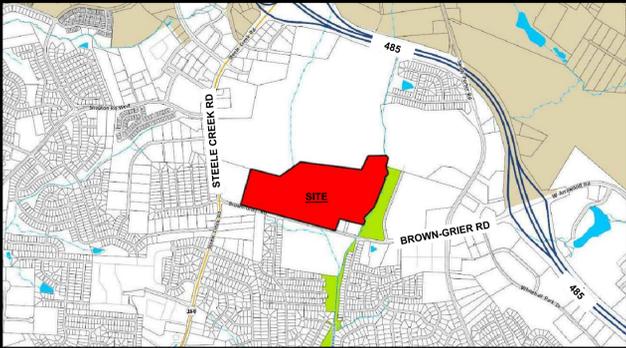


Planning Department
APPROVED BY CITY COUNCIL
 December 18, 2017



Vicinity Map
 Not to Scale

Site Data

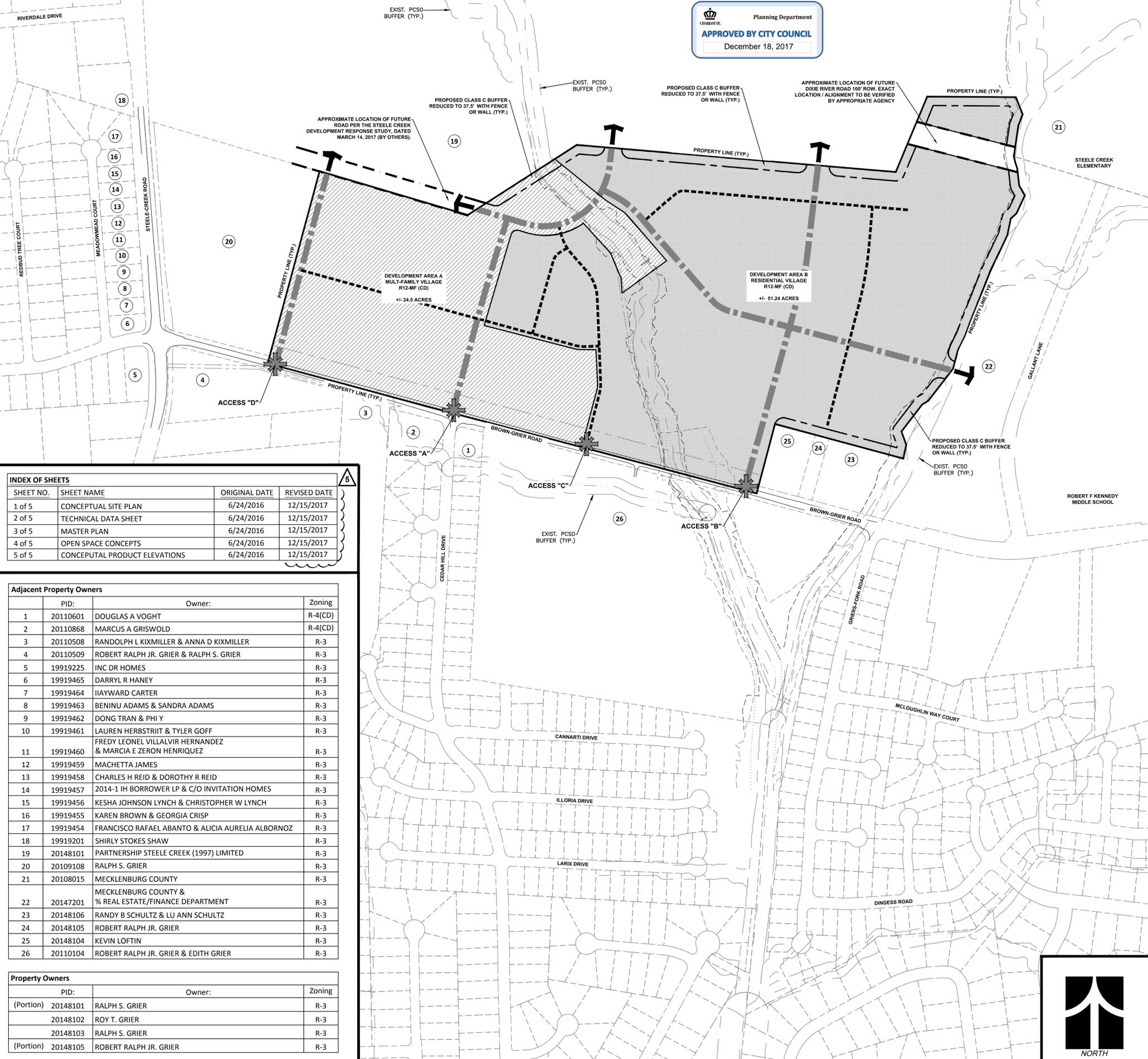
Tax Parcels:	20148101 (Portion), 20148102, 20148103 & 20148105 (Portion)
Total Site Acreage:	+/- 76.77 Acres
Future ROW	+/- 1.03 Acre
Remaining Site Acreage	+/- 75.74 Acres*
Location:	City of Charlotte, NC
Existing Zoning:	R-3
Proposed Zoning:	R12-MF(CD) with 5 year vested rights
Existing Use:	Single-Family Residential / Vacant Land
Proposed Use:	Multi-Family dwellings, "for sale" single family attached dwellings
Permitted # of Units:	Up to 597 Units Development Area A Up to 292 Apartments Development Area B Up to 305 Townhomes Note: Minimum of 66% of townhomes to be alley-loaded
Density*:	Up to 7.88 DU/AC
Maximum Building Height:	See Development Standards
Parking:	On-Street Parking Provided: Min. 175 Spaces Off Street Parking Provided: Min. 35 Spaces
Tree Save*:	Required: +/- 11.36 Acres (15%) Provided: +/- 11.36 Acres (15%) Minimum
Natural Area*:	Required: +/- 7.67 Acres (10%) Provided: +/- 7.67 Acres (10%) Minimum

General Notes

1. Base information obtained from preliminary site survey prepared by ESP Associates dated January 28, 2016
2. See Sheet 2 of 5 - Technical Data Sheet for Conditional Rezoning Notes

Legend

- Development Area A - Multi-Family Village Building & Parking Envelope
- Development Area B - Residential Village Building & Parking Envelope
- Class C Buffer (Reduced to 37.5' with Fence/Wall)
- Local Residential Wide - 71' Public ROW
- Private Street (30' Clear Zone)
- Proposed Stub Location
- Proposed Access Location



INDEX OF SHEETS

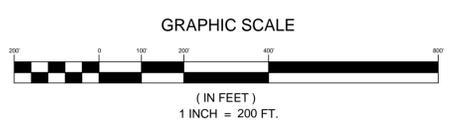
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 of 5	CONCEPTUAL SITE PLAN	6/24/2016	12/15/2017
2 of 5	TECHNICAL DATA SHEET	6/24/2016	12/15/2017
3 of 5	MASTER PLAN	6/24/2016	12/15/2017
4 of 5	OPEN SPACE CONCEPTS	6/24/2016	12/15/2017
5 of 5	CONCEPTUAL PRODUCT ELEVATIONS	6/24/2016	12/15/2017

Adjacent Property Owners

PID:	Owner:	Zoning
1	20110601 DOUGLAS A VOGHT	R-4(CD)
2	20110868 MARCUS A GRISWOLD	R-4(CD)
3	20110508 RANDOLPH L KIXMILLER & ANNA D KIXMILLER	R-3
4	20110509 ROBERT RALPH JR. GRIER & RALPH S. GRIER	R-3
5	19919225 INC DR HOMES	R-3
6	19919465 DARRYL R HANEY	R-3
7	19919464 IIAYWARD CARTER	R-3
8	19919463 BENINU ADAMS & SANDRA ADAMS	R-3
9	19919462 DONG TRAN & PHI Y	R-3
10	19919461 LAUREN HERBSTTRIT & TYLER GOFF	R-3
11	19919460 FREDY LEONEL VILLALVIR HERNANDEZ & MARCIA E ZERON HENRIQUEZ	R-3
12	19919459 MACHETTA JAMES	R-3
13	19919458 CHARLES H REID & DOROTHY R REID	R-3
14	19919457 2014-1 IH BORROWER LP & C/O INVITATION HOMES	R-3
15	19919456 KESHA JOHNSON LYNCH & CHRISTOPHER W LYNCH	R-3
16	19919455 KAREN BROWN & GEORGIA CRISP	R-3
17	19919454 FRANCISCO RAFAEL ABANTO & ALICIA AURELIA ALBORNOZ	R-3
18	19919201 SHIRLY STOKES SHAW	R-3
19	20148101 PARTNERSHIP STEELE CREEK (1997) LIMITED	R-3
20	20109108 RALPH S. GRIER	R-3
21	20108015 MECKLENBURG COUNTY	R-3
22	20147201 MECKLENBURG COUNTY & % REAL ESTATE/FINANCE DEPARTMENT	R-3
23	20148106 RANDY B SCHULTZ & LU ANN SCHULTZ	R-3
24	20148105 ROBERT RALPH JR. GRIER	R-3
25	20148104 KEVIN LOFTIN	R-3
26	20110104 ROBERT RALPH JR. GRIER & EDITH GRIER	R-3

Property Owners

PID:	Owner:	Zoning
(Portion) 20148101	RALPH S. GRIER	R-3
20148102	ROY T. GRIER	R-3
20148103	RALPH S. GRIER	R-3
(Portion) 20148105	ROBERT RALPH JR. GRIER	R-3



ESP Associates, P.A.
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 9475 Lakewood Blvd
 Fort Mill, SC 29708
 704-883-4948 (NC)
 803-802-2440 (SC)
 www.espasociates.com



NO.	DATE	REVISION	BY
1	08/10/2017	REVISED PER STAFF COMMENTS	ZW
2	08/18/2017	REVISED PER STAFF COMMENTS	ZW
3	10/23/2017	REVISED PER STAFF COMMENTS	ADH
4	11/27/2017	REVISED PER STAFF COMMENTS	ZW
5	12/15/2017	REVISED PER STAFF COMMENTS	ZW

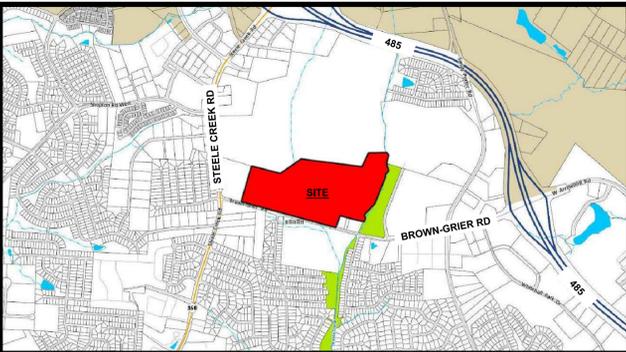
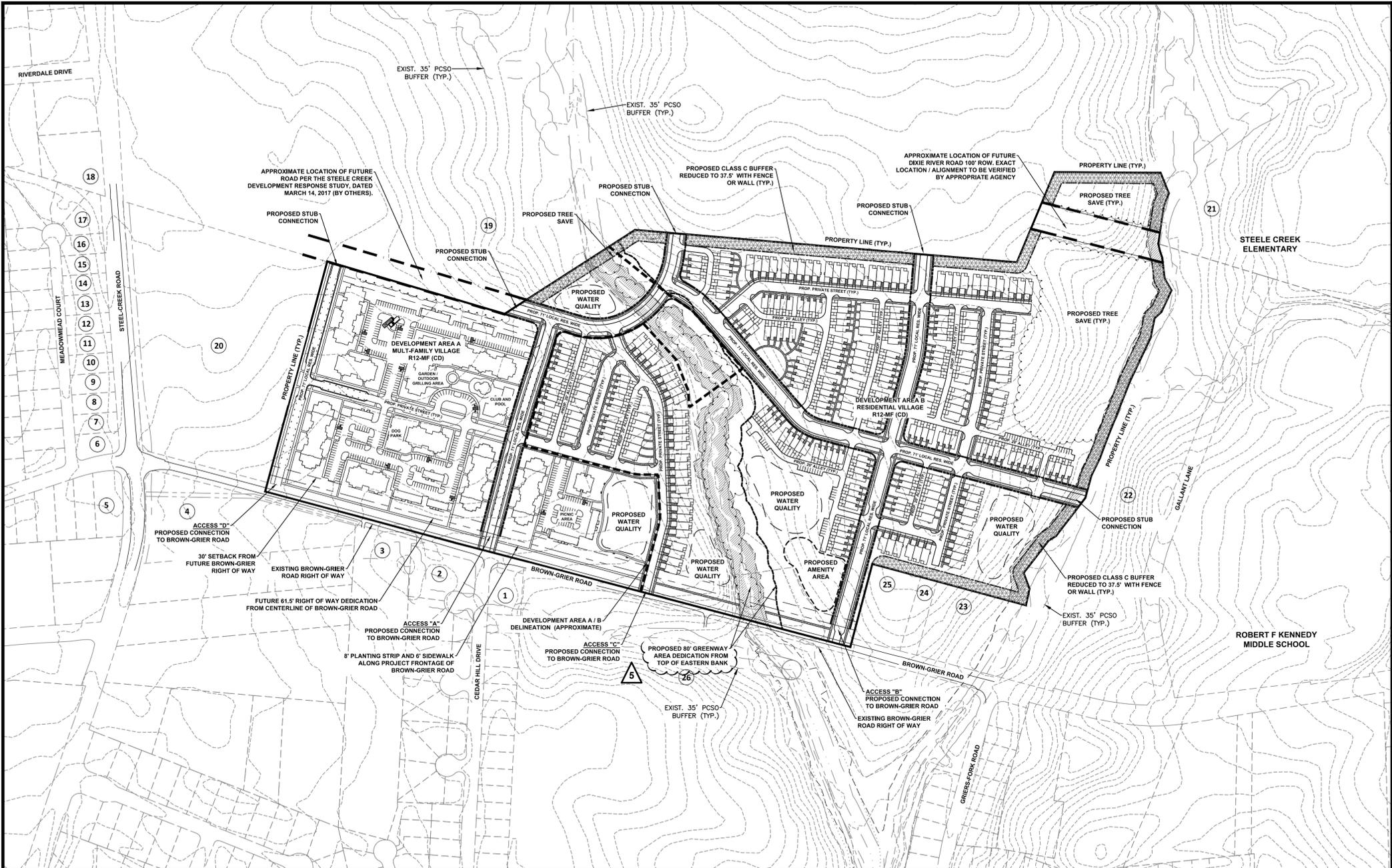
Conditional District Rezoning - R12-MF(CD)
 Conceptual Site Plan - Petition # 2016 - 120 (Sheet 1 of 5)

Grier Property
 Pulte Home Company LLC
 City of Charlotte

PROJECT INFORMATION

PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	ZW
PROJECT NUMBER:	DO05.100
ORIGINAL DATE:	06/24/2016
SHEET:	1 of 5

U:\2016 Projects (D:\DO05 - Grier Property (P\Submittal\Working Drawings\2017-12-8_CD Rezoning - 8th Submittal\DO05\Sheets\DO05 - Grier Property (P\Submittal Site Plan.dwg, Sheet 1 of 4, abords



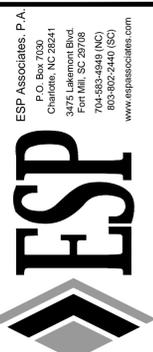
Vicinity Map
Not to Scale

Site Data

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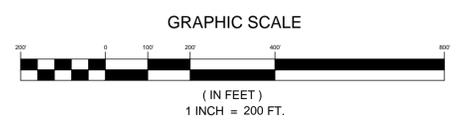
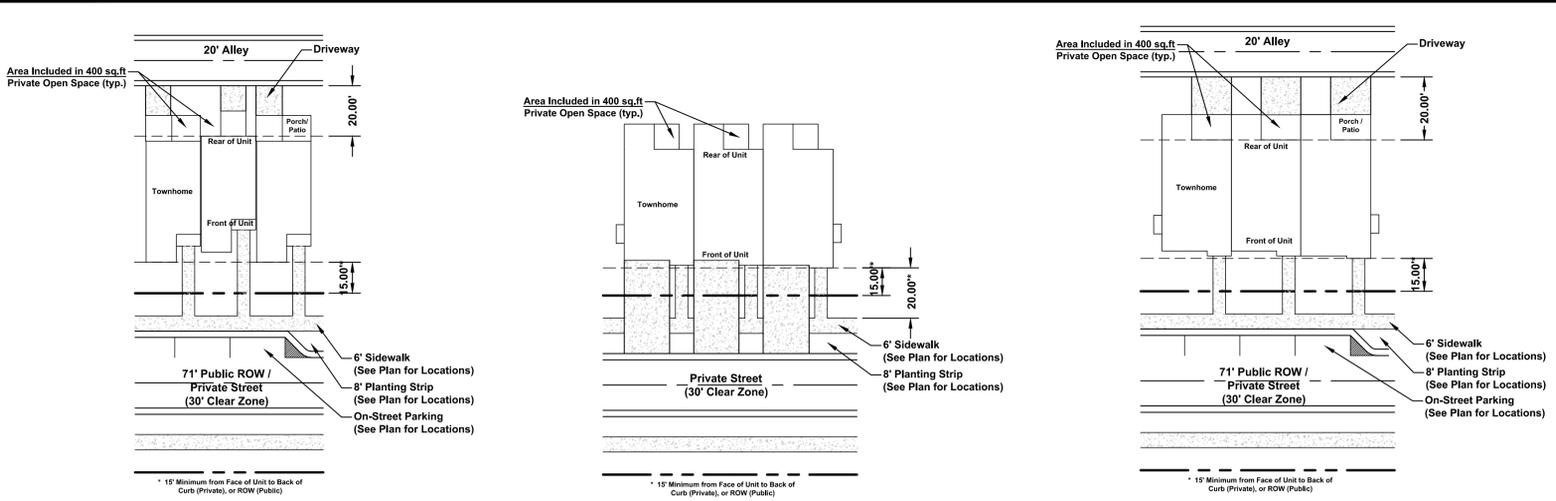
- Base information obtained from preliminary site survey prepared by ESP Associates dated January 28, 2016
- See Sheet 2 of 5 - Technical Data Sheet for Conditional Rezoning Notes



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5	12/15/2017	REVISED PER STAFF COMMENTS

BY	ZW	ZW	ADH	ZW	ZW

Typical Unit Details
Not to Scale



Conditional District Rezoning - R12-MF(CD)
Master Plan - Petition # 2016 - 120 (Sheet 3 of 5)

Grier Property

Pulte Home Company LLC

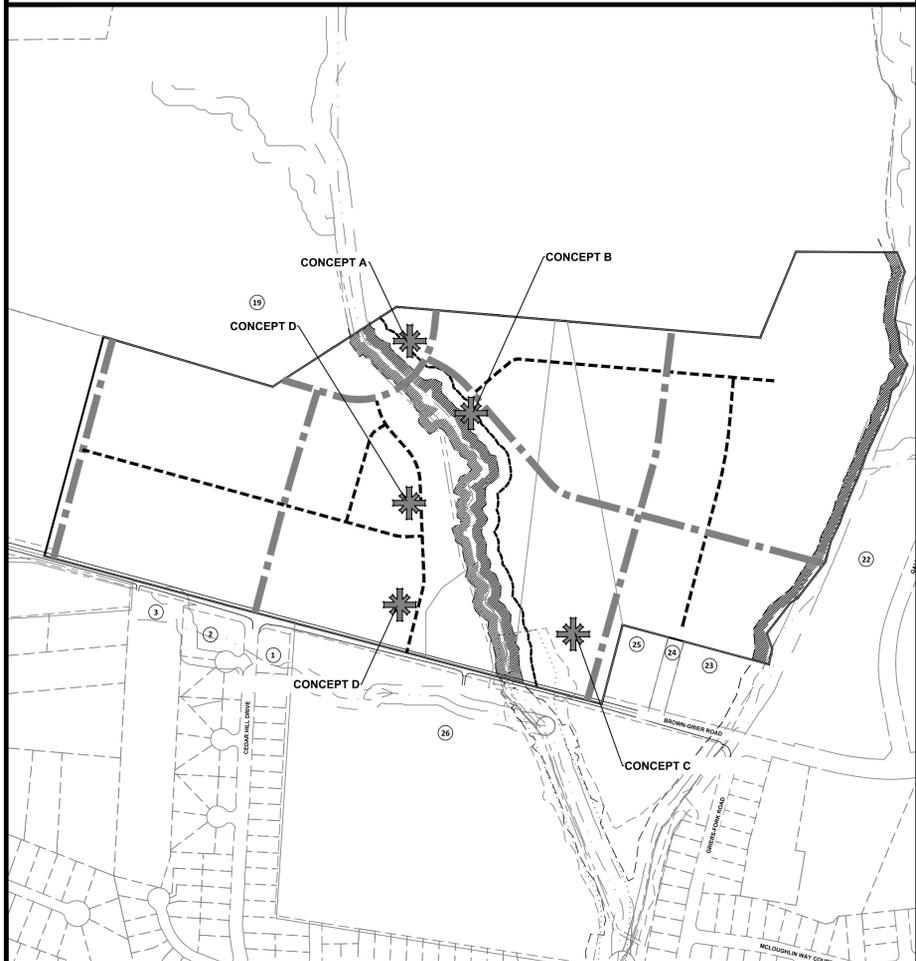
City of Charlotte

PROJECT INFORMATION

PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	ZW
PROJECT NUMBER:	DO05.100
ORIGINAL DATE:	06/24/17
SHEET:	3 of 5

U:\2016 Projects (D)\DO05 - Grier Property (Public)\Submittal\Working Drawings\2017-12-8_CD Rezoning - 8th Submittal\DO05\Sheets\DO05 - Grier Property (Public) - Master Plan.dwg, Sheet3 of 4, abords

Open Space Concepts & Location Map
Not to Scale



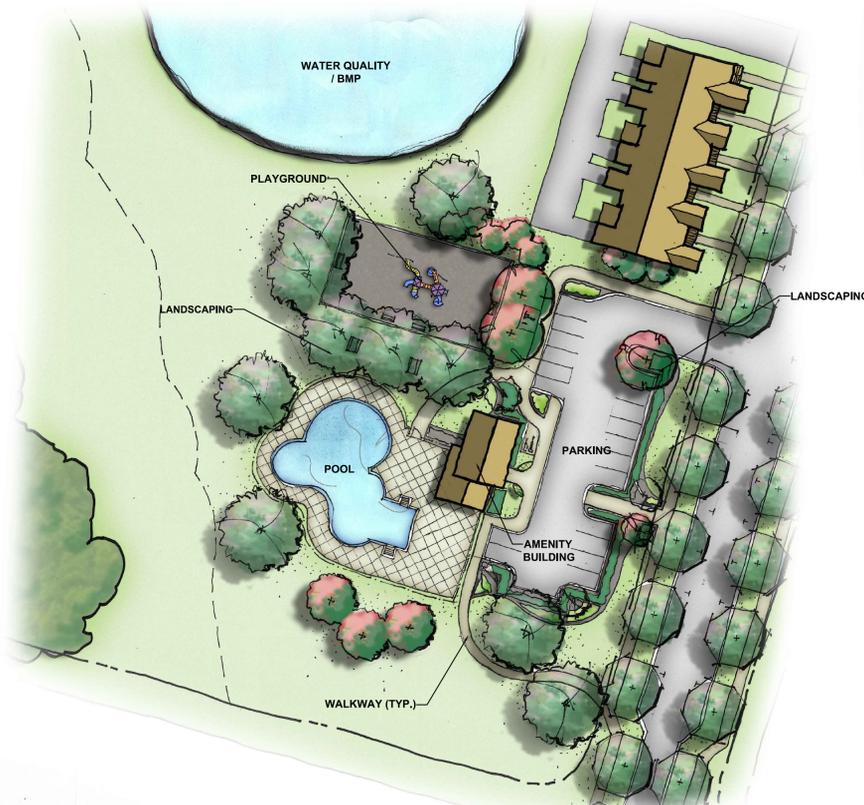
CONCEPT A
Pocket Park Concept



CONCEPT B
Pedestrian Plaza Concept



CONCEPT C
Amenity Concept



Open Space Concepts
Not To Scale



CONCEPT D
Linear Park Concept



U:\2016 Projects (D)\0005 - Grier Property (P)\Submittal\Working Drawings\2017-12-8_CD Reasoning - 8th Submittal\DWG\Sheets\005 - Grier Property (P)\Submittal - Open Space Concepts Planning_Sheet 4 of 4_albonda

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Conditional District Rezoning - R12-MF(CD)
Open Space Concepts - Petition # 2016 - 120 (Sheet 4 of 5)
Grier Property
Pulte Home Company LLC
City of Charlotte

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CONCEPTUAL ELEVATION
28' ALLEY LOADED TOWNHOMES



CONCEPTUAL ELEVATION
28' FRONT LOADED TOWNHOMES



CONCEPTUAL ELEVATION
22' ALLEY LOADED TOWNHOMES

U:\2016 Projects (D)\0005 - Grier Property (P)\01\Submittal\Working Drawings\2017-12-8_CD Reasoning - 8th Submittal\DWG\Sheets\005 - Grier Property (Pub) - Conceptual Product Elevations.dwg, Sheet 4 of 4, abords

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Conditional District Rezoning - R12-MF(CD)
Conceptual Product Elevations - Petition # 2016 - 120 (Sheet 5 of 5)

Grier Property

Pulte Home Company LLC

City of Charlotte

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