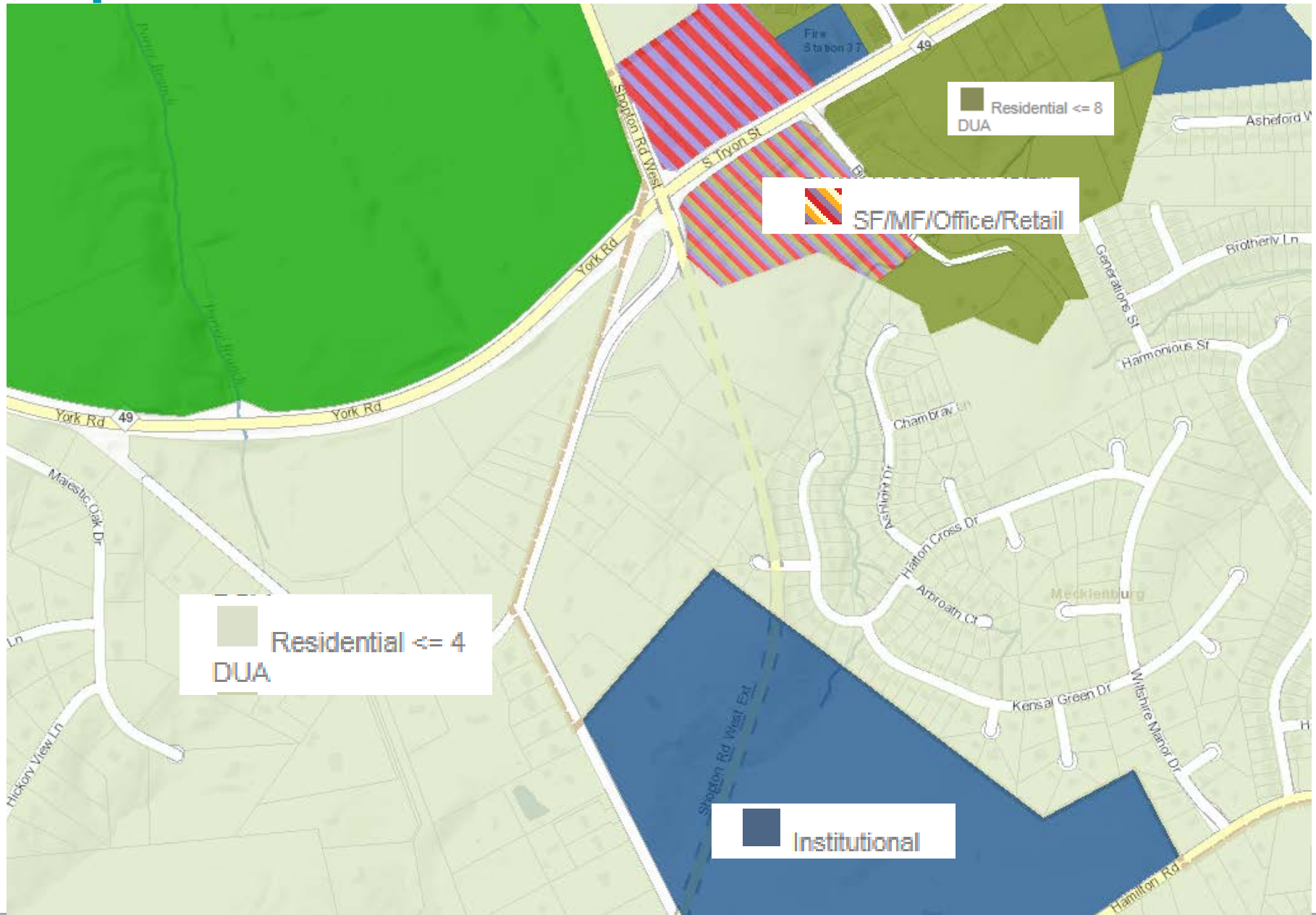
2,303.41 acres
9% of total acres

TOTAL ACRES 26,767.13

Source: Charlotte-Mecklenburg Planning Department, 09/21/2010

Note: The land use acreage figures are calculated by parcel and do not include rights-of-way. As a result, the total acreage figures will not always match the total acreage figure for the plan area which does include rights-of-way as part of that calculation.

Proposed Uses in Steele Creek Area Plan





Sledge Rd

Rivergate

1 Mixed Use Activity Center

4a

McDowell Nature Center and Preserve

Shopron Rd West

1

7

9

Choate Cr

4b

York Rd

3

10

9

Smith Rd

6a

6b

Creek Rd

Hamilton Rd

8

- 6b. Allow a mixture of residential, office and retail land uses on the southeast corner of York Road (NC 49) and Youngblood Road to serve the immediate area. One or any combination of these uses is appropriate. Development should be limited to a convenience size center (70,000 square feet maximum). Residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent residential development.



The image features a blue bokeh background with a central orange band. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a textured, sparkling effect. A solid orange horizontal band runs across the middle of the image, serving as a background for the text.

Ordinance/Policy Requirements

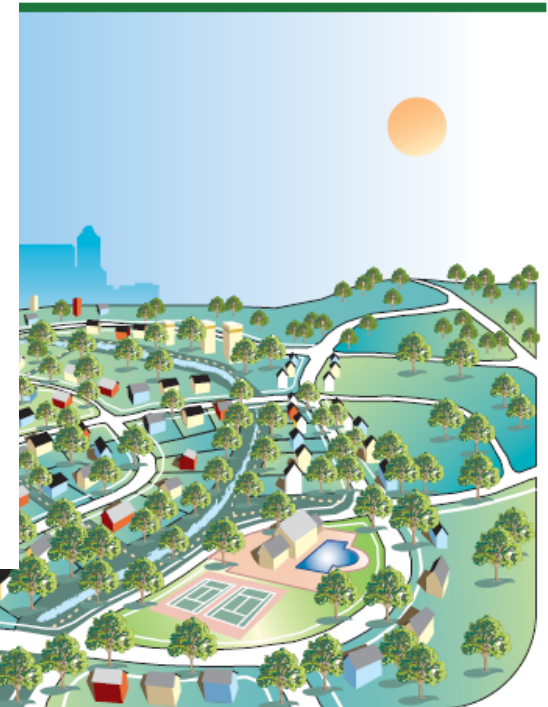
The background of the slide is a deep blue with a bokeh effect, featuring numerous out-of-focus light spots in shades of white and light blue. A solid orange horizontal band runs across the middle of the image, serving as a backdrop for the title text.

City Connectivity Policies

Sec. 20-23. – Design Standards for Street Network and Blocks

- (a) **Street Network.** A network of interconnected streets providing both external and internal connectivity is required for all types of new development. This network can be constructed with either public streets or private streets as allowed under 20-25. The following uses are exempt from the street network requirements:
- (1) Schools
 - (2) Parks
 - (3) Places of Worship
 - (4) Cemeteries
- (b) **External Connectivity**
- (1) **Existing Street Stubs**
 - a. Extend any existing adjacent street stubs into the development on its proper projection
 - b. Extend any existing adjacent paper street stub into the development where the city commits to construct the paper portion of the street no later than the time of permit approval.
 - c. Complete any existing adjacent half street located along any property line.

Subdivision Ordinance



Sec. 20-23. – Design Standards for Street Network and Blocks

- (a) **Street Network.** A network of interconnected streets providing both external and internal connectivity is required for all types of new development. This network can be constructed with either public streets or private streets as allowed under 20-25. The following uses are exempt from the street network requirements:

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- (b) **External Connectivity**

- (1) **Existing Street Stubs**

- a. Extend any existing adjacent street stubs into the development on its proper projection
- b. Extend any existing adjacent paper street stub into the development where the city commits to construct the paper portion of the street no later than the time of permit approval.
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Traffic Impact Studies (TIS)

The fear of negative traffic impacts is one of the most frequent reasons Charlotte residents give for opposing rezoning petitions. CMPC and the City Council want to know about traffic issues as well. That is why CDOT works with developers to prepare traffic impact studies as part of the rezoning petition process. Traffic studies are used to:

- Identify the development's transportation impacts
- Determine off-site mitigation needed to overcome the transportation impacts
- Identify whether phasing the development would be appropriate
- Determine access design that should be incorporated into the site plan

When is a TIS Required?

The City requires any site development that generates 2,500 or more vehicular trips per weekday to prepare a TIS. A study also will be required when a development:

- Affects a location with a high vehicle crash history
- Takes place at a high congestion location ($v/c > 1$)
- Creates the fourth leg of an existing signalized intersection
- Exacerbates an already difficult situation such as at a railroad crossing, fire station access, school access, etc.

Developments that would generate 2,500 daily trips:

- 260 houses
- 370 apartments
- 225,000 sq ft offices
- 21,500 sq ft retail

We ask developers to update their TIS when:

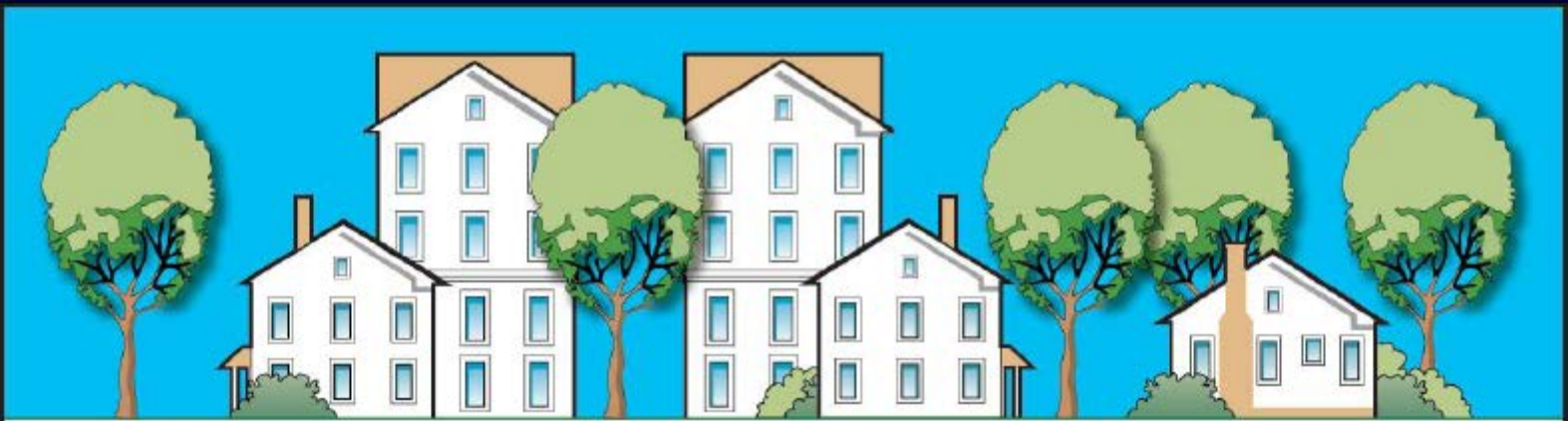
- The proposed development's land use mix changes
- Access to the site changes
- Other significant changes have occurred in the surrounding area
- A previous study is more than two years old

Notification of Need for TIS

CDOT will notify petitioners of the need for a TIS within three days of submitting a Rezoning Application.

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City Priorities



Incentive Based INCLUSIONARY HOUSING



Incentive-Based Inclusionary Housing

1. Creates new tools to incentivize private sector development of affordable housing
2. Disperses affordable housing within the community
3. Encourages a range of housing types and income levels
4. Increases opportunities for people to age in place



Single Family - Program Criteria

Participation – Voluntary, not required

Applicability – Census block groups that are at or above the median home value according to 5 year estimates from the American Community Survey (currently \$153,000)

Density Bonus – up to 3 DUA above base density in R-3, R-4, R-5 & R-6 zoning districts

Set-Aside – 50% of additional units affordable, not to exceed 25% of development

Income Target – at or below 80% AMI, currently \$54,800

Other Incentives – reduced lot sizes and mix of housing types up to a quadraplex

Period of Affordability – “Right of First Refusal” on resale for 15 years or defer to the respective program guidelines if public financing involved

The background of the slide is a deep blue with numerous out-of-focus light spots, creating a bokeh effect. These spots vary in size and brightness, with some appearing as sharp, bright white or yellowish points and others as larger, softer, light blue or white circles. The overall texture is grainy and organic, resembling light reflecting off water or particles in a dark space.

Adjacent Owner/Community Concerns

The image features a background of blue bokeh light effects, with a solid orange horizontal band across the middle. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering, textured effect.

Proposed Conditional Rezoning

How to identify Conditional Rezoning:

Conventional	Conditional
O-1	O-1(CD)*
TOD-M	TOD-MO**
	B-2(CD) SPA*
	NS, CC, RE-3, MX*

* Commits to standards that go beyond the base zoning ordinance requirements and are specific for each petition.

** Reduces or eliminates the base zoning ordinance standards, AND typically commits to other standards that go beyond the base zoning ordinance requirements. Also specific for each petition.



**30,000 s.f. of
commercial**

**280 Residential
units**

10 Per acre

The background of the slide is a deep blue color with a bokeh effect, featuring numerous out-of-focus light spots in shades of white and light blue. A solid orange horizontal band is positioned in the center of the slide, serving as a background for the title text.

Community Feedback

COMMUNITY'S CONCERNS?

- Commercial/Residential Mix
- Rental Product
- Density
- Traffic
- Connectivity Concerns
- Bike/Pedestrian Improvements
- Buffering
- Natural Open Space
- Community Open Space
- Aesthetics
- Affordability



The image features a bokeh background with out-of-focus light spots in shades of blue and white. A solid orange horizontal band runs across the middle of the image, serving as a background for the text.

Traffic

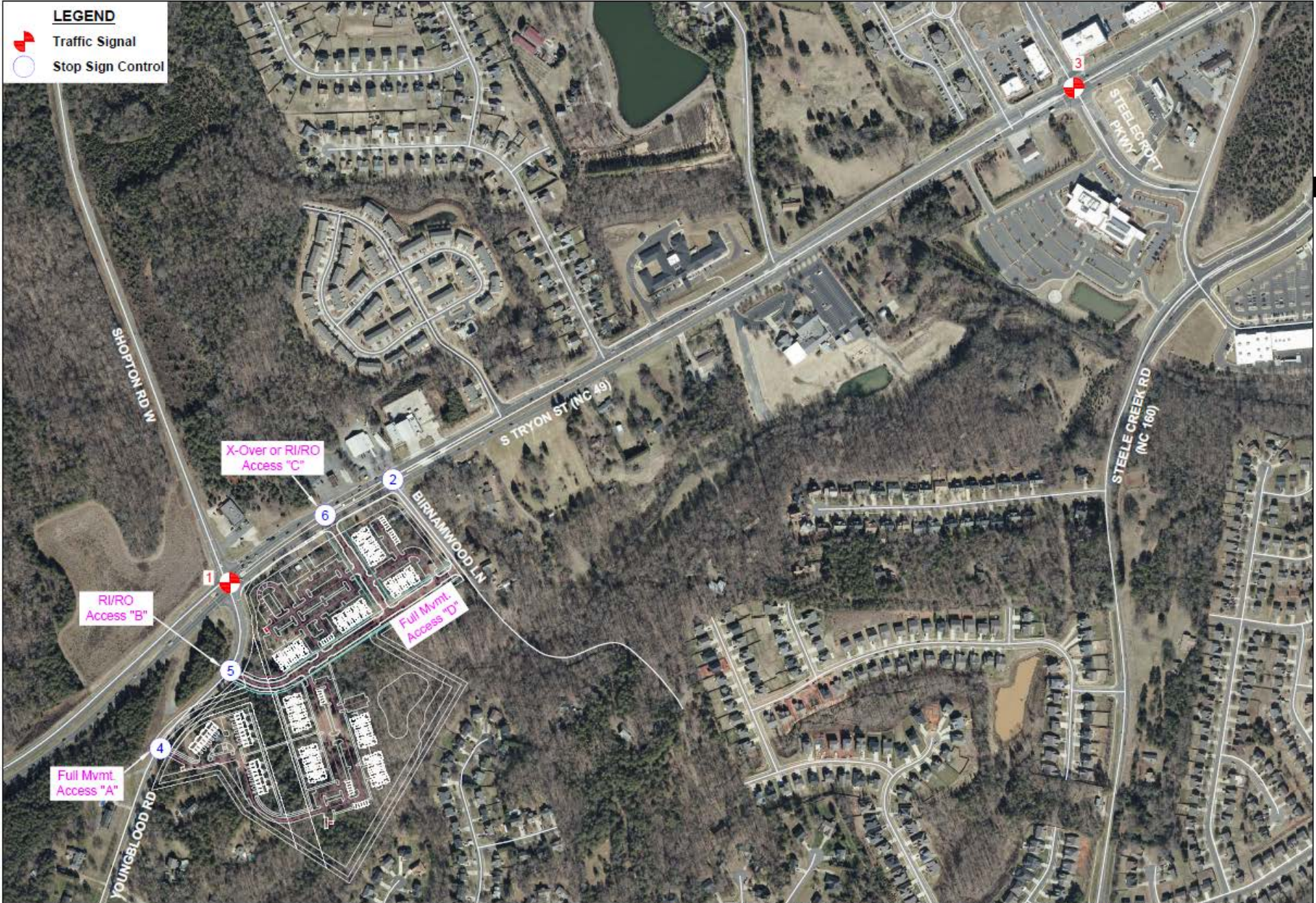
LEGEND



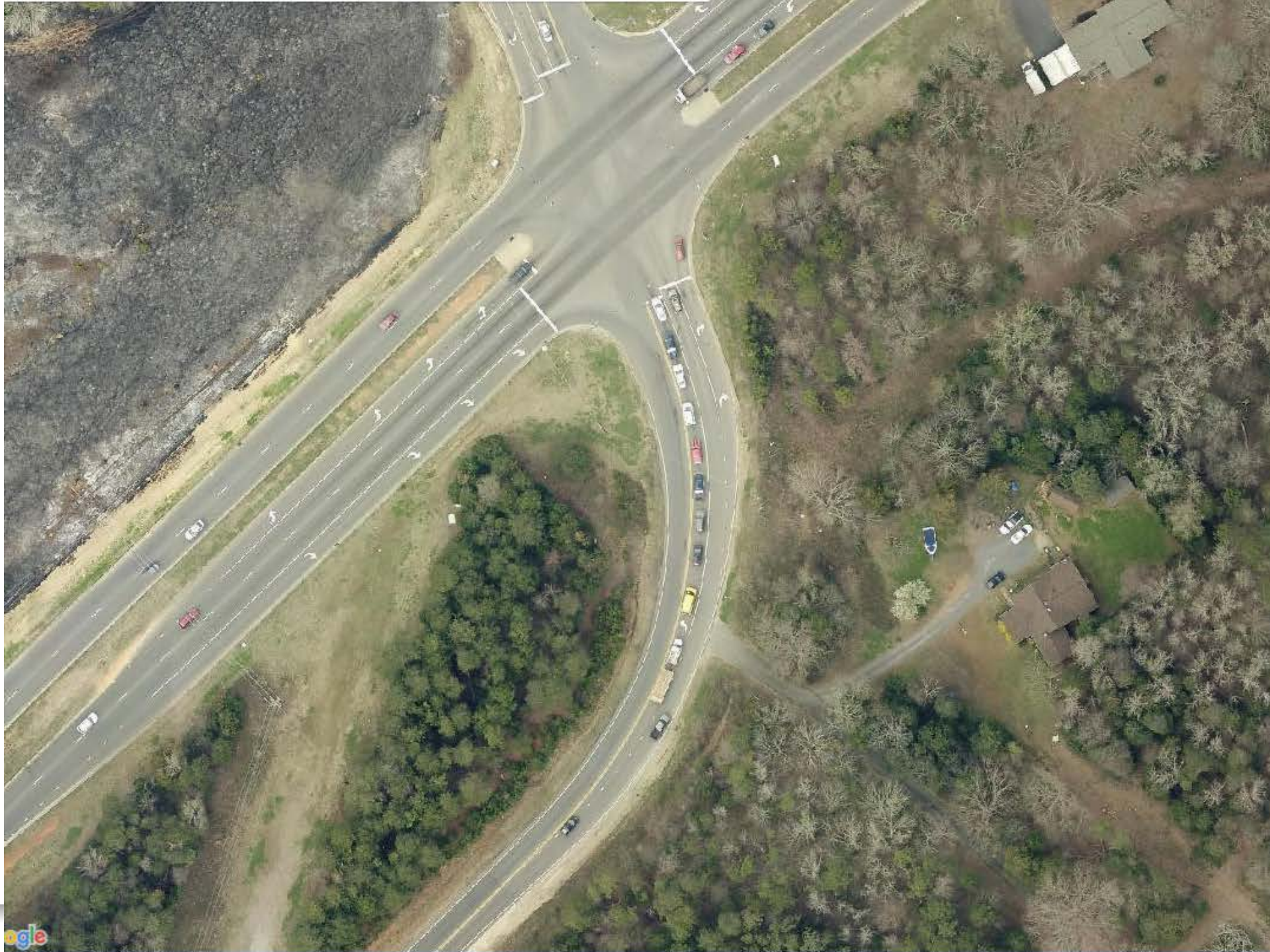
Traffic Signal



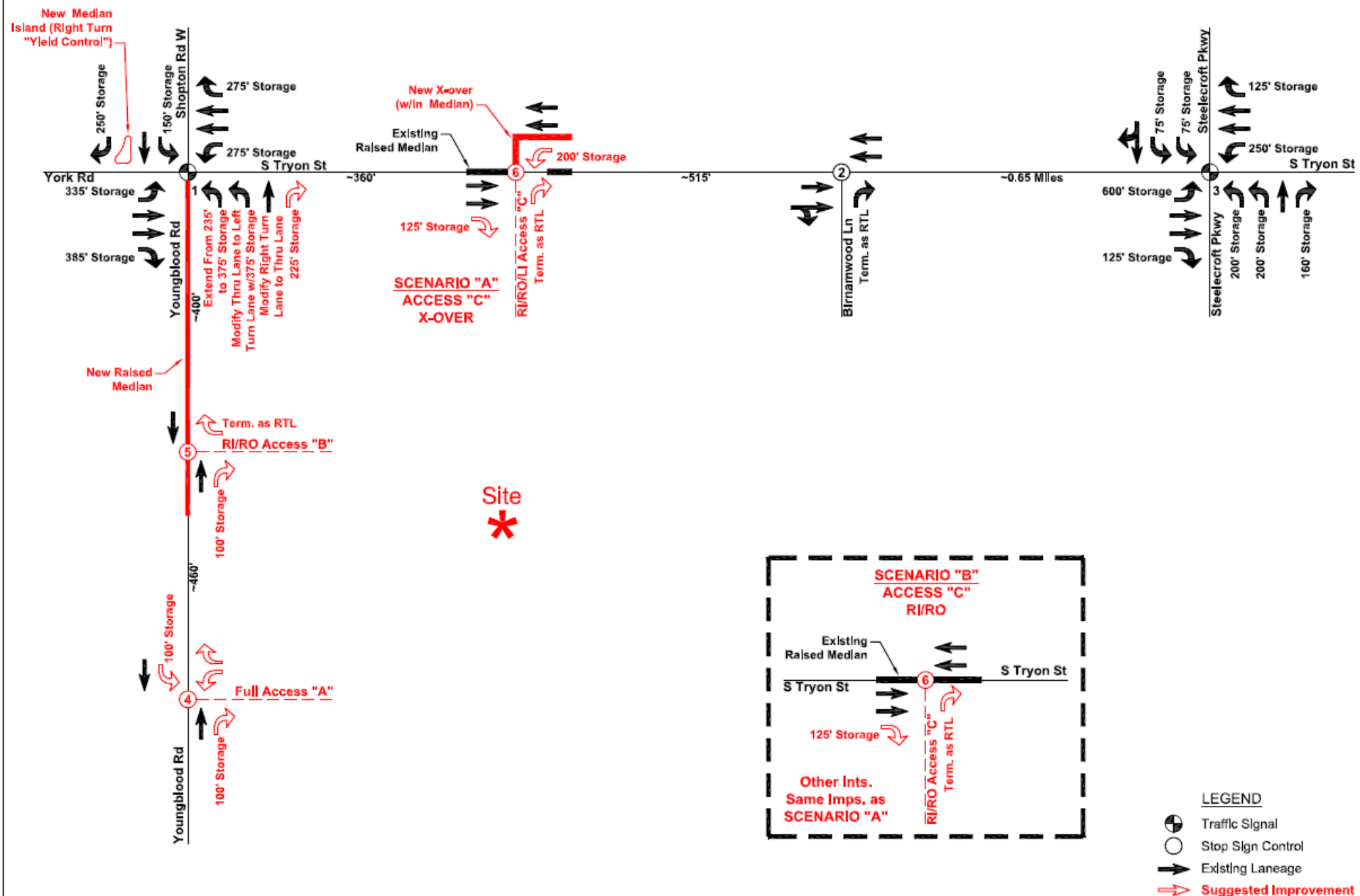
Stop Sign Control

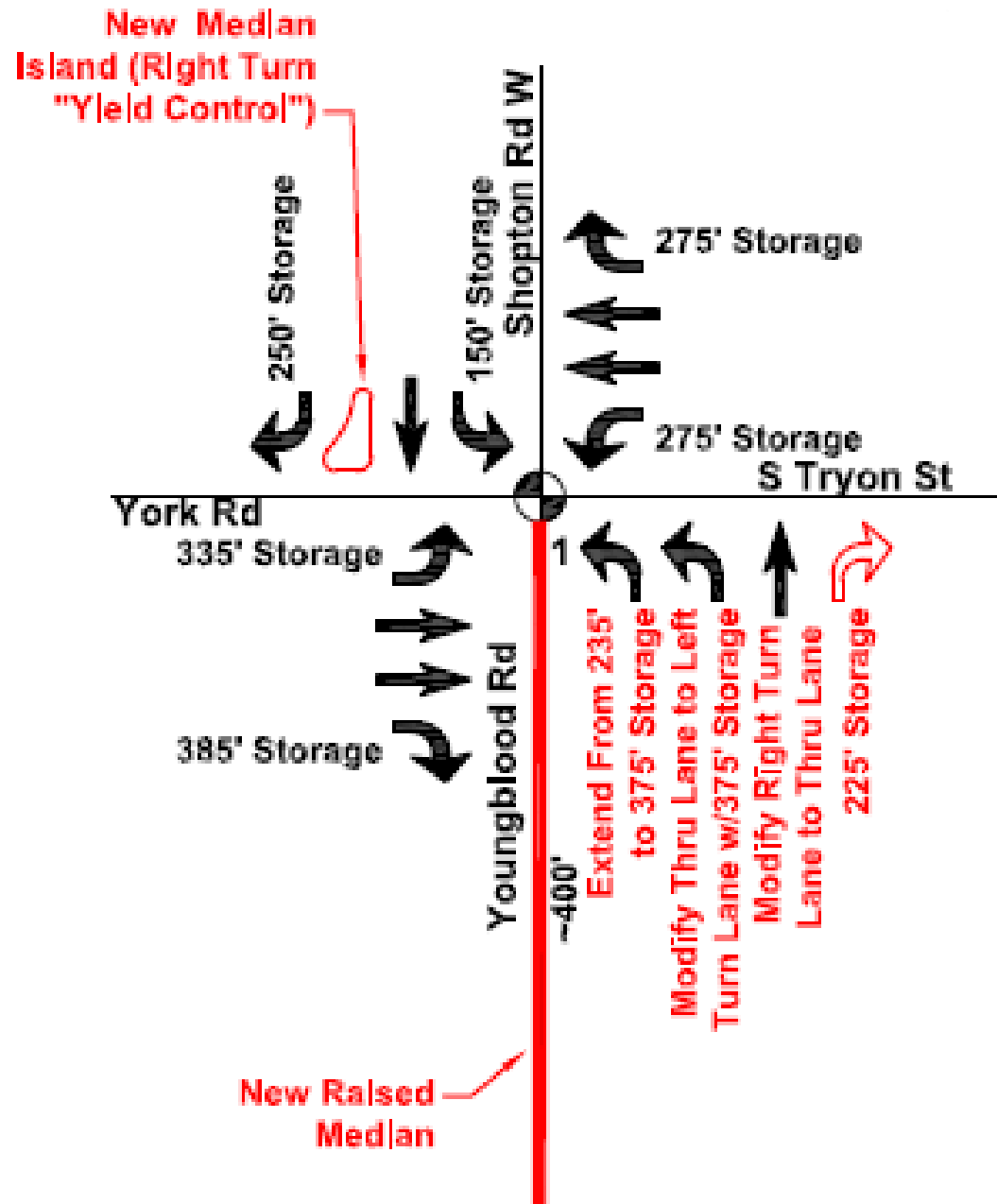


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Revised Plan





-ELEVATION-

SCALE: NT



Youngblood Mixed Use
 Steele Creek Community
 Charlotte, NC
 3/1/2018



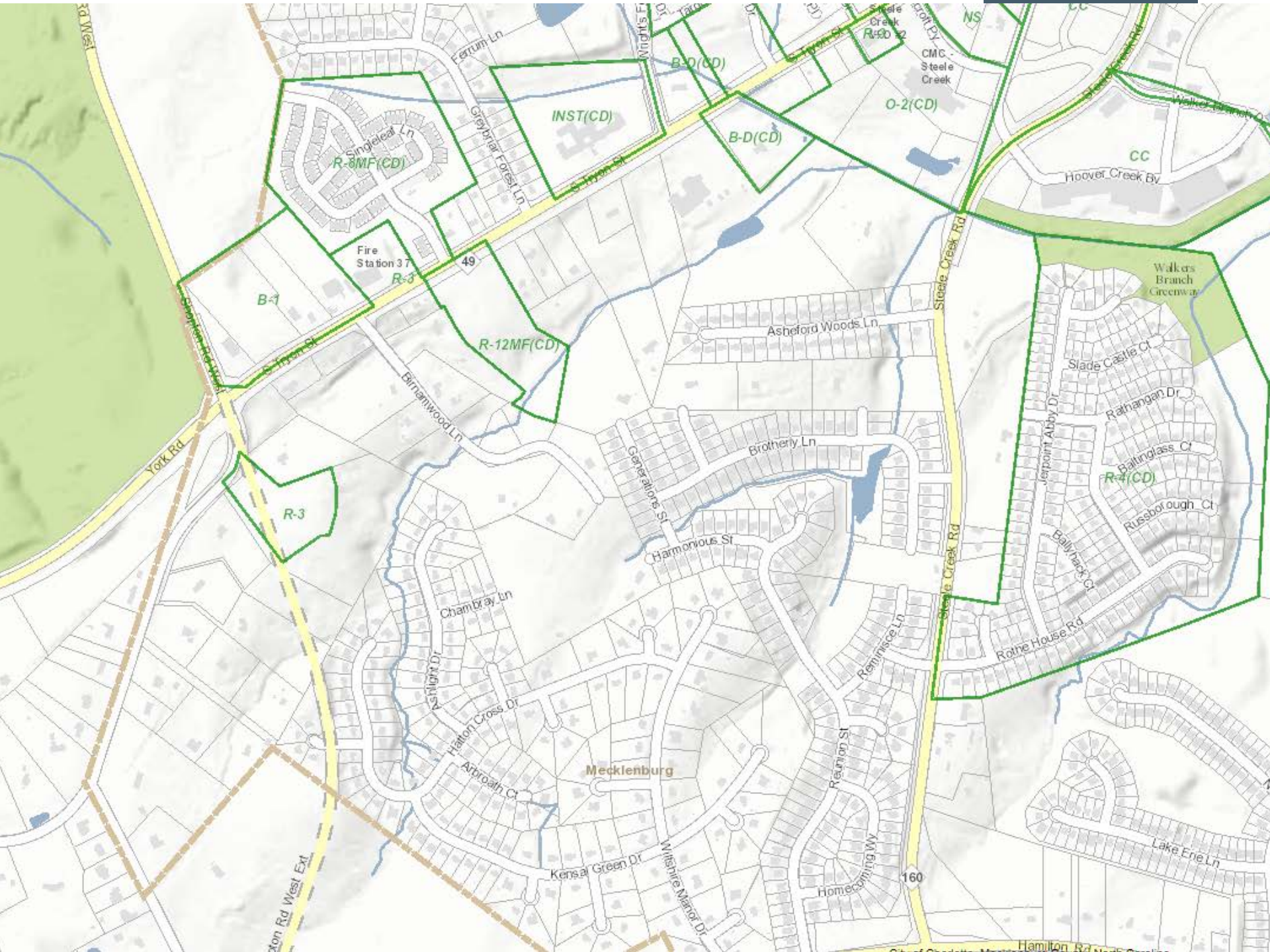


GENERAL NOTE:

This image is illustrative of the proposed development and is intended to reflect the architectural style and quality of the buildings that will be constructed on site. This image is illustrating the intended use of materials, rooflines and wall planes. The actual buildings on the site may vary from this illustration provided that the design intent is preserved.

The image features a background of blue bokeh light effects, with a solid orange horizontal band across the middle. The text is centered within this band.

Rezoning Petition 2017-197



LAND OWNER:	CHAMPION CHRISTIAN CENTER INC. P.O. BOX 691533 CHARLOTTE, NC 28227
PID#:	219-124-03
JURISDICTION:	CITY OF CHARLOTTE
DEED BOOK & PAGE:	23048 / 857
TOTAL SITE ACREAGE:	±7.05 AC
DENSITY:	±10.21 DU/AC
CURRENT ZONING:	R-3
PROPOSED ZONING:	R-12MF(CD)
EXISTING USE:	VACANT
PROPOSED USE:	UP TO 72 MULTI-FAMILY RESIDENTIAL DWELLING UNITS TOGETHER WITH ACCESSORY USES, AS ALLOWED IN THE R-12MF ZONING DISTRICT.

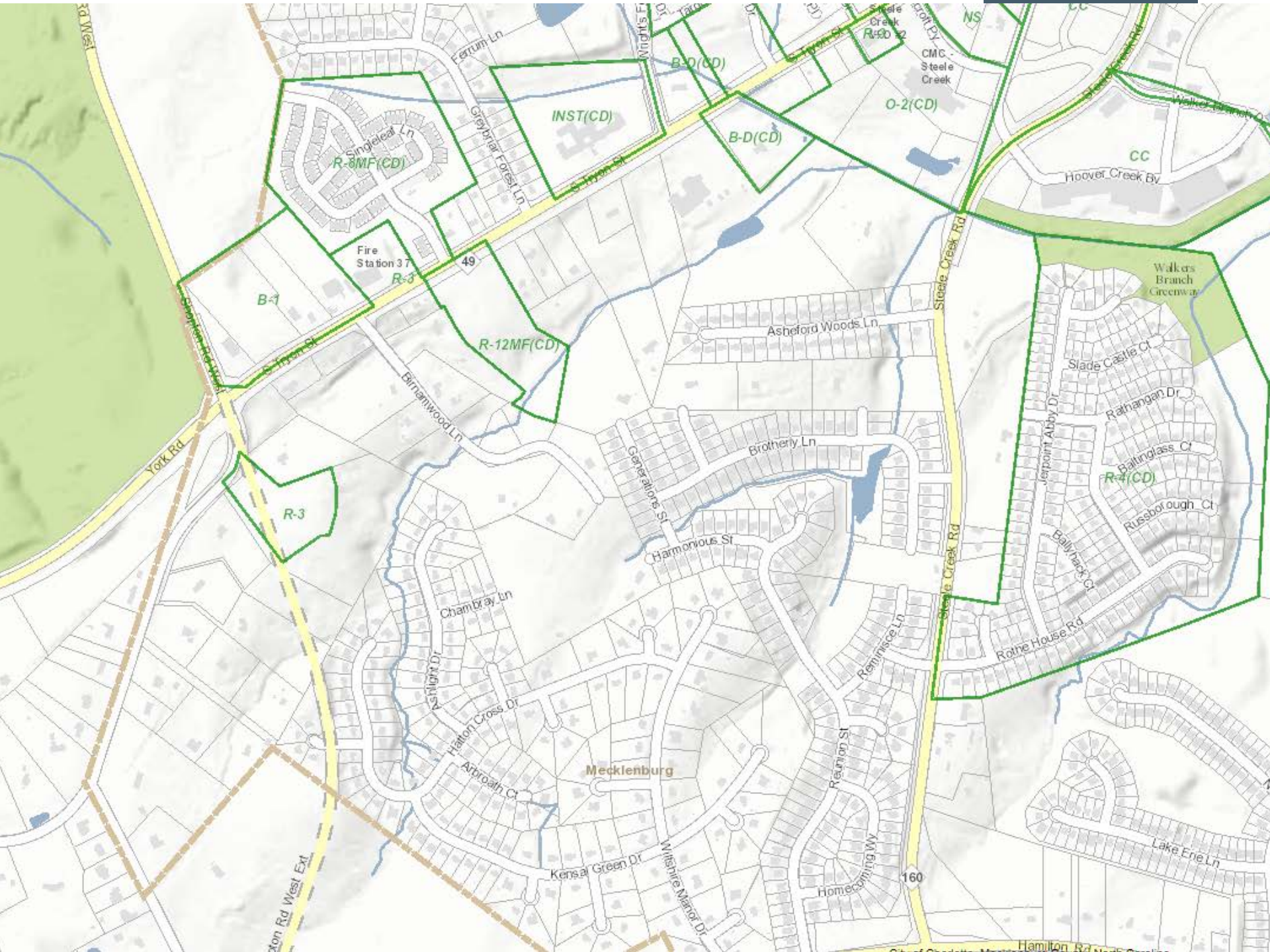
MAXIMUM BUILDING HEIGHT NOT TO EXCEED THREE (3) STORIES OR 48 FEET
BUILDING HEIGHT WILL BE MEASURED AS DEFINED BY THE ORDINANCE.

OPEN SPACE REQUIRED:	20.0%
PROPOSED SPACE REQUIRED:	20.0%
TREE SAVE REQUIRED:	15.0% (1.06 AC)

2. Permitted Uses & Development Area Limitation:

a. The Site may be developed with up to 72 multi-family residential dwellings units together with accessory uses allowed in the R-12MF zoning district as generally depicted on the Rezoning Plan.

b. **Workforce Housing:** The Petitioner shall provide a workforce housing program to ensure that the residential units are reasonably priced for persons earning less than the median income for the area. The Petitioner shall ensure that all the proposed residential units constructed on the Site, for a period of not less than 30 years, maintain monthly rents that are income restricted for households earning 60% or less of the area median income.





Back to the Drawing Board



SOUTH TRYON STREET
N.C. HIGHWAY 49
WILTSIRE MANOR MAP 2 PHASE 2
MB 27 PG 55

NEW NEIGHBORHOOD
SERVICE / COMMERCIAL

NEW STREET NETWORK

BIRNAMWOOD LANE
WILTSIRE MANOR MAP 2 PHASE 2
MB 27 PG 55

CLUBHOUSE

BMP

YOUNGBLOOD ROAD
WILTSIRE MANOR MAP 2 PHASE 2
MB 27 PG 55

NEW TOWNHOMES
FUTURE SHOPTON ROAD

NEW MULTI-FAMILY

BUFFER / TREE SAVE

WILTSIRE MANOR
MAP 2 PHASE 3
MB 28 PG 491

LOT 22
LOT 23
LOT 24
LOT 25
LOT 26
LOT 27
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LOT 100

REQUESTS

- Buffer Birnamham Wood
- Avoid Street Connection to Birnamham
- Reduce Rental Units on Youngblood
- Preserve Trees wherever possible
- Reduce Traffic Impact
- Limit Grading along Rear Property Line





ALT. SCHEME (D)
237 UNITS
403 SPACES (1.70)

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Birnamwood Buffer



FUT ROW 75' FROM C/L
EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM
EXTG TRAVEL LANE
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

EXISTING ALIGNMENT OF
YOUNGBLOOD RD AT SHOPTON
ROAD WEST
30' SETBACK FROM FUT
SHOPTON ROAD WEST ROW
27' SETBACK ON NEW
INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT
FOR YOUNGBLOOD ROAD

COMMERCIAL
BUILDING

20' SETBACK FROM FUT AND
EXTG YOUNGBLOOD ROW

COMMERCIAL
BUILDING

20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE
FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED
BY DOT, TYP. AT D/W INTERSECTIONS

30' SETBACK FROM
FUTURE MAIN ROAD RIGHT
OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49
N.C. HIGHWAY 49
N.C. HIGHWAY 49
N.C. HIGHWAY 49

DIAMOND LANE
N.C. HIGHWAY 49
N.C. HIGHWAY 49
N.C. HIGHWAY 49

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWM BUFFER AND TREE
SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.

FROM C/L
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16-057)

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BUILDING

GBLOOD ROAD

SOUTH TRYON STREET
N.C. HIGHWAY 49
REPAVING PROJECT WEST SIDE OF WAY
SHEET 23.00, 23.01, 23.02, 23.03, 23.04, & 25

BIRNAMWOOD LANE

2.06 acres

300+ Feet

MULTI-FAMILY

CLUB

POOL

BMP

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWIM BUFFER AND TREE
SAVE



The image features a background of out-of-focus light spots (bokeh) in various shades of blue and teal. A solid orange horizontal band runs across the middle of the image, serving as a backdrop for the title text.

Youngblood Transition





FUT ROW 75' FROM C/L
EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM
EXTG TRAVEL LANE
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
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512-16-057)

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ROAD WEST
30' SETBACK FROM FUT
SHORTON ROAD WEST ROW
27' SETBACK ON NEW
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POSS FUTURE ALIGNMENT
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BUILDING

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SOUTH TRYON STREET
N.C. HIGHWAY 49
EXISTING ROW 75' FROM C/L
EXISTING ROW

DIAMOND LANE
EXISTING ROW 75' FROM C/L
EXISTING ROW

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWM BUFFER AND TREE
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DETACHED GARAGE, TYP.
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27' SETBACK ON NEW
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FOR YOUNGBLOOD ROAD

COMMERCIAL
BUILDING

YOUNGBLOOD ROAD

20' SETBACK FROM FUT AND
EXTG YOUNGBLOOD ROW

2 STORY
40,000 SF

1 STORY
46,100 SF

COMMERCIAL
BUILDING

20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE
FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED

30' SETBACK FROM
FUTURE MAIN ROAD ROW





PROPOSED NORTH/SOUTH ELEVATION, LOOKING EAST



PROPOSED NORTH/SOUTH ELEVATION, LOOKING WEST



PERSPECTIVE: LOOKING SOUTH



PERSPECTIVE: LOOKING NORTH



PERSPECTIVE: LOOKING EAST

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Buffer/Tree Save



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Traffic

Rezoning Transportation Analysis

Petition Number: 2017-112

General Location Identifier: 21911121, 21911115, 21911130

	Retail	30K sf		
	Apartments Retail	242 dwellings 30K sf	4700	Site Plan: 3-12-18

**Traffic Generation Drops by approximately 3,000 trips
A 200% Reduction**

Steele Creek Property Trip Generation

Land Use [ITE Code]			Weekday Daily	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Mini-Storage [151]	79,600	SF	199	6	5	11	11	10	21
Multi-Family [220]	280	DUs	1,560	24	96	120	96	52	148
Total Trips			1,759	30	101	131	107	62	169

References:

Trip Generation, 9th Edition, Institute of Transportation Engineers, Washington, DC. 2012.

Traffic Impact Studies (TIS)

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- Identify the development's transportation impacts
- Determine off-site mitigation needed to overcome the transportation impacts
- Identify whether phasing the development would be appropriate
- Determine access design that should be incorporated into the site plan

**Revised Plan
would generate less
than 1,750 trips**

When is a TIS Required?

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- Affects a location with a high vehicle crash history
- Takes place at a high congestion location (v/c > 1)
- Creates the fourth leg of an existing signalized intersection
- Exacerbates an already difficult situation such as at a railroad crossing, fire station access, school access, etc.

*Developments that would
generate 2,500 daily trips:*

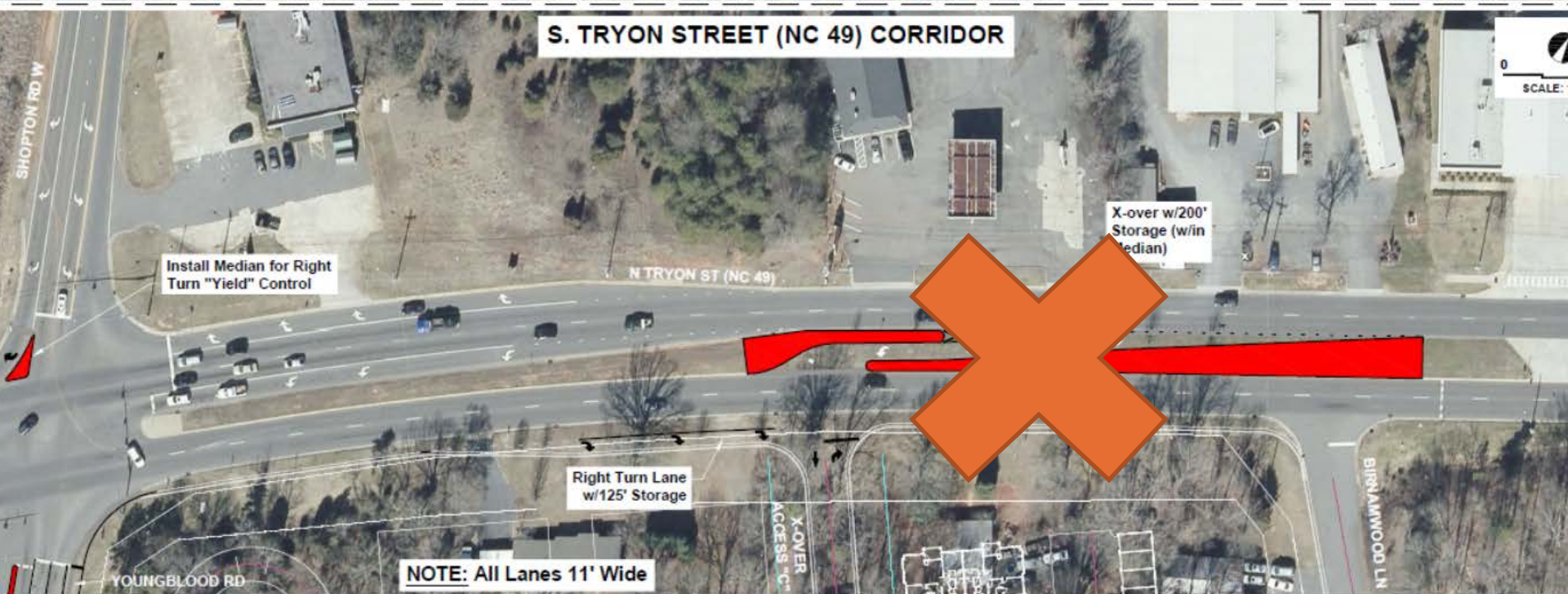
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Birnamwood Connection



FUT ROW 75' FROM C/L
EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM
EXTG TRAVEL LANE
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

EXISTING ALIGNMENT OF
YOUNGBLOOD RD AT SHOPTON
ROAD WEST
30' SETBACK FROM FUT
SHOPTON ROAD WEST ROW
27' SETBACK ON NEW
INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT
FOR YOUNGBLOOD ROAD

COMMERCIAL
BUILDING

20' SETBACK FROM FUT AND
EXTG YOUNGBLOOD ROW

COMMERCIAL
BUILDING

20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
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FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED
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30' SETBACK FROM
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OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49
EXISTING ROW 75' FROM C/L
FUT ROW 75' FROM C/L
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

BIRCHWOOD LANE
EXISTING ROW 75' FROM C/L
FUT ROW 75' FROM C/L
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWM BUFFER AND TREE
SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.

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Issues



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EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM
EXTG TRAVEL LANE
FUT SIDEWALK ON SOUTH
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20' SETBACK FROM FUT AND
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30' SETBACK FROM
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SOUTH TRYON STREET
N.C. HIGHWAY 49
EXISTING ROW 75' FROM C/L
EXISTING ROW

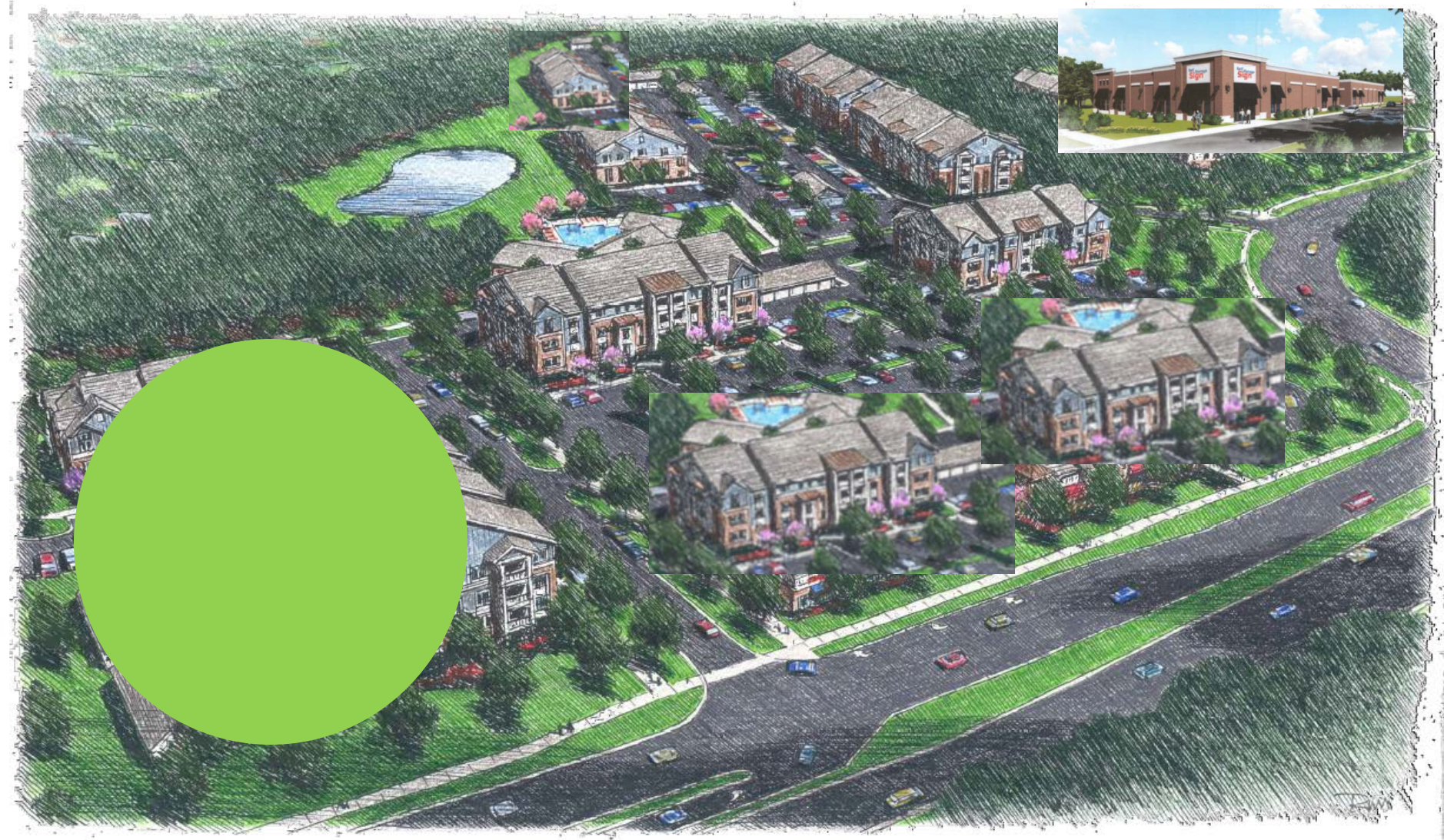
DIAMOND LANE
EXISTING ROW 75' FROM C/L
EXISTING ROW

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWM BUFFER AND TREE
SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.



GENERAL NOTE:

This image is illustrative of the proposed development and is intended to reflect the architectural style and quality of the buildings that will be constructed on site. This image is illustrating the intended use of materials, rooflines and wall planes. The actual buildings on the site may vary from this illustration provided that the design intent is preserved.

- 6b. Allow a mixture of residential, office and retail land uses on the southeast corner of York Road (NC 49) and Youngblood Road to serve the immediate area. One or any combination of these uses is appropriate. Development should be limited to a convenience size center (70,000 square feet maximum). Residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent residential development.



**Proposal is for
86,100 s.f. of
storage**

**238 Residential
Units**



FUT ROW 75' FROM C/L
EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM
EXTG TRAVEL LANE
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

EXISTING ALIGNMENT OF
YOUNGBLOOD RD AT SHOPTON
ROAD WEST
30' SETBACK FROM FUT
SHOPTON ROAD WEST ROW
27' SETBACK ON NEW
INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT
FOR YOUNGBLOOD ROAD

COMMERCIAL
BUILDING

20' SETBACK FROM FUT AND
EXTG YOUNGBLOOD ROW

COMMERCIAL
BUILDING

20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE
FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED
BY DOT, TYP. AT D/W INTERSECTIONS

30' SETBACK FROM
FUTURE MAIN ROAD RIGHT
OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49
EXISTING ROW 75' FROM C/L
FUT ROW 75' FROM C/L
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

BIRMINGHAM LANE
EXISTING ROW 75' FROM C/L
FUT ROW 75' FROM C/L
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

Multi-family Area
Approximately
22.35 acres
10.7 DUA

SWIM BUFFER AND TREE
SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.



The image features a blue bokeh background with out-of-focus light spots. A solid orange horizontal band is positioned in the center, containing the word "Discussion" in white text.

Discussion