

CHARLOTTE, NC

## VICINITY MAP

NOT TO SCALE

02

### NOTES:

1. THE FIRST FLOOR OF ALL BUILDINGS WILL BE DESIGNED WITH PEDESTRIAN INTEREST AND ACTIVE USES.
2. BUILDINGS WILL BE DESIGNED TO INTEGRATE VARIATION THROUGH ARCHITECTURAL CONTROLS AND MATERIALS ON ALL FOUR SIDES. THE MATERIALS MAY POTENTIALLY INCLUDE BRICK, STONE, GLASS, AND OR COATED METAL, AND FABRIC AWNINGS. THE BUILDING TOP, SHAFT, AND BASE WILL BE CLEARLY DELINEATED AS INDIVIDUALLY IDENTIFIABLE COMPONENTS.
3. THE ELEVATION OF THE 20 AND 12 STORY BUILDINGS ALONG I-77 AND THE INTERNAL ROADWAYS WILL BE DESIGNED TO STEP BACK 10 FEET TO DECREASE MASSING ABOVE THE FOURTH OR FIFTH FLOOR. THE ELEVATIONS FROM I-77 WILL BE DETAILED WITH ARCHITECTURAL INTEREST/WINDOWS. LARGE SINGLE/BLANK WALLS WILL BE AVOIDED.
4. ALL BUILDINGS WILL INCLUDE ARCHITECTURAL ELEMENTS TO CREATE VISUAL SCALE AND INTEREST. THESE ELEMENTS COULD INCLUDE BUT NOT BE LIMITED TO VERANDAS AND/OR SECOND OR THIRD FLOOR TERRACES.
5. A MINIMUM OF 50% OF THE GROUND FLOOR AREA ALONG THE ROADWAYS, EXCEPT ALONG I-77, WILL CONTAIN RETAIL, OFFICE, PERSONAL USES, OR RESIDENTIAL USES. ALL FIRST FLOOR USES WILL INCLUDE CLEAR GLASS AND DOORS ALONG THERE FACADES.
6. ALL SURFACE AND DECK PARKING WILL BE SCREENED FROM PUBLIC R.O.W. USING METHODS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LOW SCALED SCREEN WALLS, OR DECORATIVE GRILLS.
7. BUILDING ENTRANCES WILL BE RECESSED AND DESIGNED TO BE CLEARLY IDENTIFIABLE.
8. ALL PEDESTRIAN LIGHTING WILL BE SHIELDED WITH FULL CUT-OFF FIXTURES.
9. THE PROJECT WILL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS AND SNIM BUFFER ORDINANCES.
10. THE PROJECT WILL COMPLY WITH SNIM BUFFER MITIGATION REQUIREMENTS DUE TO THE PROJECTS ENCROACHMENT ON THE 100' SNIM BUFFER.
11. STORM WATER DETENTION WILL BE HANDLED WITH A SYSTEM OF SUBGRADE CISTERNS.

### TOTAL ACREAGE TO BE REZONED:

4.71 ACRES  
0.19 ACRES FROM PARCEL # 0781310  
4.52 ACRES FROM PARCEL # 07813105

### CURRENT ZONING:

UR-2 & UR-3

### PROPOSED ZONING:

UMUD

### PROPOSED USE:

MIXED-USE DEVELOPMENT INCLUDING COMMERCIAL CLASS-A OFFICE, SERVICE RETAIL, RESIDENTIAL & PARKING DECK

### PROPOSED SQUARE FOOTAGE:

100,000 SF OF COMMERCIAL CLASS-A OFFICE  
12,000 SF OF SERVICE RETAIL  
416 RESIDENTIAL UNITS

### PROPOSED HEIGHT:

PROJECT INCLUDES-  
6 STORY MID-RISE  
12 STORY MID-RISE  
20 STORY HIGH-RISE @ 275 FEET TALL  
THE BUILDING HEIGHT COMPLIES WITH SECTION 9.05 (4) BECAUSE THE PROJECT DOES NOT ABUT ANY RESIDENTIALLY ZONED PROPERTY WITH A RESIDENTIAL STRUCTURE LESS THAN 40 FEET IN HEIGHT.

### REGULATORY FLOOD PLAIN:

1. ZONE "X" OTHER FLOOD AREAS (Mecklenburg County)  
Areas of future conditions 1% annual chance flood, areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood.
2. ZONE "X" OTHER AREAS  
Areas determined to be outside the 0.2% annual chance floodplain, areas outside future conditions 1% annual chance floodplain.

### PARKING REQUIREMENT:

112,000 SQ. FT. COMMERCIAL & SERVICE RETAIL  
112,000/1,000 x 5 = 56 SPACES

416 RESIDENTIAL UNITS  
1 SPACE PER UNIT = 416 SPACES

54 RESERVED SPACES FOR RAY'S SPLASH PLANET  
= 54 SPACES

REQUIRED PARKING = 531 TOTAL SPACES

### PROPOSED PARKING:

PARKING WILL MEET MINIMUM ORDINANCE STANDARDS WITH ON-SITE PARKING OR A COMBINATION OF ON-SITE AND OFF-SITE PARKING AS ALLOWED BY THE ORDINANCE

### OPEN SPACE:

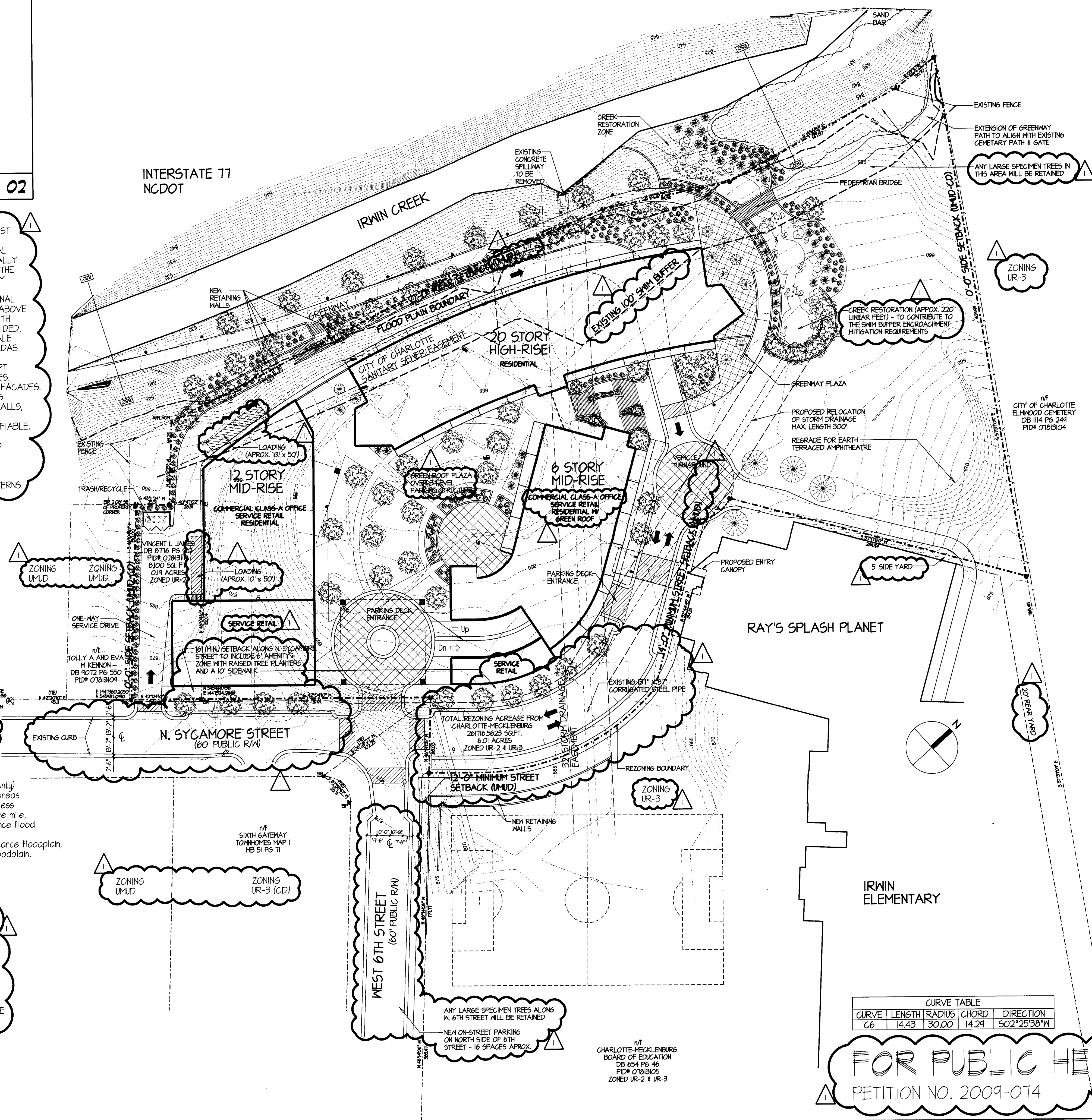
106,679 SQ. FT. (2.45 ACRES)

### AREA OF SNIM BUFFER IMPACTED:

25,158.72 SQ.FT. (0.58 ACRES)

### AREA OF POST CONSTRUCTION CONTROL MEASURES AND SNIM BUFFER IMPACT MITIGATION:

34,849.93 SQ. FT. (0.80 ACRES)



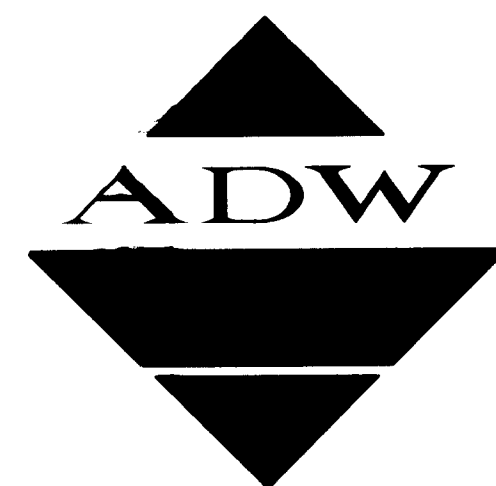
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	DIRECTION
C6	14.43	30.00	14.24	S02°25'38"W

FOR PUBLIC HEARING  
PETITION NO. 2009-074

SCHEMATIC SITE PLAN

SCALE 1" = 40'-0"

01



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## New Mixed-Use Development

SYCAMORE  
AT  
GATEWAY

CHARLOTTE, NC

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## SCHEMATIC SITE PLAN

DATE: 07.27.09 JOB NO: 08073

### REVISIONS:

NO. DATE DESCRIPTION:  
1 9/17/09 REVISION #1

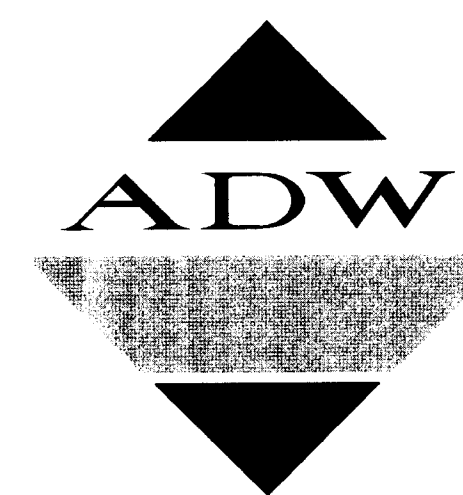
2009-074

SHEET NUMBER

SP-1

of Total





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## OPEN SPACE PLAN

DATE: 07.27.09 JOB NO: 08073

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SHEET NUMBER

SP-2

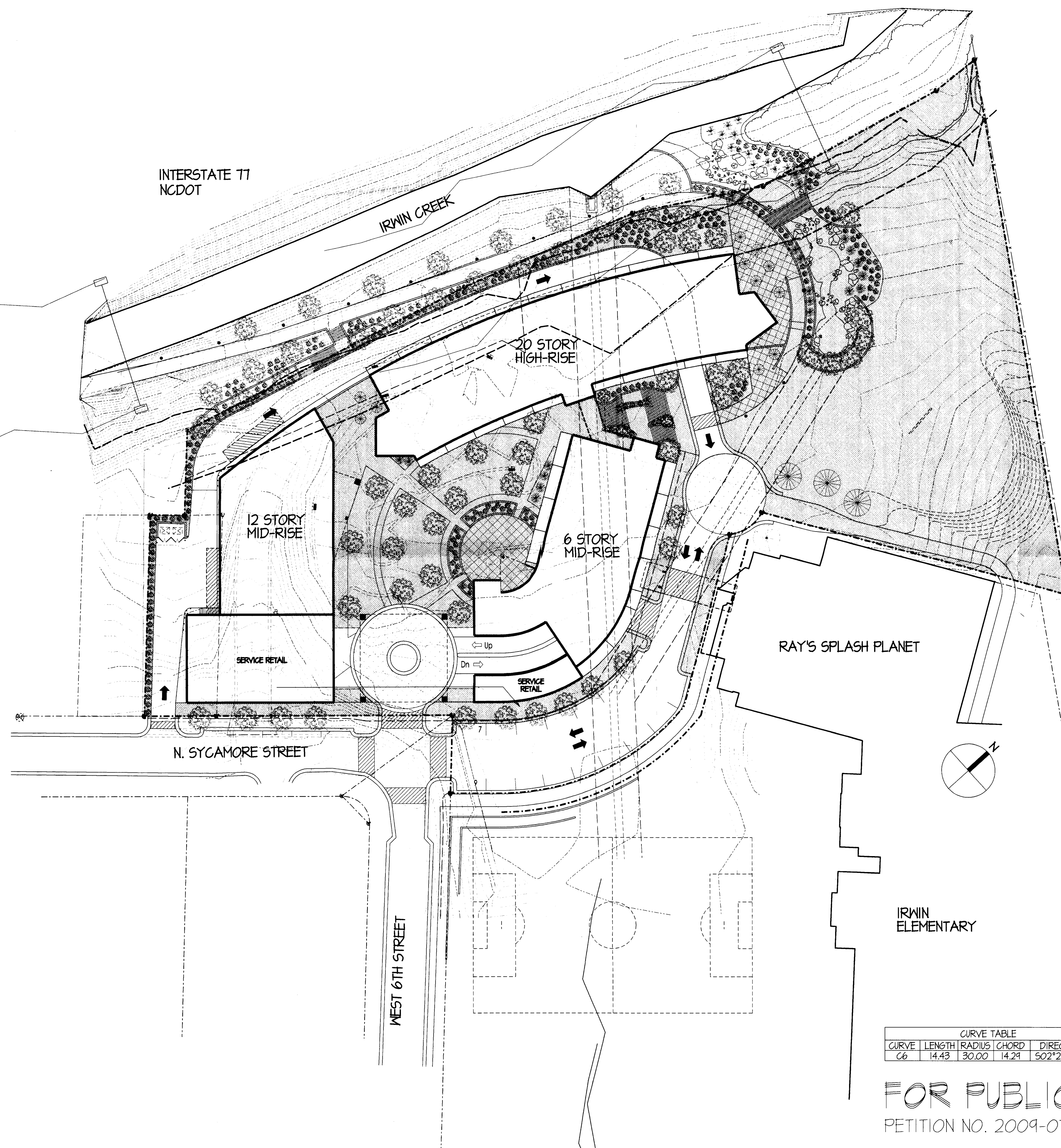
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### OPEN SPACE CALCULATIONS:

Total Site: 146,841sf

Required Open Space @ 1sf/100sf = 1,468sf

Open Space Provided: 106,647sf



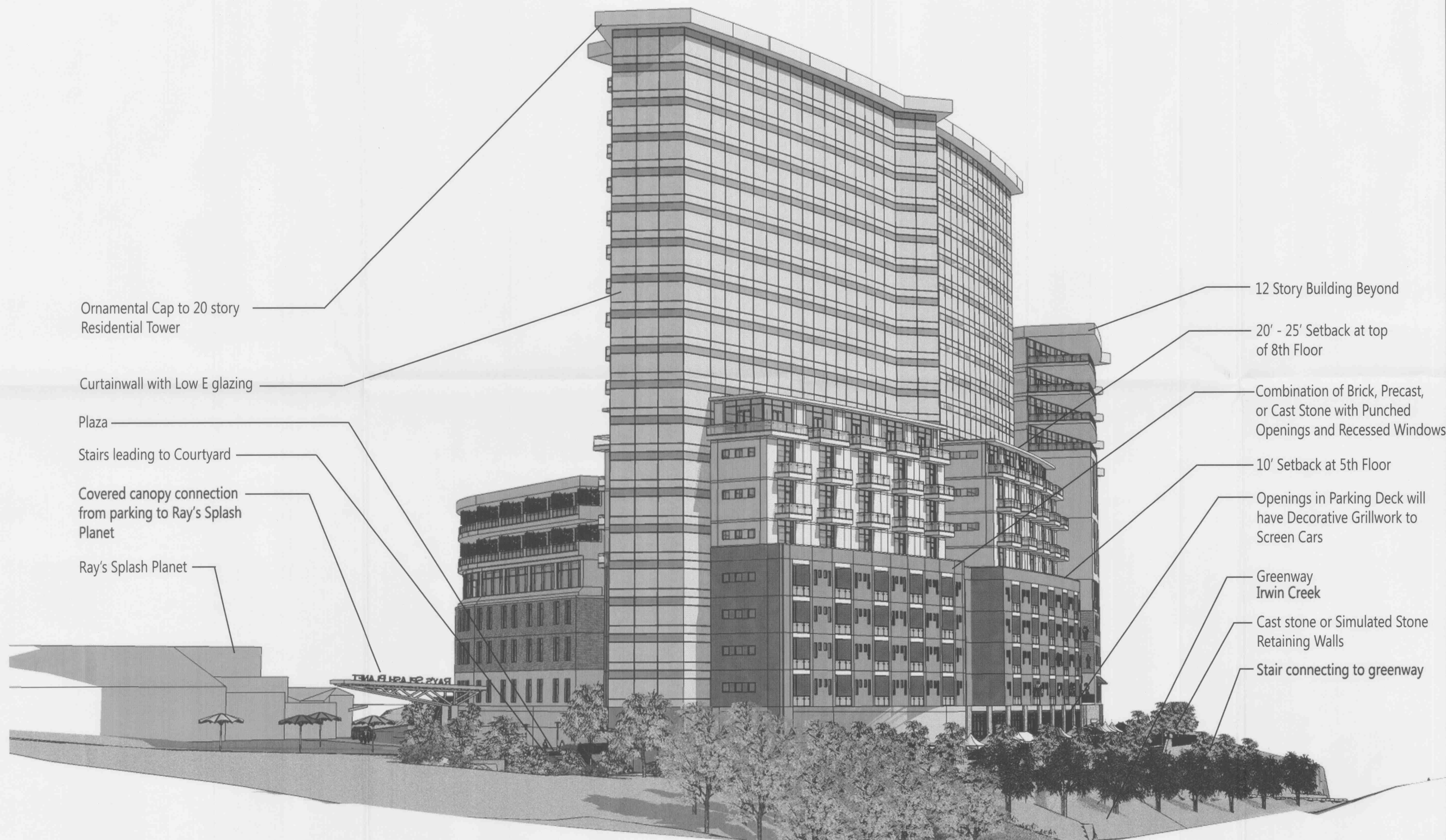
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OPEN SPACE PLAN

SCALE 1" = 40'-0"

01





Ornamental Cap to 20 story  
Residential Tower

Curtainwall with Low E glazing

Plaza

Stairs leading to Courtyard

Covered canopy connection  
from parking to Ray's Splash  
Planet

Ray's Splash Planet

12 Story Building Beyond

20' - 25' Setback at top  
of 8th Floor

Combination of Brick, Precast,  
or Cast Stone with Punched  
Openings and Recessed Windows

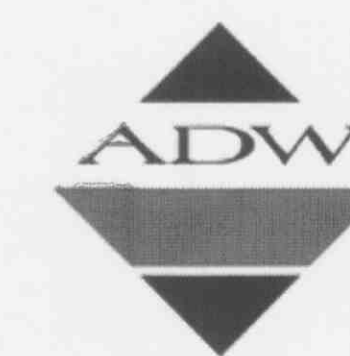
10' Setback at 5th Floor

Openings in Parking Deck will  
have Decorative Grillwork to  
Screen Cars

Greenway  
Irwin Creek

Cast stone or Simulated Stone  
Retaining Walls

Stair connecting to greenway



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## PERSPECTIVE

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PERSPECTIVE VIEW

SCALE = NTS

01



Ornamental cap to terminate tower

Curtain wall glazing with cantilevered balconies

North facade to be similar to north facade

Continuous glazing with corner balconies for upper level residential units

Curtain wall or storefront with precast (stepped back at 7th floor)

Building steps back 10'-0" at 5th floor

Differentiation of 3rd and 4th floor with modest step-back and change of material

Continuous glazing with cantilevered balconies

Building steps back 10'-0" at 5th floor

1st through 8th floors will have combination of brick/precast or cast stone and recessed balconies. Building will step at 5th floor

Combination of brick, precast, or cast stone with punched openings with windows recessed

Cast stone or simulated stone base with storefront, clear glass openings, and awnings at base of building

Glass connections

Base of building will be clad in cast or simulated stone with clear glass storefront and awnings

Retail at street level on Sycamore Street

New covered canopy connecting to Ray's Splash Planet

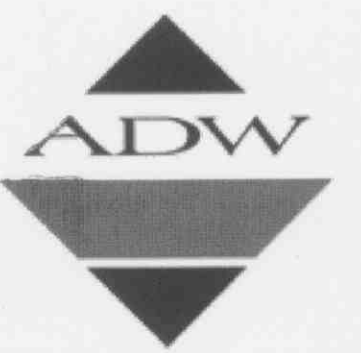
Retail at street level of building fronting Sycamore Street

Arched opening providing access to courtyard and vehicular access to parking deck below grade

PERSPECTIVE VIEW

SCALE = NTS

01



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PERSPECTIVE

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3		
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5		

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2009-074

**New Mixed-Use Development**

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CHARLOTTE, NC

SEP 1 8 2009

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**ILLUSTRATIVE MASTER PLAN**

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## New Mixed-Use Development

SYCAMORE  
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CATERLEY

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