

1005 MARGARET BROWN ST - PARCEL ID: 07321511

1.

Development Data Table
- a.

Site Acreage: 0.177 AC
- b.

Tax Parcels included in Rezoning: 073-215-11
- c.

Existing Zoning: UR-1
- d.

Proposed Zoning: UR-C
- e.

Square footage: NA
- f.

Floor Area Ratio: NA
- g.

Maximum Building Height: NA
- h.

Maximum Number of Buildings: NA
- i.

Number and/or Ratio of Parking Spaces: NA
- j.

Amount of open space: NA
2.

General Provisions
- a.

Development of the site will be controlled by the standards on this site plan and the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of the proposed parking and the uses on the site, but the exact configuration, placement, and size of the individual site elements may be altered or modified with the limits prescribed by the ordinance during the design development and construction phases in accordance with the provisions of Section 6.2 of the Zoning Ordinance.
- b.

Access to the site will be provided from the existing public roadway, Margaret Brown Street, as shown on this site plan.
- c.

The petitioner acknowledges that other standard development or requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, stormwater, and site development, etc.) will apply to the development site. This includes chapters 6, 9, 12, 17, 18, 19, 20 and 21 of the city code. Conditions set forth in the petition are supplemental requirements imposed on the development in addition to the other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
- d.

The project will comply with all UR-C standards.
3.

Optional Provisions: NA
4.

Permitted uses: Use permitted under section 9.404 (3)
5.

Transportation: NA
6.

Architectural Standards: NA
7.

Streetscape and Landscaping
- a.

Landscaping will be provide per section 9.404 (3)
8.

Environmental Features:
- a.

The petitioner will comply with the City of Charlotte Tree Ordinance.
9.

Parks, Greenways, and Open Space: NA
10.

Fire Protection: NA
11.

Signage
- a.

Signage will be provided per the ordinance.
12.

Lighting
- a.

Any detached lighting on the site will not exceed 20 feet in height and will be aimed into the site away from adjoining properties and public streets to prevent glare. Lighting shall be fully shielded and no wall pak lighting will be used.
13.

Phasing: NA
14.

Other
- a.

Binding Effect of the Rezoning Documents and Definitions: If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development there.
- b.

Parcel may revert back to UR-1 should the property be sold.

1015 MARGARET BROWN ST - PARCEL ID: 07321513

1.

Development Data Table
- a.

Site Acreage: 0.172 AC
- b.

Tax Parcels included in Rezoning: 071-041-13
- c.

Existing Zoning: UR-1
- d.

Proposed Zoning: MUDD-O
- e.

Existing Square footage: 1826 SQ. FT
- f.

Floor Area Ratio: NA
- g.

Maximum Building Height: NA
- h.

Maximum Number of Buildings: NA
- i.

Number and/or Ratio of Parking Spaces: 1 Space/600 SF = 3
- j.

Number of Parking Spaces provided: 16
2.

General Provisions
- a.

Development of the site will be controlled by the standards on this site plan and the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of the proposed buildings and the uses on the site, but the exact configuration, placement, and size of the individual site elements may be altered or modified with the limits prescribed by the ordinance during the design development and construction phases in accordance with the provisions of Section 6.2 of the Zoning Ordinance.
- b.

Access to the site will be provided from the existing public roadway, Margaret Brown Street, as shown on this site plan.
- c.

The petitioner acknowledges that other standard development or requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, stormwater, and site development, etc.) will apply to the development site. This includes chapters 6, 9, 12, 17, 18, 19, 20 and 21 of the city code. Conditions set forth in the petition are supplemental requirements imposed on the development in addition to the other standards. Where conditions on this plan differ from ordinances, standards, policies, and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
- d.

The site and occupant are existing and no changes to the site are proposed.
3.

Optional Provisions
- a.

Petitioner requests to opt out of the 10' Building Separation when adjacent to a residential use
4.

Permitted uses
- a.

Permitted use in MUDD zoning
5.

Transportation: NA
6.

Architectural Standards: NA
7.

Parks, Greenways, and Open Space
- a.

Open space will conform to the requirements of Ordinance.
8.

Fire Protection: NA
9.

Signage: NA
10.

Lighting: NA
11.

Phasing: NA
12.

Other
- a.

Binding Effect of the Rezoning Documents and Definitions: If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development there.
- b.

Parcel may revert back to UR-1 should the property be sold.

7 SITE PLAN
SCALE: 1"=20'-0"

11 EXISTING GIS MAP
SCALE: 1"=100'-0"

12 EXISTING AERIAL MAP
SCALE: 1"=100'-0"

16 VICINITY MAP