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- LEGEND**
- SYMBOL**
- DEVELOPMENT AREA
 - PRIVATE STREET
 - PROPERTY LINE
 - SITE ACCESS
 - PEDESTRIAN CONNECTIVITY
 - APPROXIMATE FUTURE GREENWAY LOCATION

SITE DATA:

SITE ACREAGE: +/- 20.90 AC

TAX PARCELS: 07834102
07834109
07834101

PROPOSED ZONING: MUDD (CD)

EXISTING ZONING: I-2 (CD)

EXISTING USES: OFFICE, RETAIL, AND SURFACE PARKING

*FOR PROPOSED DEVELOPMENT DATA, SEE SHEET RZ-3.

bloc
Bloc Design
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www.bloc-nc.com

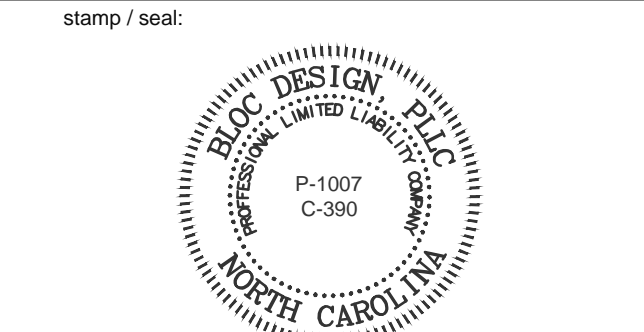
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ARKgroup

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REVISIONS		
NO.	DATE	DESCRIPTION
	05/15/15	REVIEW COMMENTS

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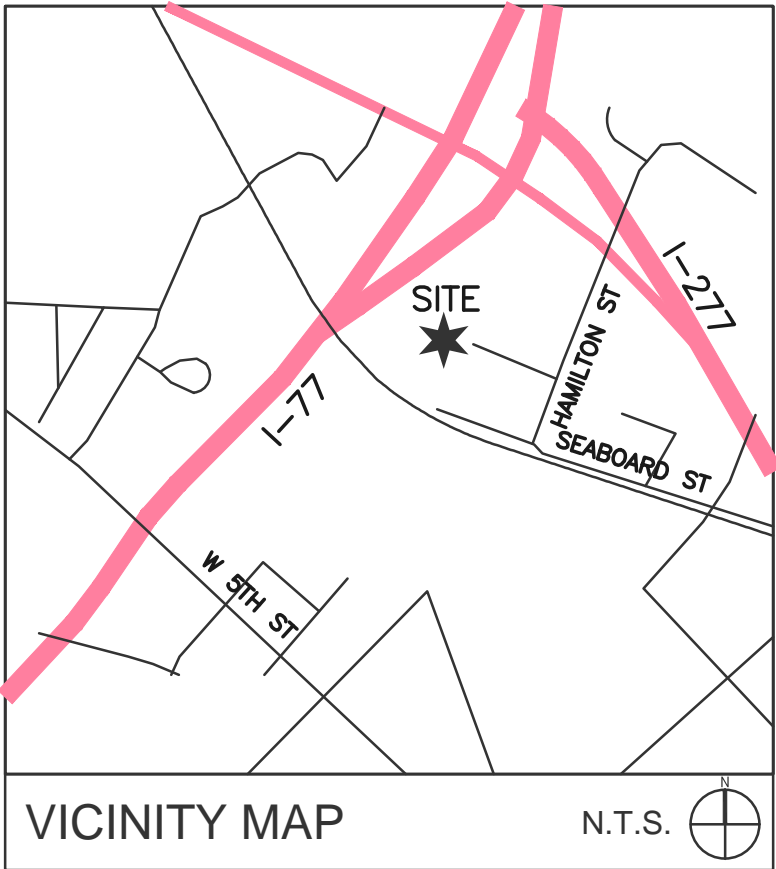
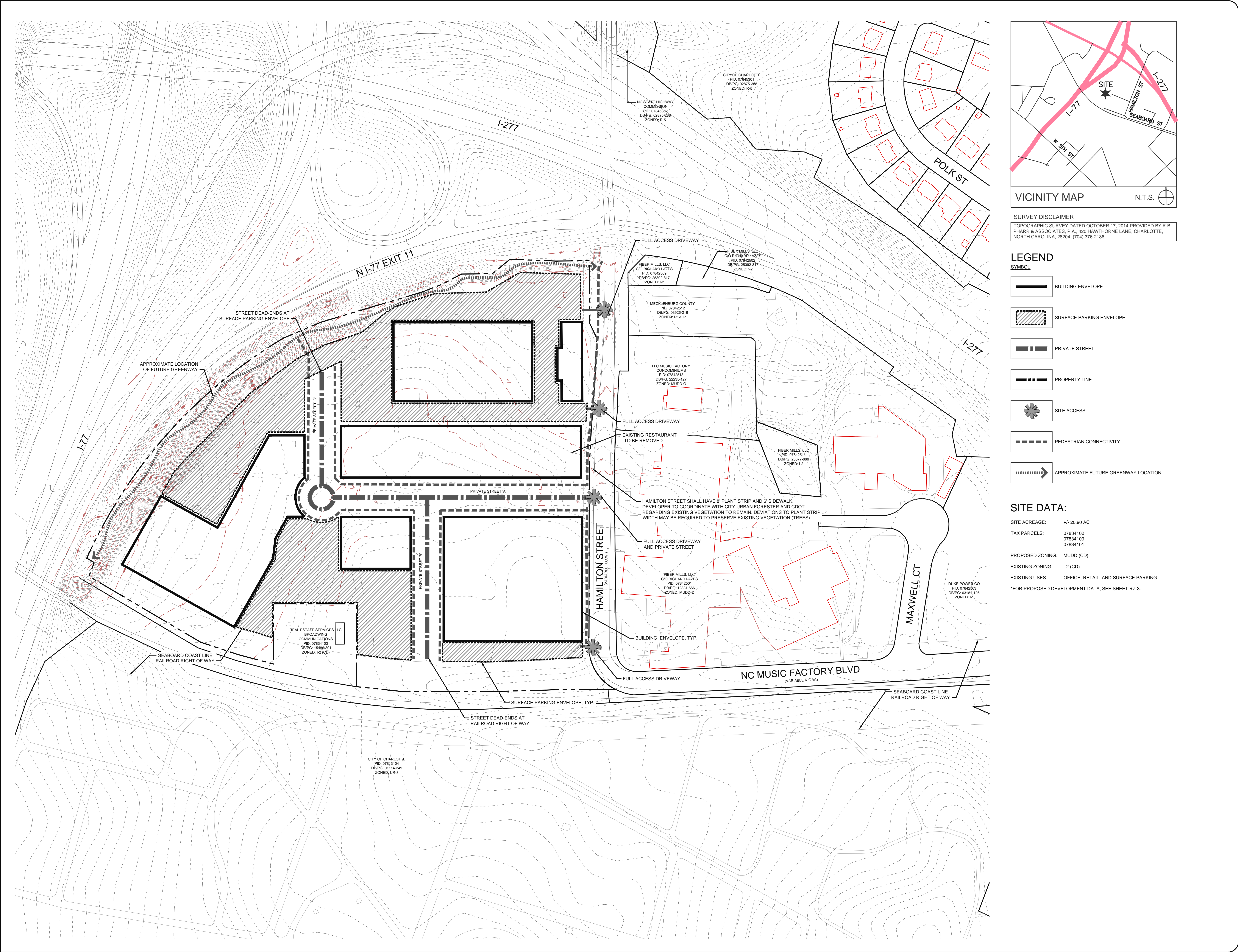


Hamilton Street
Mixed Use
915 Hamilton Street,
Charlotte, NC 28206

Rezoning Petition#:
2015-62

SCALE: 1"=100'
0 50' 100' 200'

DATE: 03/20/15	MPIC: WLL
DRAWN BY: ESB	CHECKED BY: WLL
PROJECT NUMBER: 00150.01	
SCALE: 1"=100'	
TITLE: DEVELOPMENT PLAN	
SHEET NO: RZ-1.0	



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- LEGEND**
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- BUILDING ENVELOPE
 - SURFACE PARKING ENVELOPE
 - PRIVATE STREET
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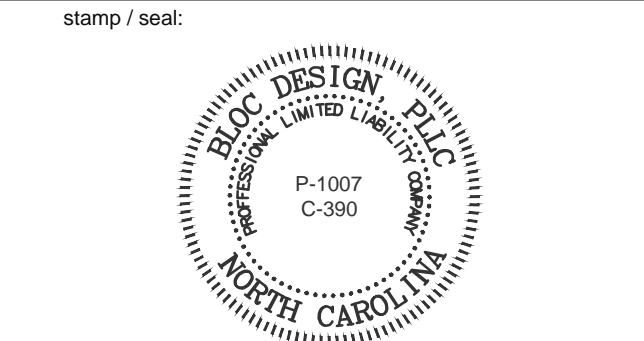
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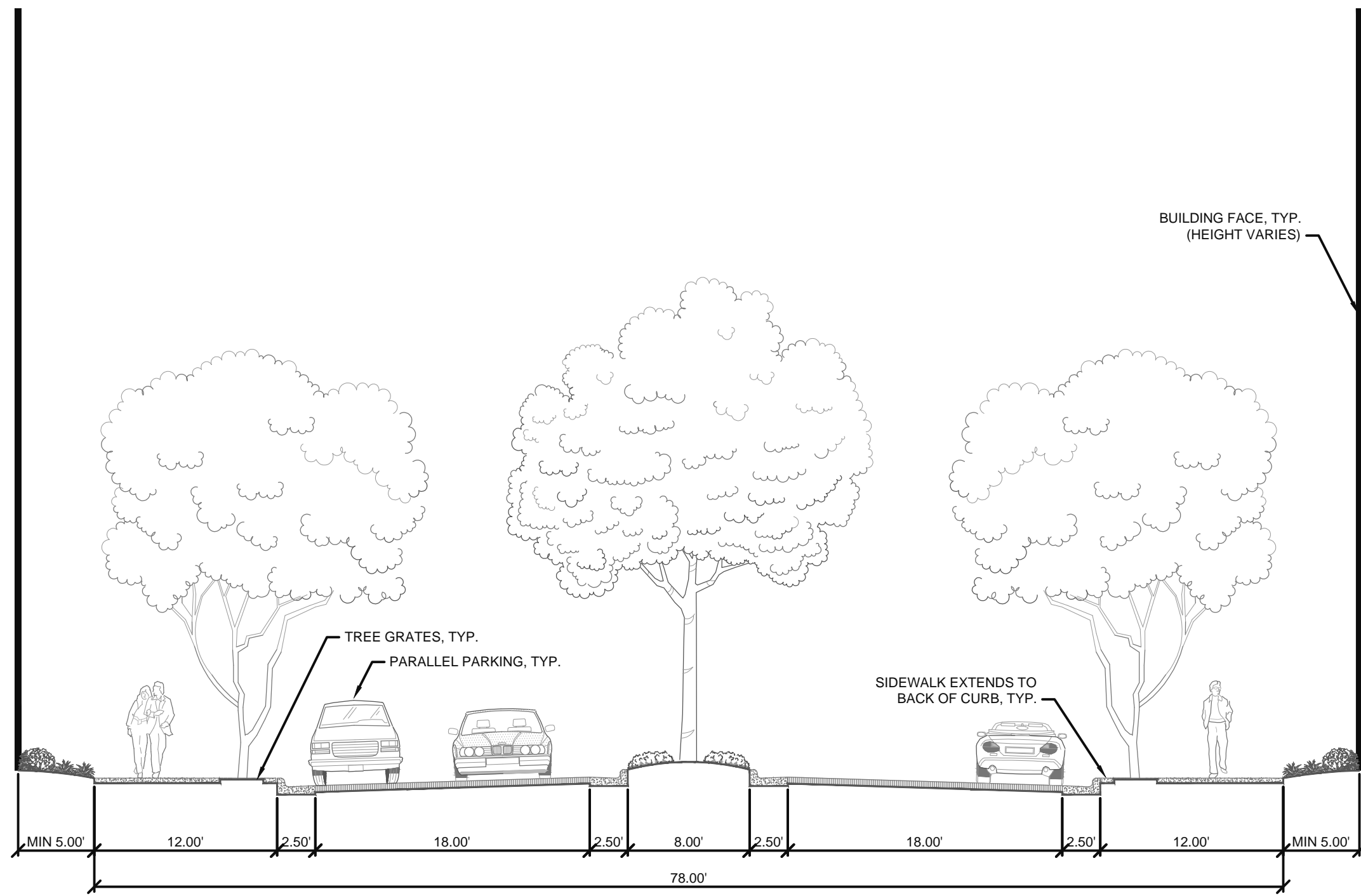
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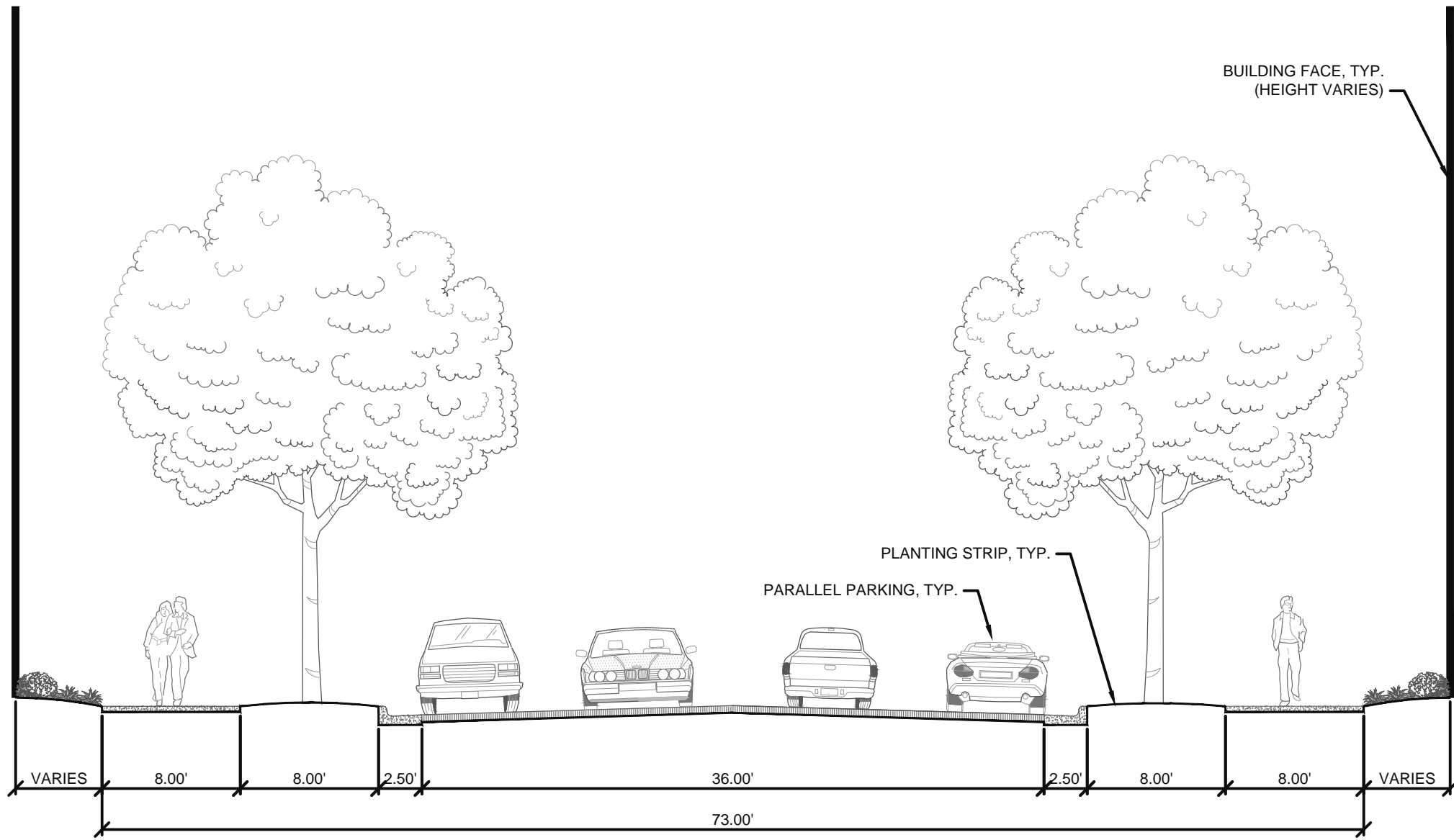
DATE: 03/20/15
DRAWN BY: ESB
PROJECT NUMBER: 00150.01
SCALE: 1"=100'

TITLE:
BUILDING ENVELOPE PLAN

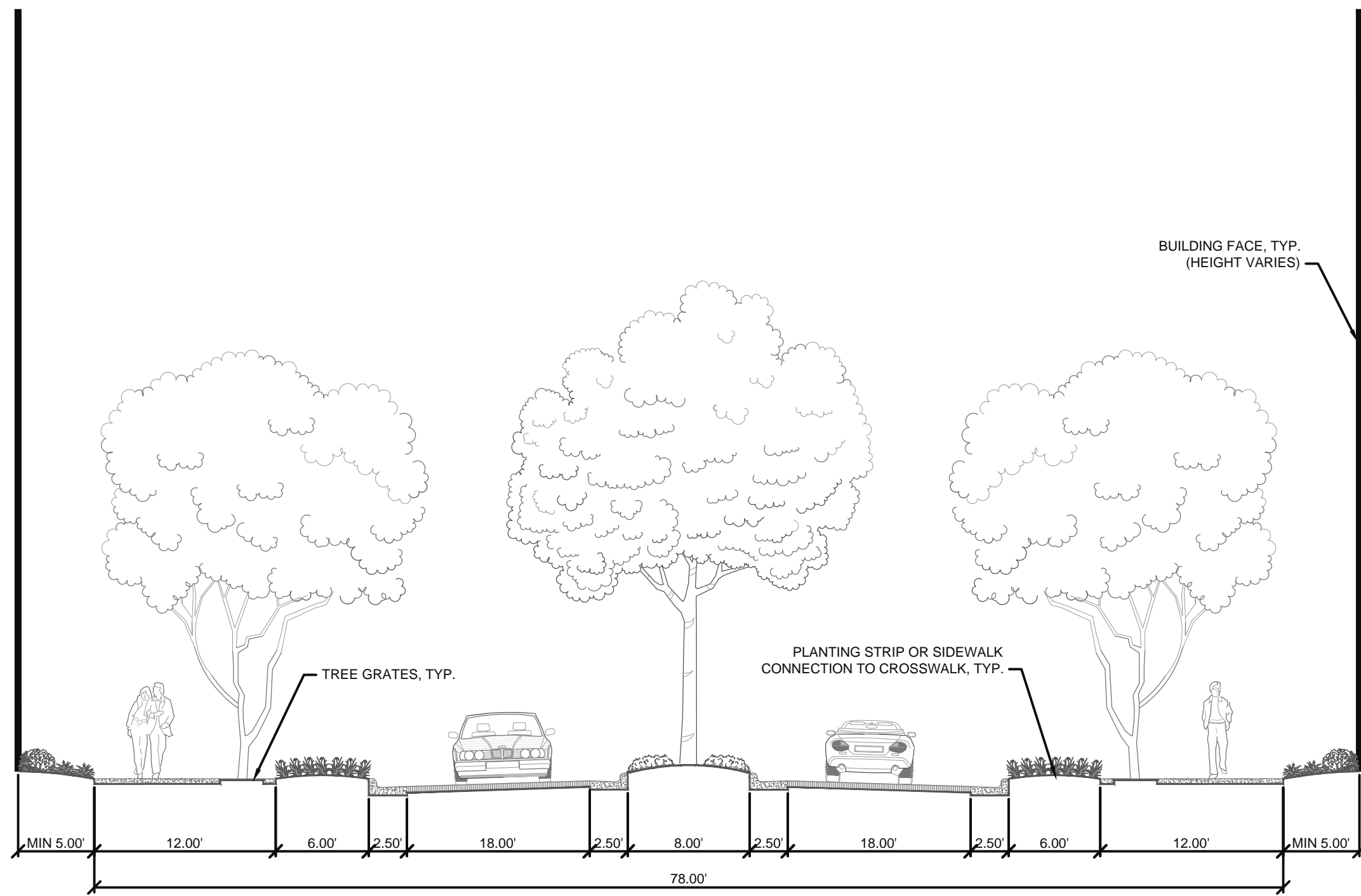
SHEET NO:
RZ-1.1



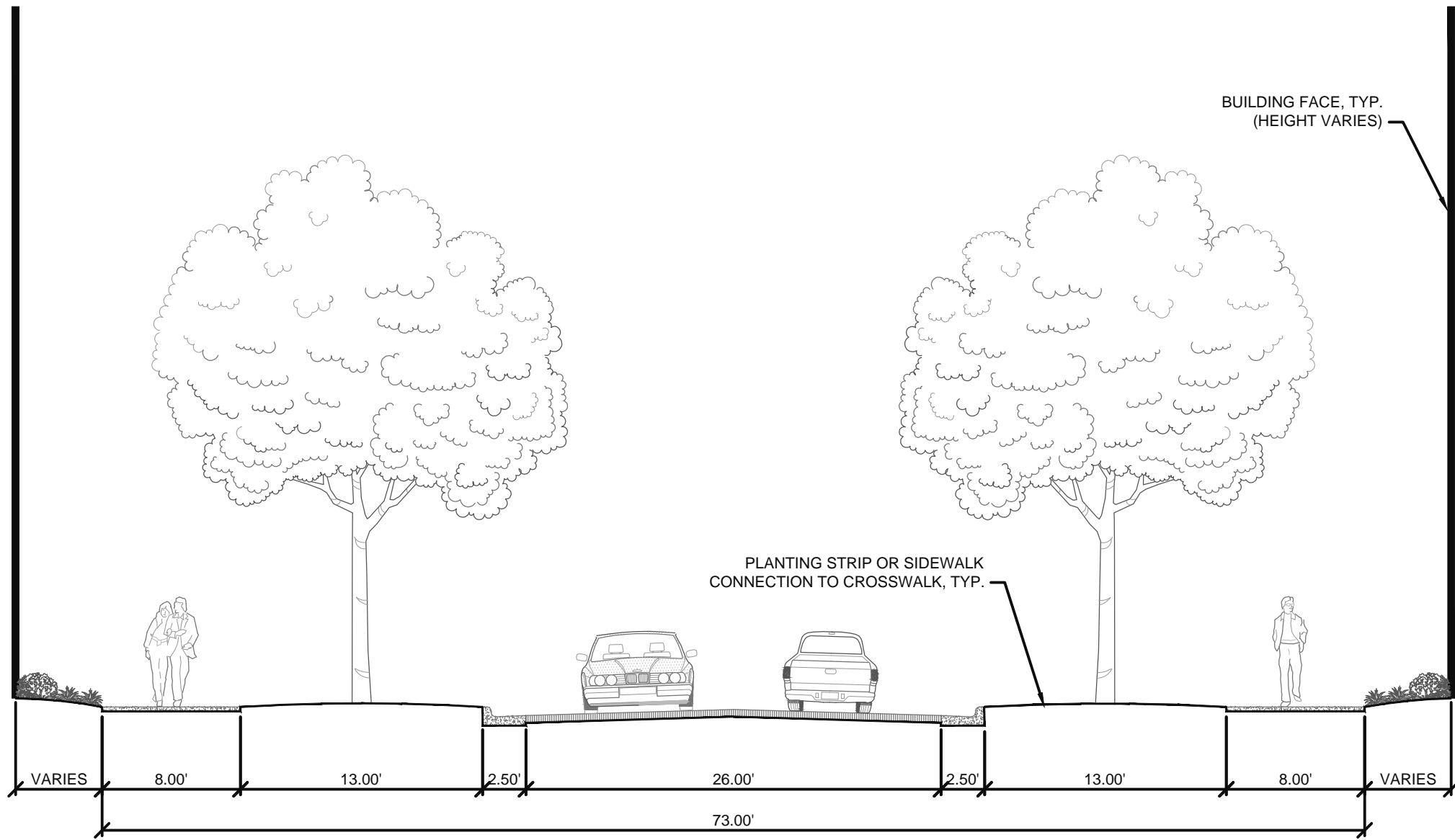
PRIVATE STREET 'A' - TYPICAL SECTION



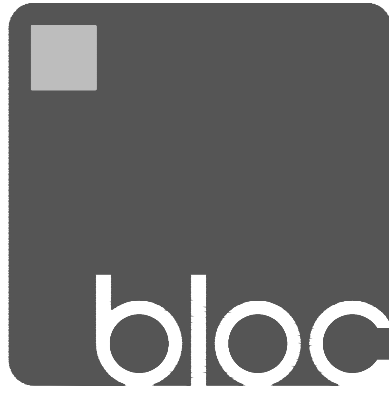
PRIVATE STREET 'B' & 'C' - TYPICAL SECTION



PRIVATE STREET 'A' - INTERSECTION SECTION



PRIVATE STREET 'B' & 'C' - INTERSECTION SECTION



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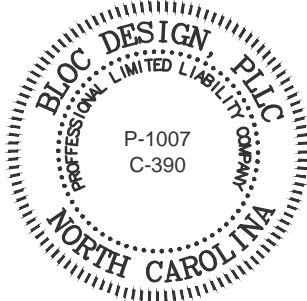


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0 4' 8' 16'

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DRAWN BY: ESB CHECKED BY: WLL

PROJECT NUMBER: 00150.01

SCALE: 1"=100'

TITLE:
PRIVATE STREET SECTIONS

SHEET NO.:
RZ-2

HAMILTON STREET MIXED-USE:

SITE DEVELOPMENT STANDARDS:

May 15, 2015

I. GENERAL PROVISIONS

- A. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Silver Hammer Properties, LLC to accommodate the development of a mixed use project that could contain, among other things, office, retail, restaurant, hotel and residential uses on that approximately 20.91 acre site located on the west side of Hamilton Street, south of I-277 and north of the Seaboard Railway, which site is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").
- B. The development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). The regulations established under the Ordinance for the MUDD zoning district shall govern the development and use of the Site.
- C. The development and uses depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback and yard requirements set forth on this Rezoning Plan and the development standards, provided, however, that any such alterations and modifications shall not materially change the overall design intent depicted on the Rezoning Plan.
- D. The Site is divided into three distinct building and parking envelopes that are designated on the Rezoning Plan as Development Area A, Development Area B and Development Area C. As seen on the Rezoning Plan, the building and parking envelopes are formed by the internal private street network and the boundaries of the Site. All principal buildings, accessory structures, structured parking facilities and surface parking areas developed on the Site shall be located in one of the three building and parking envelopes, and this Rezoning Plan does not limit the number of principal buildings, accessory structures, structured parking facilities and surface parking areas that may be located in any single building and parking envelope or on the Site. The number of principal buildings, accessory structures, structured parking facilities and surface parking areas that may be located on the Site or in any single building and parking envelope shall be governed by the applicable provisions of the Ordinance.
- E. The development of the Site proposed under this Rezoning Plan shall be considered to be a planned/unified development. Therefore, side and rear yards, buffers, building height separation requirements and other similar zoning standards shall not be required internally between improvements, uses and other site elements located on the Site. Furthermore, the Petitioner and/or owner of the Site reserve the right to subdivide portions or all of the Site and to create lots within the interior of the Site without regard to any such internal separation standards and public/private street frontage requirements, provided, however, that the development of the Site shall be required to meet any applicable setback, side yard and rear yard requirements with respect to the exterior boundary of the Site.
- F. The North Carolina Music Factory (the "NCMF") is located across Hamilton Street from the Site on those parcels of land designated as Tax Parcel Nos. 078-425-01 and 078-425-13 (the "Related Parcels"), and the Site and the Related Parcels are owned by affiliated entities of the Petitioner. Tax Parcel No. 078-425-01 is zoned MUDD-O pursuant to Rezoning Petition No. 2005-043, Tax Parcel No. 078-425-13 is zoned MUDD-O pursuant to Rezoning Petition No. 2011-003, and both of these Tax Parcels were subject to a site plan amendment pursuant to Rezoning Petition No. 2014-022. For the purpose of mitigating the traffic impact of the proposed development of the Site, in the event that this Rezoning Petition is approved by the Charlotte City Council, the Petitioner will seek and obtain an administrative site plan amendment to the approved conditional rezoning plans relating to Rezoning Petition No. 2005-043, Rezoning Petition No. 2011-003 and Rezoning Petition No. 2014-022 to modify and amend the amount of the total non-residential gross building area and the total number of residential units permitted on the Related Parcels under such conditional rezoning plans as follows:
- (i) No more than 208,000 square feet of non-residential floor area shall be permitted on the Related Parcels.
 - (ii) Of this total amount of non-residential floor area, up to 62,000 square feet of office floor area is permitted, up to 36,000 square feet of retail/eating, drinking and entertainment establishments (Type 1 and Type 2) floor area is permitted and up to 50,000 square feet of entertainment floor area is permitted.
 - (iii) Up to 100 hotel rooms are permitted on the Related Parcels.
 - (iv) No residential units may be developed on the Related Parcels.
 - (v) Structured and/or surface level parking areas shall not be included within the maximum floor areas noted above.
 - (vi) Entertainment floor area includes establishments such as nightclubs, theaters and similar uses and shall not be considered to be retail uses.
 - (vii) Areas devoted to outdoor dining or seating, courtyards, plazas and/or musical performance areas are allowed and will not be included within the maximum floor areas noted above.
- G. Pursuant to Section 1.110 of the Ordinance and Section 160A-385.1 of the North Carolina General Statutes, the Rezoning Plan, if approved, shall be vested for a period of 5 years due to the size and phasing of the development, the level of investment, economic cycles and market conditions.
- H. Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

II. PERMITTED USES / DEVELOPMENT LIMITATIONS / CONVERSION RIGHTS

- A. Subject to the development limitations set out below, the buildings to be located on the Site may be devoted to any use or uses allowed by right or under prescribed conditions in the MUDD zoning district, together with any incidental or accessory uses associated therewith that are permitted under the Ordinance in the MUDD zoning district.
- B. Subject to the limitations described herein and the conversion rights listed below, the Site may be developed with (i) up to 670,000 square feet of gross floor area devoted to any non-residential use or uses allowed by right or under prescribed conditions in the MUDD zoning district; (ii) up to 440 residential dwelling units of any type permitted in the MUDD zoning district; and (iii) up to 200 hotel rooms.
- C. Notwithstanding the foregoing, of the allowed 670,000 square feet of gross floor area that may be devoted non-residential uses, a maximum of 10,000 square feet may be devoted to retail sales and eating, drinking and entertainment establishments (Type 1 and Type 2).
- D. Up to 90,000 square feet of additional gross floor area devoted to non-residential uses, excluding retail uses and eating, drinking and entertainment establishments (Type 1 and Type 2), may be developed on the Site by reducing the amount of residential units permitted on the Site at the rate of 1 residential unit per 1,000 square feet of gross floor area devoted to non-residential uses.
- E. Up to 160 additional residential units may be developed on the Site by reducing the amount of non-residential gross floor area permitted on the Site at the rate of 1,000 square feet of gross floor area per residential unit.
- F. For purposes of these development limitations, the term "gross floor area" shall mean and refer to the sum of the gross horizontal areas of each floor of a principal building on the Site measured from the outside of the exterior walls or from the center line of party walls; provided, however, such term shall exclude any surface or structured parking facilities, areas used for building and equipment access (such as stairs, elevator shafts, vestibules, roof top equipment rooms and maintenance crawl spaces), all loading dock areas (open or enclosed), outdoor coolers and outdoor dining areas whether on the roof of the building(s) or at street level. Parking for outdoor dining areas will be provided as required by the Ordinance.
- G. As provided in paragraph F above, the gross floor area of any structured parking facilities constructed on the Site shall not be considered or counted towards the maximum gross floor area or density allowed on the Site.

III. TRANSPORTATION

- A. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT").
- B. Off-street vehicular parking shall meet the minimum requirements of the Ordinance. Parking may be located in surface parking lots or in structured parking facilities.
- C. The internal streets constructed within the Site shall be private streets. Cross sections for the internal private streets are set out on Sheet RZ-2 of the Rezoning Plan.
- D. The alignment of the internal private streets, vehicular circulation areas and the driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by CDOT and/or NCDOT in accordance with applicable published standards.
- E. The existing surface parking lots located on the Site are utilized by the NCMF to meet a portion of the off-street parking requirements for the NCMF. The development of the Site will be phased in such a manner to ensure that a sufficient amount of parking spaces are available on the Site to meet the off-street parking requirements of the NCMF.

IV. ARCHITECTURAL AND DESIGN STANDARDS

- A. It is intended that this proposed development will provide a horizontal mix of uses that includes office, retail, service uses and residential uses in a manner that creates a unified development pattern with generally coordinated streetscape elements, landscaping, open spaces and quality building materials. Where opportunities exist, a vertical mix of uses will be encouraged but not required. The majority of the main street building facades along Hamilton Street and the internal private streets that are visible at grade level to site visitors, residents and adjacent neighbors shall incorporate high levels of design detail, articulation and quality materials. This development will seek to emphasize pedestrian connections between uses and to the adjacent sidewalks. Long expanses of blank walls will be limited, and where they are necessary will be treated with a combination of architectural expressions such as changes in materials, fenestration, windows, building setback and landscaping, artwork, display cases or other similar items.
- B. The principal buildings constructed on the Site may use a variety of exterior building materials. The exterior building materials used for buildings (other than structured parking facilities) will be a combination of the following: glass (clear and reflective low-e glass), aluminum storefront and curtain wall systems, architectural concrete tilt up panels, pre-finished metal entry canopies, aluminum mechanical screen walls, metal panels, masonry brick veneer, stone, simulated stone, pre-cast stone, precast concrete, synthetic stone, stucco, cementitious siding (such as hard-plank), EIFS, wood, low slope white TPO roof, green roof, standing seam metal roof and architectural asphalt shingles. Vinyl as a building material will not be allowed except on windows and soffits.
- C. The Site will include a series of publicly accessible open spaces and plazas as focal points. These focal points will include some combination of landscaping, hardscape, monumentation, water features, seating areas and/or art work.
- D. Buildings constructed on the Site shall be pulled to and front the adjacent public and private streets to create a building edge, and surface parking or vehicular maneuvering space may not be located between any building constructed on the Site and the required setback from any public or private street. However, driveways providing access to the parking areas may be installed across these areas. Outdoor plazas, outdoor dining areas and open space shall be considered to be part of a building and may be located between a building and the required setback. Surface parking may be located to the side of a building provided that the surface parking covers no more than 35% of the lot width. Nothing herein prohibits a building or structured parking facility from being located to the rear of a building that is pulled to and fronts an adjacent public and/or private street, and such buildings shall not be subject to the restrictions set out in this paragraph D.
- E. Parking structure facade treatments along the public right of way will be designed to be visually coordinated and complimentary to the other buildings constructed on the Site. Parking structure walls/facades located along the public right of way may not be designed as solid walls (without an architectural/design detail on the facade).
- F. Attached to the Rezoning Plan is a conceptual, schematic perspective of a building to be constructed within the building and parking envelope designated as Development Area A. This conceptual, schematic perspective is included to reflect the architectural style and quality of a building that may be constructed within Development Area A (the actual building constructed may vary from the conceptual, schematic perspective provided that the design intent is preserved).
- G. The maximum height of any building constructed on the Site shall be 120 feet.

V. STREETScape/LANDSCAPING/SCREENING

- A. Petitioner shall install an 8 foot planting strip and a 6 foot sidewalk along the Site's frontage on Hamilton Street.
- B. Petitioner shall install planting strips and sidewalks along the internal private streets in accordance with the applicable cross sections set out on Sheet RZ-2 of the Rezoning Plan.
- C. Sidewalk connections to the adjoining public streets shall be provided as required by the Ordinance.
- D. All roof mounted mechanical equipment will be screened from view from adjoining public rights-of-way and abutting properties as viewed from grade.
- E. Dumpster and recycling areas will be enclosed on all four sides by an opaque wall or fence with one side being a hinged opaque gate. If one or more sides of a dumpster and recycling area adjoin a side wall or rear wall of a building, then the side wall or rear wall of the building may be substituted for the wall or fence along each such side. Alternatively, such facilities may be located within or under the structures proposed to be constructed on the Site.

VI. ENVIRONMENTAL FEATURES

- A. Development of the Site shall comply with the City of Charlotte Tree Ordinance.

VII. PARKS / GREENWAY / OPEN SPACE

- A. Prior to the issuance of a certificate of occupancy for the first new building constructed on the Site, Petitioner shall grant an easement to Mecklenburg County for greenway purposes over those areas designated on the Rezoning Plan as "Greenway Area" (the "Greenway Easement"). For purposes of calculating the amount of required open space on the Site, the Greenway Area will be considered to be open space and count towards the Site's required amount of open space.
- B. Mecklenburg County shall be responsible for the maintenance of the "Greenway Area" from and after the conveyance of the Greenway Easement.
- C. Petitioner shall be permitted to convey storm water into the Greenway Area.
- D. Urban open space shall be provided as required by the Ordinance.

VIII. SIGNS

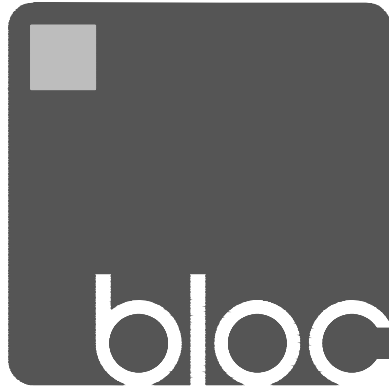
- A. All signs installed on the Site shall comply with the requirements of the Ordinance.

IX. LIGHTING

- A. All freestanding lighting fixtures installed on the Site (excluding street lights and lower, decorative lighting that may be installed along the driveways, sidewalks and parking areas) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site. The maximum height of any freestanding lighting fixtures installed on the Site or on any parking structure shall be 25 feet.
- B. Any lighting fixtures attached to the structures to be constructed on the Site shall be decorative, capped and downwardly directed.

X. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- B. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



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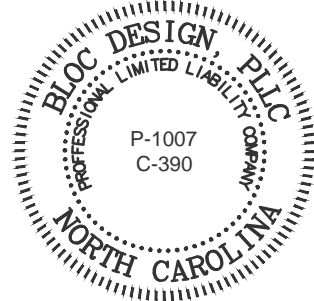
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PROJECT NUMBER: 00150.01

SCALE:

TITLE:
TECHNICAL DATA SHEET

SHEET NO.:

RZ-3



VIEW FROM PRIVATE STREET 'A' AND HAMILTON STREET INTERSECTION

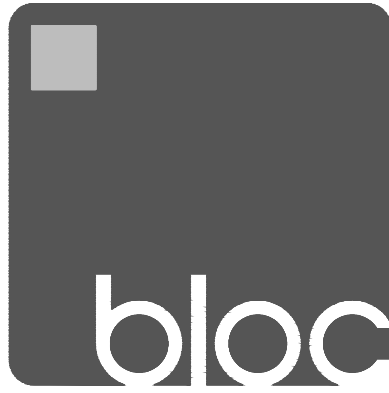


VIEW FROM HAMILTON STREET AND I-277 BRIDGE



VIEW FROM PRIVATE STREET 'A' AND 'B' INTERSECTION

NOTE:
ARCHITECTURAL RENDERINGS
PREPARED BY LS3P ASSOCIATES, LTD.



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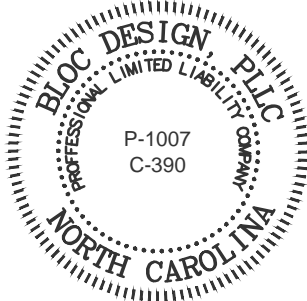
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TITLE:
DEVELOPMENT AREA 'A' CONCEPTUAL
ARCHITECTURAL RENDERINGS

SHEET NO:
RZ-4