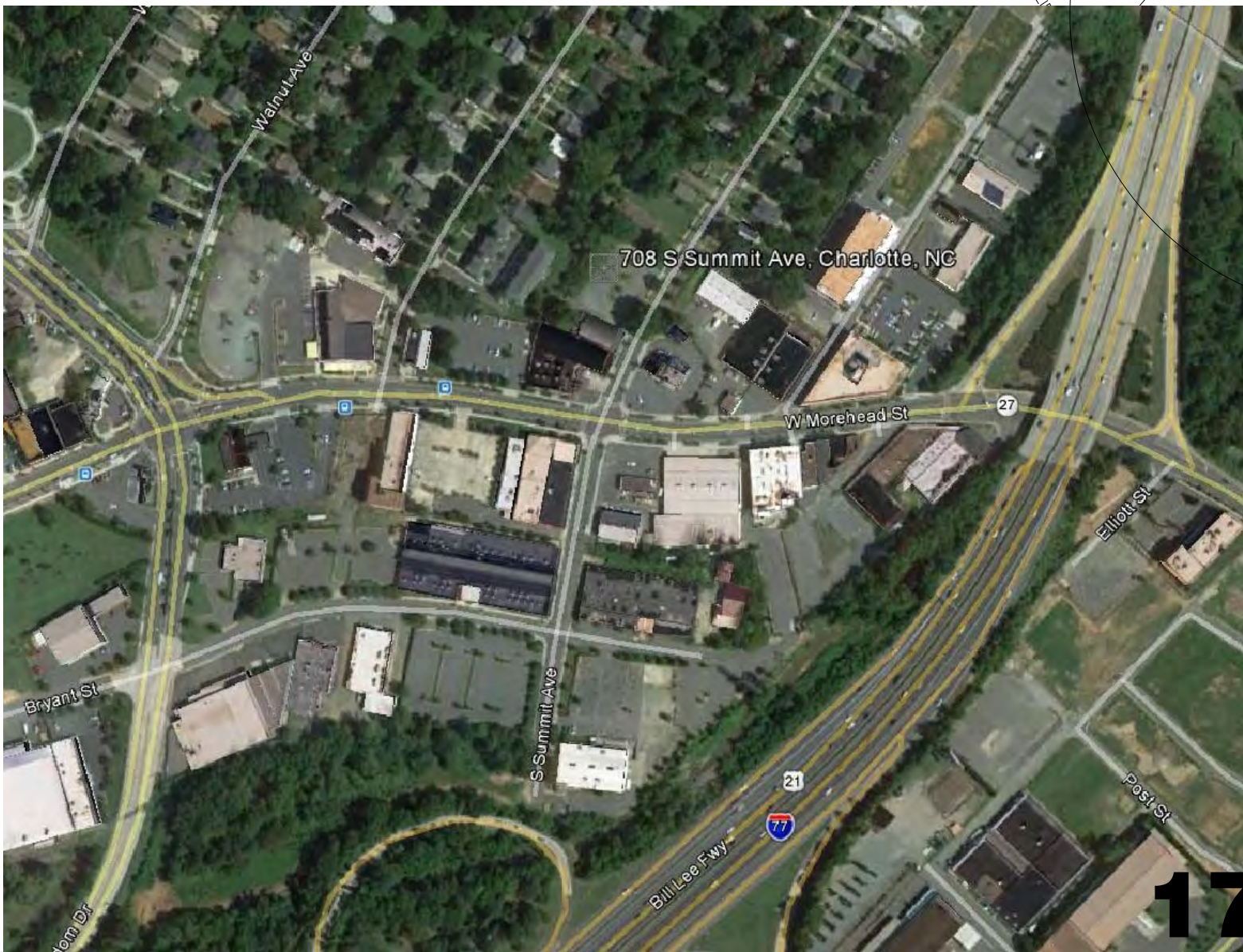
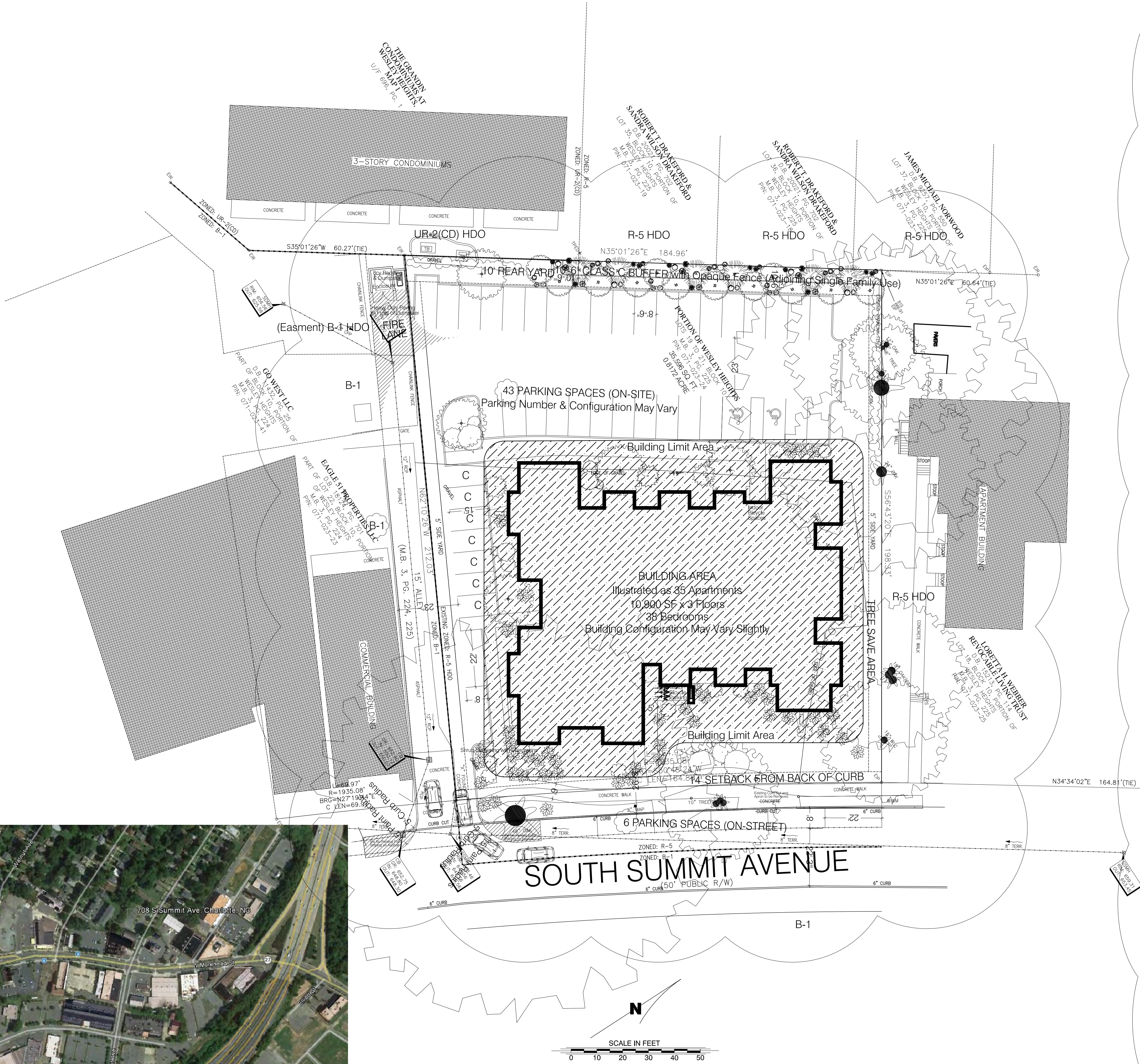


The Architectural plans are the property of Miller Architecture and may not be reproduced without the written agreement of Tony F. Miller, AIA. Partial Electronic Files provided to coordinate design trades and are for reference and coordination only. They are not to be used for construction or contract pricing. The printed documents always take precedence over the Electronic Files. Reproductions of electronic files are not allowed. Only Architect and Engineer sealed written documents are part of the "Construction Documents" and take precedence over any other information. The drawings represent the Owner's intention of scope scale and materials. Changes may be made to comply with Historic Review Board Comments, Community Comments, Planning Staff Comments and Marketing Considerations.



VICINITY PLAN

17
NTS



CONDITIONAL PLAN

SITE PLAN COMMENTS (Revisions in Bold Type)

- Development Data Table
 - Site Acreage: 0.8172 Acres (35,596sf)
 - Tax Parcel: 07102324
 - Existing Zoning: R-5 HD-O (within Wesley Heights Historic District Overlay)
Proposed Zoning: UR-2 (CD) HD-O (within Wesley Heights Historic District Overlay)
 - Existing Use: Vacant Gravel Parking Lot, Proposed Use: Multi-Family
 - Number of Residential Units: Up to 35 Apartments (as allowed by parking)
 - Residential Density: As allowed by UR-2 Zoning requirements
 - Square footage of Non-Residential Uses: Up to 2,500sf Accessory Use (Lounge & Deck and/or Street Level Retail)
 - Floor Area Ratio: Up to 1.0 (35,596sf)
 - Maximum Building Height: As allowed by UR-2 Zoning requirements
 - Number and/or Ratio of Parking Spaces: Up to 48 on-site & 6 on-street
 - Amount of Open Space: As required by UR-2 Zoning requirements
- General Provisions
 - Use & Design is controlled by Applicable Ordinances.
 - Alterations to the Conditional Plan are subject to Section 6.207
- Optional Provisions (not applicable)
- Permitted Uses
 - Allowed Uses: Multi-Family Residential & Accessory to Residential, Street Level Retail & Parking
 - Prohibited Uses: All other uses allowed in UR-2
 - Other Use Restrictions: None
- Transportation
 - No Dedication or reservation of Street right-of-way to City/NC DOT
 - Driveway Apron will be widened to minimum 23' and to the extent allowed between adjoining Building and existing mature tree in collaboration with City Arborist and CDOT.
 - Existing Public Street
 - Parking Location: Surface on-site and striping of on-street 8' wide parking spaces within South Summit 30' curb-to-curb width.
 - Transit: Existing Bus Route on West Morehead Street
 - No Right-of-Way Abandonment.
 - Location of Proposed bike parking: At Building Entrance(s)
 - Location of existing and proposed thoroughfares: NA
- Architectural Standards
 - Building Materials: Brick, Siding and Fiberglass Asphalt Shingles as approved by Historic District Commission Review.
 - Building Scale & number of Buildings: One Building with height per UR-2 (CD) limitations, facade stepped back and down on residential side.
 - Treatment of Urban Design & Architectural Elements: As approved by Historic District Commission.
 - Treatment of solid waste and recycling enclosures: Opaque with detail to be approved by Historic District Commission.
 - Fence/Wall standards: Solid wood with detail to be approved by Historic District Commission.
- Streetscape and Landscaping
 - Streetscape: Sidewalk and Street planting strip may be modified from requirements to preserve and protect existing mature street trees and to merge to neighboring sidewalk in collaboration with City Arborist, CDOT and Planning.
 - Special landscape, buffer, screening: Class C buffer 10'-6" wide with opaque wood fence abutting R-5 uses in rear of site. Shrubs with evergreens will be located between Summit Street and side parking. Site will comply with City of Charlotte Tree Ordinance.
- Environmental Features
 - Tree Save will be as required by Ordinance.
 - The project shall comply with Post Construction Controls Ordinance.
 - Environmental provisions will be as required by local Ordinances.
- Parks, Greenways and Open Space
 - There are no reservations/dedications of Park and/or Greenway on this site.
 - Park/Greenway improvements are not applicable.
 - There are no connections to Parks/Greenways.
 - Open Space on-site will be as required by Ordinance.
- Fire Protection
 - Fire Lane is shown on site plan partially on Easement property legally dedicated to this use.
- Signage
 - Signage will be limited by Ordinance for UR-2 Zoning District.
- Lighting
 - Freestanding lighting will be limited to 20' in height and shall utilize full cut-off type lighting fixtures. No wall-pak type lighting will be allowed.
- Phasing
 - Development shall be substantially built in a single phase.
- Other
 - Building & Parking configuration may vary slightly from illustrations to comply with Historic Property Commission review and further Planning, Tree Save, CDOT, Code, Community & Marketing requirements. Driveway apron, sidewalk and street planting strip will be requested to vary from City requirements to preserve existing mature trees the City Arborist deems worthy of preservation.
 - NA
 - NA
 - NA
 - Utilities shall be underground.
 - Dumpster and Recycling Containers will be located on shared Easement legally designated for this purpose and shared between neighboring property Owners.

05
1:20

CONDITIONAL NOTES

01



MILLER
ARCHITECTURE

715 NORTH CHURCH STREET SUITE 140
CHARLOTTE NC 28202
704 377 8500
www.millerarchitecture.com

SURVEYOR
R. B. Pharr & Associates, P.A.
420 Hawthorne Lane
Charlotte, NC 28204
C Clark Neilson 704-376-2186
cneilson@rbpharr.com

708 SOUTH SUMMIT

PETITION #2013-022

SOUTH SUMMIT AVENUE
AT MOREHEAD AVENUE
CHARLOTTE, NC 28208

FOR
MISSION PROPERTIES, LLC

RECEIVED
By mcataldo at 4:14 pm, Jan 18, 2013

ISSUED FOR: REZONING
ISSUE DATE: 11/18/12
REVISIONS: 01/15/13
Staff Comments
& HDC Comments

SITE PLAN COMMENTS & ILLUSTRATIVE SITE PLAN 1 of 3

FILE NAME: 00-SM-Technical Data.dwg
DRAWN BY: JVT/TFM
CHECKED BY: TFM

2101



SOUTH SUMMIT SIDEWALK SCALE & SETBACKS NTS



SOUTH SUMMIT FACING RECESSED ENTRANCE NTS



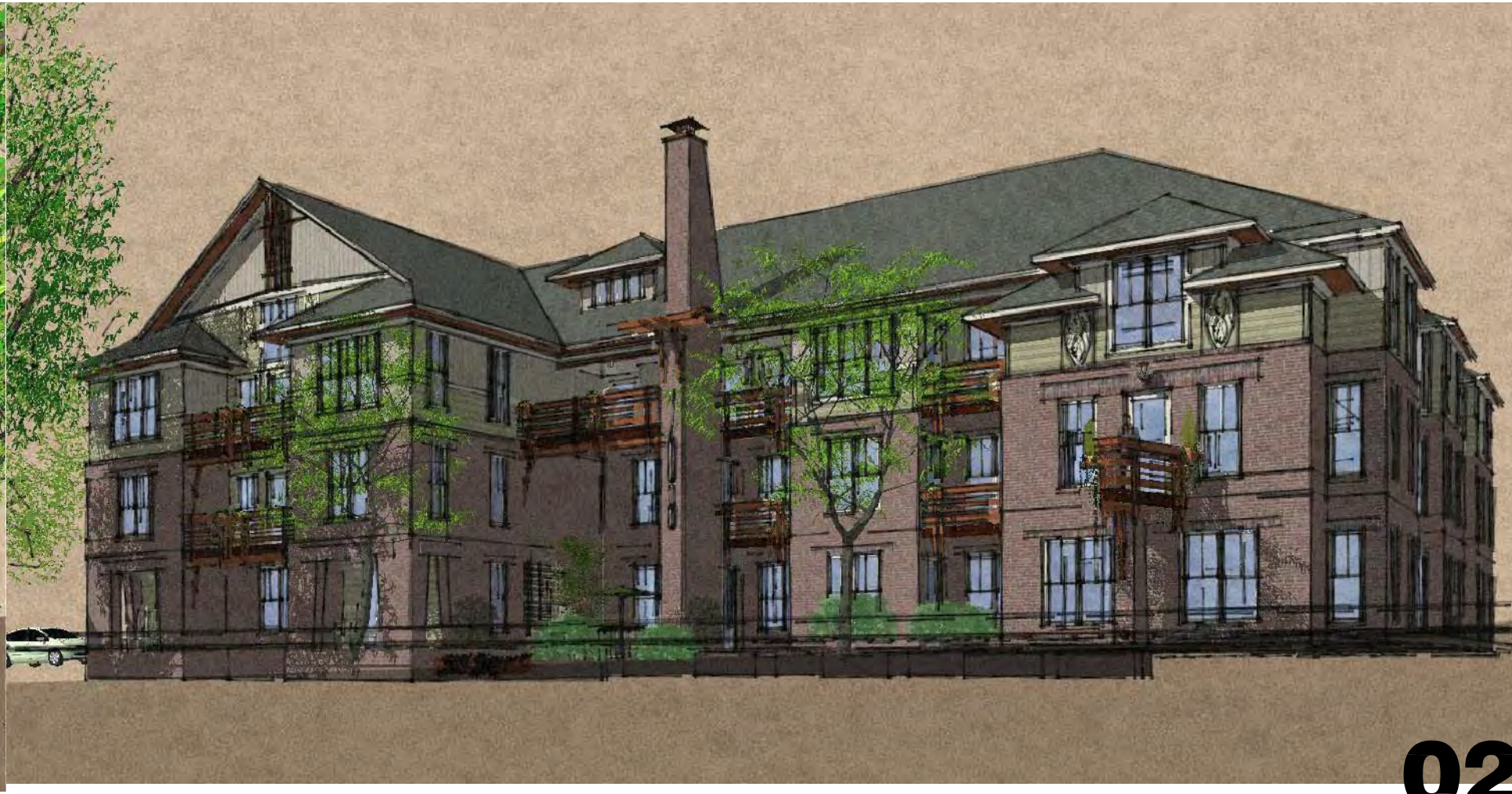
PERSPECTIVE FROM OPEN KITCHEN PARKING LOT SHOWING DIMINISHING SCALE TOWARD SINGLE FAMILY USES



AERIAL VIEW SHOWING SETBACK to RESIDENTIAL



STREET VIEW AT DRIVEWAY ENTRANCE NTS



FRONT SHOWING SCALE REDUCTION to RESIDENTIAL NTS



SIDE ELEATION to RESIDENTIAL APT BUILDING NTS



DRIVEWAY SIDE ELEVATION to COMMERCIAL NTS



SOUTH SUMMIT AVENUE ELEVATION NTS

The Architectural plans are the property of Miller Architecture and may not be reproduced without the written agreement of Tony F. Miller, AIA. Partial Electronic Files provided to coordinate design trades and are for reference and coordination only. They are not to be used for construction or contract pricing. The printed documents always take precedence over the Electronic Files. Reproductions of electronic files are not allowed. Only Architect and Engineer sealed written documents are part of the "Construction Documents" and take precedence over any other information.

The drawings represent the Owner's intention of scope scale and materials. Changes may be made to comply with Historic Review Board Comments, Community Comments, Planning Staff Comments and Marketing Considerations.



MILLER
ARCHITECTURE

715 NORTH CHURCH STREET SUITE 140
CHARLOTTE NC 28202
704 377 8500
www.millerarchitecture.com

SURVEYOR
R. B. Pharr & Associates, P.A.
420 Hawthorne Lane
Charlotte, NC 28204
C Clark Neilson 704-376-2186
cnelson@rbpharr.com

708 SOUTH SUMMIT

PETITION #2013-022

SOUTH SUMMIT AVENUE
AT MOREHEAD AVENUE
CHARLOTTE, NC 28208

FOR
MISSION PROPERTIES, LLC

ISSUED FOR: REZONING
ISSUE DATE: 11/18/12
REVISIONS: 01/15/13
Staff Comments
& HDC Comments

ILLUSTRATIVE
DESIGN
2 of 3

FILE NAME: 00-SM-Illustration Sheet.dwg
ILLUSTRATIONS BY: Tony F Miller, AIA LEED AP
CHECKED BY: TFM

Z102



MILLER
ARCHITECTURE

715 NORTH CHURCH STREET SUITE 140
CHARLOTTE NC 28202
704 377 8500
www.millerarchitecture.com

SURVEYOR
R. B. Pharr & Associates, P.A.
420 Hawthorne Lane
Charlotte, NC 28204
C Clark Neilson 704-376-2186
cnelson@rbpharr.com

708 SOUTH SUMMIT

PETITION #2013-022

SOUTH SUMMIT AVENUE
AT MOREHEAD AVENUE
CHARLOTTE, NC 28208

FOR
MISSION PROPERTIES, LLC

ISSUED FOR: REZONING
ISSUE DATE: 11/18/12
REVISIONS: 01/15/13
Staff Comments
& HDC Comments

EXISTING
SURVEY
3 of 3

FILE NAME: 78799.dwg
DRAWN BY: RB Pharr & Associates
CHECKED BY: RB Pharr & Associates

Z103

LEGEND:

BFP - BACK FLOW PREVENTOR
C&G - CURB & GUTTER
CB - CATCH BASIN
CI - CURB INLET
CMP - CORRUGATED METAL PIPE
CP - CALCULATED POINT
CPP - CORRUGATED PLASTIC PIPE
C/O - CLEAN OUT
D.B. - DEED BOOK
DI - DROP INLET
DIP - DUCTILE IRON PIPE
ECM - EXISTING CONCRETE MONUMENT
EIP - EXISTING IRON PIPE
EIR - EXISTING IRON ROD
EMM - EXISTING METAL MONUMENT
EN - EXISTING NAIL
EOG - EDGE OF GRAVEL
EOP - EDGE OF PAVEMENT
EU - END UNKNOWN
FC - FIRE CONNECTION
FH - FIRE HYDRANT
FP - FLAG POLE
FV - FIRE VALVE
GDP - GUARD POST
GLT - GROUND LIGHT
GM - GAS METER
GP - GATE POST
GV - GAS VALVE
GW - GUY WIRE
HVAC - HEATING, VENTILATION, AIR COND.
HW - HEADWALL
ICV - IRRIGATION CONTROL VALVE
JBX - JUNCTION BOX
LMP - LAMP POST
LP - LIGHT POLE
(M) - MEASURED
MBX - MAILBOX
M.B. - MAP BOOK
MW - MONITORING WELL
N.G.S. - NATIONAL GEODETIC SURVEY
NR - NEW IRON ROD
NN - NEW NAIL
OHANG - OVERHANG
PB - POWER BOX
PIN - PARCEL IDENTIFICATION NUMBER
PM - POWER METER
PMH - POWER MANHOLE
PP - POWER POLE
PG - PAGE
PVC - PLASTIC PIPE
(R) - RECORDED
R/W - RIGHT-OF-WAY
RCP - REINFORCED CONCRETE PIPE
RW - RETAINING WALL
SBB - BILLBOARD
SDMH - STORM DRAIN MANHOLE
SMP - MULTI-POST SIGN
SSMH - SANITARY SEWER MANHOLE
(T) - TOTAL
TB - TELEPHONE BOX
TERR - TERRACOTTA PIPE
TMH - TELEPHONE MANHOLE
TSB - TRAFFIC SIGNAL BOX
TVB - CABLE TV BOX
WR - WATER BOX
WM - WATER METER
WSP - WATER SPIGOT
WV - WATER VALVE

LINE LEGEND:

EASEMENT
FENCE
GUARD RAIL
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETRACK
CABLE TV LINE
FIBER OPTIC LINE
GAS LINE
POWER LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
TELEPHONE LINE
TELEPHONE LINE (UNDERGROUND)
WATER LINE
WOOD FENCE

TREE LEGEND:

BCH - BEECH
BR - BIRCH
BRAD - BRADFORD PEAR
CED - CEDAR
CH - CHERRY
CRP - CREPE MYRTLE
DGW - DOGWOOD
HIC - HICKORY
HOL - HOLLY
LOC - LOCUST
MAG - MAGNOLIA
MAP - MAPLE
PEC - PECAN
PIN - PINE
POP - POPLAR
SIC - Sycamore
WLN - WALNUT
WLC - WILD CHERRY

NOTES:

- THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- NO RECOVERABLE NGS MONUMENT LOCATED WITHIN 2,000 FEET OF SUBJECT PROPERTY.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- ELEVATIONS BASED ON CITY OF CHARLOTTE CONTROL "UPTOWN CONTROL NAIL 24". ELEVATION = 737.67 FEET, NAVD 88.
- BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

ZONING RESTRICTIONS AS PER ZONING ORDINANCE:
SUBJECT PROPERTY ZONED: R-5 (SINGLE FAMILY DISTRICT)

MINIMUM SETBACK:
20' (ALONG A DESIGNATED THOROUGHFARE)
32' (FROM EXISTING OR FUTURE BACK OF CURB)
MINIMUM SIDE YARD: 5'
MINIMUM REAR YARD: 35'
MAXIMUM BUILDING HEIGHT: 40'

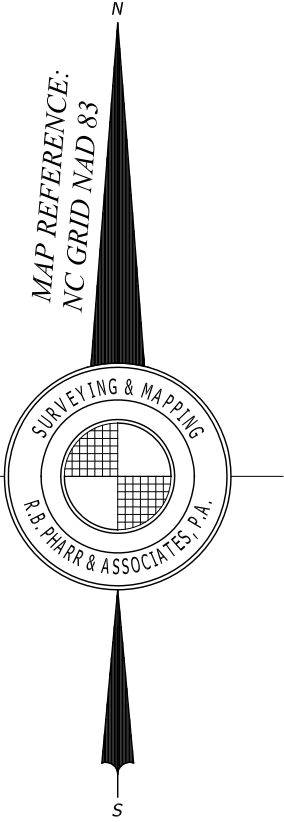
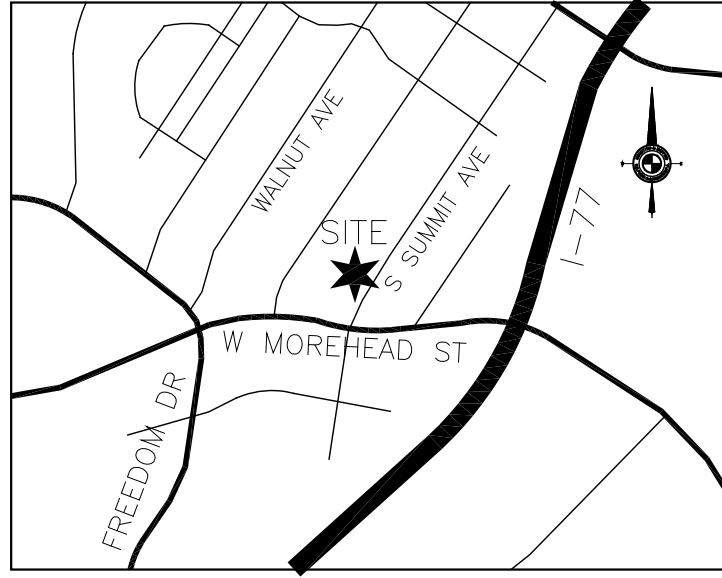
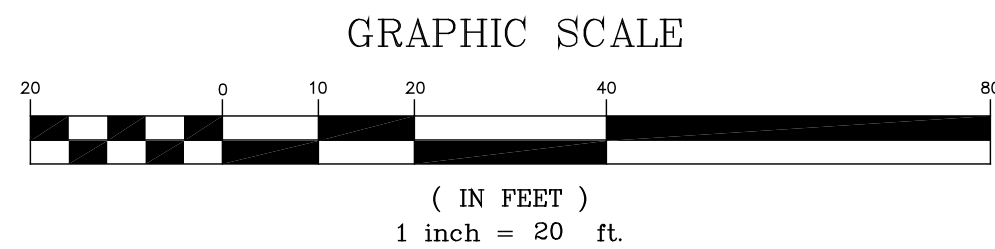
FOR FURTHER INFORMATION CONTACT THE
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT AT
704-336-3569.

UTILITIES:

POWER
DUKE POWER ENERGY
1-800-777-9898
TELEPHONE
BELL SOUTH TELECOMMUNICATIONS
1-888-757-6500
WATER & SEWER
CHAR-MECK. UTILITY DEPT. (CMUD)
(704) 336-2564 WATER
(704) 357-6064 SEWER
GAS
PIEDMONT NATURAL GAS CO.
1-800-753-7504
CABLE TELEVISION
TIME WARNER CABLE
1-800-892-2253



Know what's below.
Call before you dig.



THE GRANDIN
CONDOMINIUMS AT
WESLEY HEIGHTS,
MAP 1
U/F 636, PG. 1

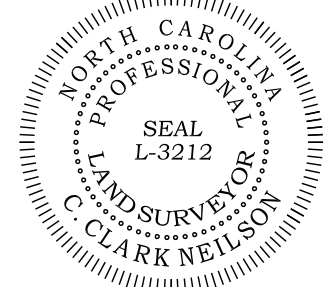
GO WEST LLC
D.B. 11432, PG. 25
PART OF BLOCK 10, PORTION OF
WESLEY HEIGHTS
M.B. 3, PG. 224
PIN: 071-023-41
ZONED B-1

EAGLE 51 PROPERTIES LLC
D.B. 18124, PG. 701
PART OF LOT 22, BLOCK 10, PORTION
OF WESLEY HEIGHTS
M.B. 3, PG. 224
PIN: 071-023-23
ZONED B-1

PORTION OF WESLEY HEIGHTS
LOTS 19 TO 21, BLOCK 10
M.B. 3, PG. 225
PIN: 071-023-24
35,596 SQ. FT.
0.8172 ACRE
EXISTING ZONED R-5 HDO

FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY FLOOD
LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON
MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT
AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED
FLOODDATE
COMMUNITY PANEL NO: COMMUNITY-PANEL

THIS IS TO CERTIFY THAT ON THE DAY OF MONTH 20 08 AN ACTUAL SURVEY WAS MADE
UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE
IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND
SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (21 NCAC 56) AND THE RATIO OF PRECISION DOES NOT EXCEED AN
ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 26 SECONDS TIMES THE SQUARE
ROOT OF THE NUMBER OF ANGLES TURNED.
SIGNED



REVISIONS		PREPARED FOR MISSION PROPERTIES, LLC 708 SOUTH SUMMIT AVENUE CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C. DEED REFERENCE: NO DEED FOUND LOT 19 TO 21, BLOCK 10, WESLEY HEIGHTS MAP REFERENCE: BOOK 3, PAGE 225 TAX PARCEL NO: 071-023-24			
		R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING LICENSE NO C-4471 420 HAWTHORNE LANE CHARLOTTE, NC 28204 TEL (704) 376-2186			
CREW	DRAWN	REVISED	SCALE	DATE	FILE NO. W- JOB NO. JOB-NO
CREW	DRAWN	REV	SCALE	DATE	

PLOTTED: 1/17/2013
M:\WORKING DRAWINGS\WULTH-FAMILY\SUMMIT AT
MOREHEAD\78799.DWG