



**Architects, p.a.**  
 1401 WEST BROAD STREET, SUITE 100  
 CHARLOTTE, NORTH CAROLINA  
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 www.adwarchitects.com

## New Mixed-Use Development

**SYCAMORE**  
 DEVELOPMENT

CHARLOTTE, NC

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## ILLUSTRATIVE MASTER PLAN

DATE: 9/18/19 JOB NO: 08073

REVISIONS

NO.	DATE	DESCRIPTION
1	9/18/19	ISSUED

SHEET NUMBER

of Total



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## New Mixed-Use Development

SYCAMORE  
WOODS

CHARLOTTE, NC

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## PERSPECTIVE

DATE: 9/18/09 JOB NO: 08073

### REVISIONS:

NO.	DATE	DESCRIPTION
1	NTM	REVISION
2		
3		
4		
5		

SHEET NUMBER

of Total

PERSPECTIVE VIEW

SCALE: 1/8" = 1'-0"

01





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## New Mixed-Use Development

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WOODS

CHARLOTTE, NC

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PERSPECTIVE VIEW

SCALE: 1/8" = 1'-0"

01

# PHASE 1

6 Story Mixed-Use Building	220,000sf gross
Level 1 - Service Retail	12,000sf gross
Level 1-3 - Office	88,000sf gross
Level 4-6 - Residential (75 units)	120,000sf gross

The attached building perspectives are intended only to depict the general conceptual architectural style and character of the buildings proposed to be constructed on the site with respect to exterior building materials, design elements (such as balconies and fenestration), the massing and proportions of the buildings and the manner in which the buildings will address the greenway. Changes and alterations that do not materially change the overall conceptual architectural style and character shall be permitted



PHASE 1 SCALE = 1/8" = 1'-0"



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## New Mixed-Use Development

SYCAMORE  
NORTH

CHARLOTTE, NC

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## PERSPECTIVE

SHEET: 05/12/10 JOB NO: 080773

NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMIT
2		
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9		
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SHEET NUMBER

of Total



## PHASE 2

12 Story Building	140,000sf gross
Level 1-8 - Office	80,000sf gross
Level 9-12 - 20 Residential Units	60,000sf gross

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## New Mixed-Use Development

SYCAMORE  
NORTH

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SHEET: 05/12/10 JOB NO: 080773

REV	DATE	DESCRIPTION
1	05/12/10	ISSUED FOR PERMIT
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SHEET NUMBER

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of Total

PHASE 2

SCALE = 1/8" = 1'-0"



# PHASE 3

20 Story Residential Highrise  
with 321 Units

378,000sf gross

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Ornamental cap to terminate tower

Curtain wall glazing with cantilevered balconies

Continuous glazing with corner balconies for upper level residential units

Curtain wall or storefront with precast

Building steps back 10'-0" at 5th floor

Differentiation of 3rd and 4th floor with modest step-back and change of material

Continuous glazing with cantilevered balconies

Green Roof on 6 story building

Building steps back 10'-0" at 5th floor

1st through 8th floors will have combination of brick/precast or cast stone and recessed balconies. Building will step at 5th floor

Combination of brick, precast, or cast stone with punched openings with windows recessed

Cast stone or simulated stone base with storefront, clear glass openings, and awnings at base of building

Brick or integral colored masonry veneer

New covered canopy connecting to Ray's Splash Planet

Retail at street level of building fronting Sycamore Street

Arched opening providing access to courtyard

Glass connections

Base of building will be clad in cast or simulated stone with clear glass storefront and awnings

Retail at street level on Sycamore Street



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## New Mixed-Use Development

SYCAMORE  
WALK

CHARLOTTE, NC

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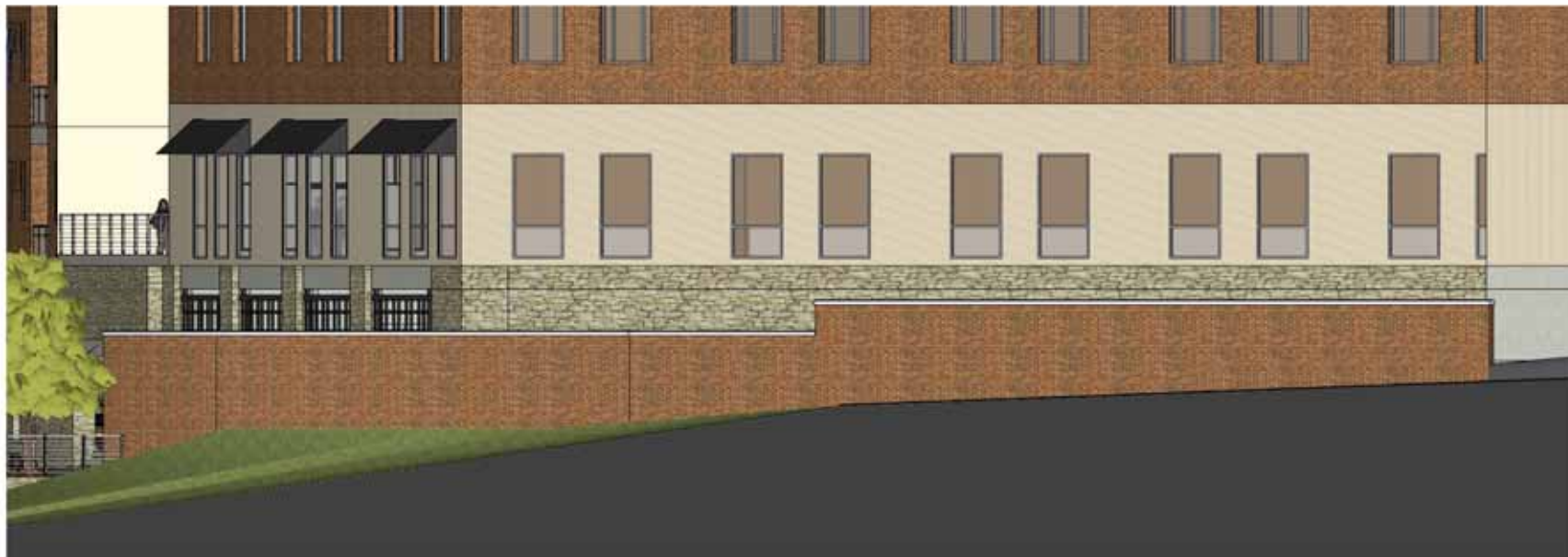
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of Total

PHASE 3 SCALE = 1/8" = 1'-0"







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## New Mixed-Use Development

SYCAMORE  
HILLSIDE

CHARLOTTE, NC

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## SCREEN WALL ELEVATION

DATE: 9/18/09 JOB NO: 08073

REVISIONS		
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SCALE: 1/8" = 1'-0"

01







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New Mixed-Use  
Development

SYCAMORE

CHARLOTTE, NC

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OPEN SPACE PLAN

DATE: 07.27.09 JOB NO: 08073

REVISIONS:

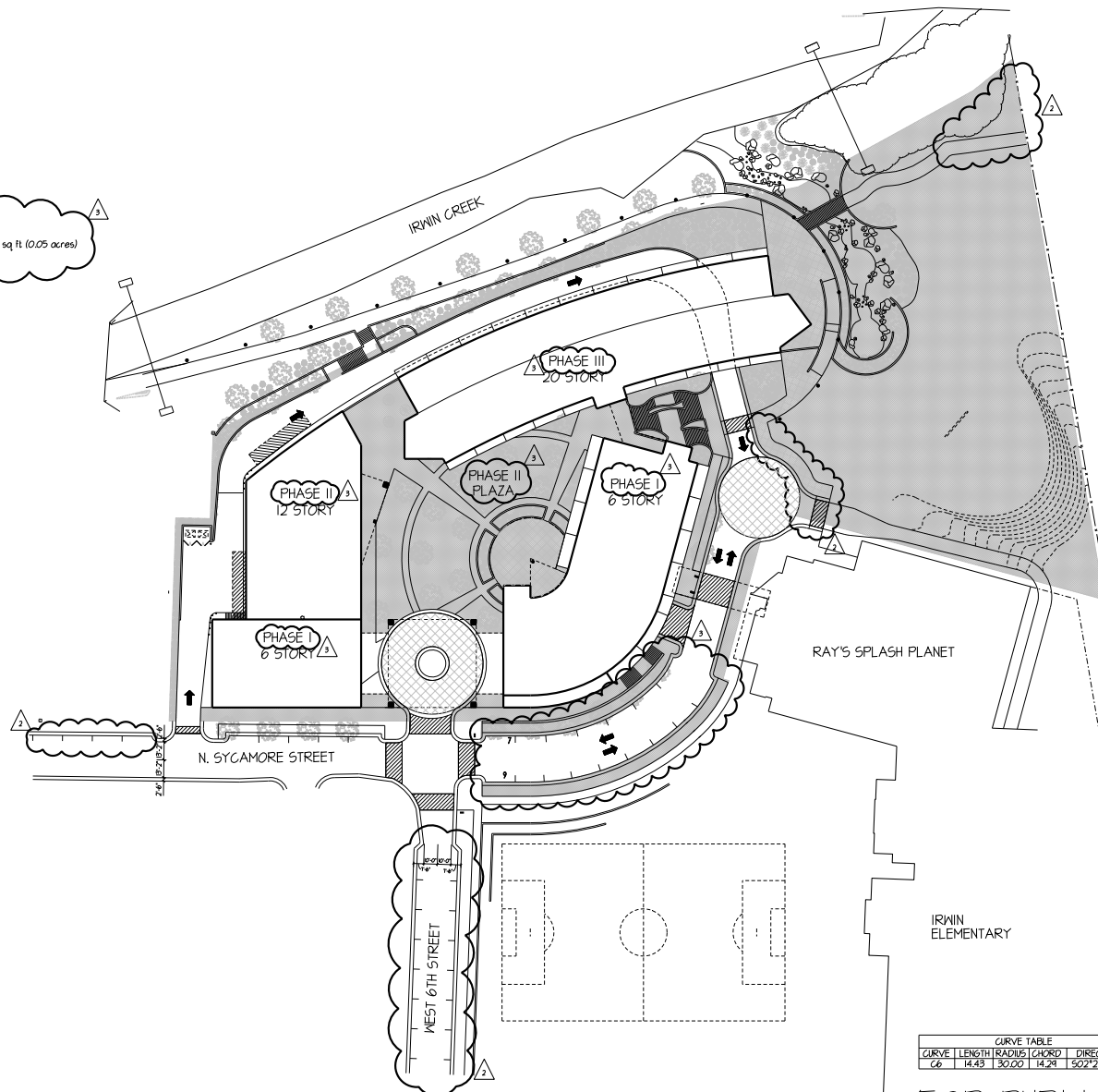
NO.	DATE	DESCRIPTION
1	9/7/09	REVISION #1
2	11/2/09	REVISION #2
3	01/20/10	REVISION #3

SHEET NUMBER

SP-2

of Total

OPEN SPACE CALCULATIONS:  
Total Site: 205,668 sq ft (4.71 acres)  
Required Open Space @ 1 sq ft / 100 sq ft = 2,052 sq ft (0.05 acres)  
Open Space Provided: 106,691 sq ft (2.45 acres)



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	DIRECTION
C6	14.49	30.00	14.24	S02°25'38"W

FOR PUBLIC HEARING  
PETITION NO. 2009-074

OPEN SPACE PLAN

SCALE 1" = 40'-0"

01



CHARLOTTE, NC

VICINITY MAP

NOT TO SCALE

02



SCHEMATIC SITE PLAN

SCALE: 1" = 50'-0"

01



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New Mixed-Use  
Development

SYCAMORE  
AT  
CAPITAL

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SCHEMATIC  
SITE PLAN

DATE: 07.27.09 JOB NO: 08073

REVISIONS

NO.	DATE	DESCRIPTION
1	9/28/09	REVISION #1
2	11/2/09	REVISION #2
3	6/28/10	REVISION #3

SHEET NUMBER  
SP-3  
of Total



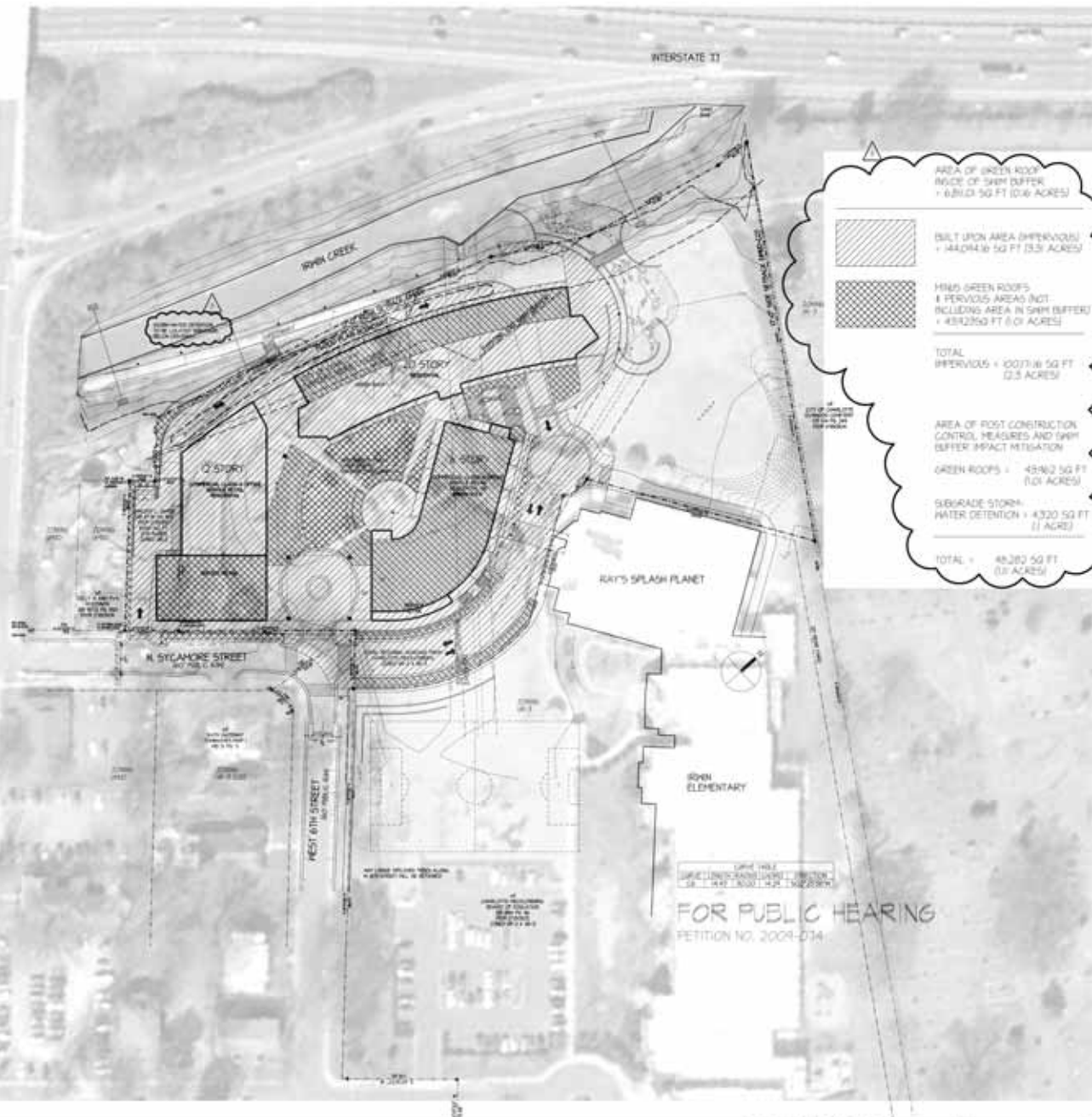


CHARLOTTE, NC

VICINITY MAP

NOT TO SCALE

02



AREA OF GREEN ROOF BUCKLE OF SHIM BUFFER = 6,810.50 SQ FT (0.16 ACRES)	
BUILT UPON AREA (INTERVIOUS) = 14,004.30 SQ FT (0.32 ACRES)	
HARD GREEN ROOFS & PERVIOUS AREAS (NOT INCLUDING AREA IN SHIM BUFFER) = 43,942.50 SQ FT (1.01 ACRES)	
TOTAL INTERVIOUS = 100,718.50 SQ FT (2.3 ACRES)	
AREA OF POST CONSTRUCTION CONTROL MEASURES AND SHIM BUFFER IMPACT MITIGATION	
GREEN ROOFS = 43,942.50 SQ FT (1.01 ACRES)	
SUBGRADE STORM- WATER DETENTION = 4,320.50 SQ FT (1 ACRES)	
TOTAL = 48,263.00 SQ FT (1.1 ACRES)	

FOR PUBLIC HEARING  
PETITION NO. 2009-034

SCHEMATIC SITE PLAN

SCALE: 1" = 50'-0"

01



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New Mixed-Use  
Development

SYCAMORE  
PROJECT

CHARLOTTE, NC

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SCHEMATIC  
SITE PLAN

DATE: 07.27.09 JOB NO: 08073

REV	DATE	DESCRIPTION
1	9/28/09	REVISION #1
2	11/2/09	REVISION #2
3	6/28/10	REVISION #3

SHEET NUMBER  
SP-4  
of Total





# NOTES:

1. THE FIRST FLOOR OF ALL BUILDINGS WILL BE DESIGNED WITH PEDESTRIAN INTEREST AND ACTIVE USES.
2. BUILDINGS WILL BE DESIGNED TO INTEGRATE VARIATION THROUGH ARCHITECTURAL CONTROLS AND MATERIALS ON ALL FOUR SIDES. THE EXTERIOR BUILDING MATERIALS WILL INCLUDE A COMBINATION OF BRICK, PRECAST OR CAST STONE AND OTHER SYNTHETIC OR COMPOSITE MATERIALS, GLASS AND COATED METAL AS WELL AS PREFABRICATED AWNINGS. THE BUILDING TOP SHAFT AND BASE WILL BE CLEARLY DELINEATED AS INDIVIDUALLY IDENTIFIABLE COMPONENTS.
3. THE ELEVATION OF THE MAXIMUM 20 AND 12 STORY BUILDINGS ALONG I-77 AND THE INTERNAL ROADWAYS WILL BE DESIGNED TO STEP BACK 10 FEET MIN. TO DECREASE MASSING ABOVE THE FOURTH OR FIFTH FLOOR. THE ELEVATIONS FROM I-77 WILL BE DETAILED WITH ARCHITECTURAL INTEREST/INDOORS. LARGE SINGLE/BLANK WALLS WILL BE AVOIDED.
4. ALL BUILDINGS WILL INCLUDE ARCHITECTURAL ELEMENTS TO CREATE VISUAL SCALE AND INTEREST. THESE ELEMENTS COULD INCLUDE BUT NOT BE LIMITED TO VERANDAS AND/OR SECOND OR THIRD FLOOR TERRACES.
5. A MINIMUM OF 50% OF THE SECOND FLOOR AREA ALONG THE ROADWAYS, EXCEPT ALONG I-77, WILL CONTAIN RETAIL, OFFICE, PERSONAL USES, OR RESIDENTIAL USES. ALL FIRST FLOOR USES WILL INCLUDE CLEAR GLASS AND DOORS ALONG THESE FACADES.
6. ALL SURFACE AND DECK PARKING WILL BE SCREENED FROM PUBLIC R.O.A. USING METHODS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LOW SCALED SCREEN WALLS, OR DECORATIVE GRILLS.
7. BUILDING ENTRANCES WILL BE RECESSED AND DESIGNED TO BE CLEARLY IDENTIFIABLE.
8. ALL PEDESTRIAN LIGHTING WILL BE SHIELDED WITH FULL CUT-OFF FIXTURES.
9. THE PROJECT WILL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS AND SWIM BUFFER ORDINANCES.
10. THE PROJECT WILL COMPLY WITH SWIM BUFFER MITIGATION REQUIREMENTS DUE TO THE PROJECTS ENCROACHMENT ON THE 100' SWIM BUFFER.
11. A MINIMUM OF 32 "WORKFORCE" DWELLING UNITS SHALL BE CONSTRUCTED WITHIN THE ENTIRE PROJECT, WHICH REPRESENTS 16.6% OF THE TOTAL NUMBER OF DWELLING UNITS PLANNED FOR THE PROJECT. IN THE EVENT THAT THE PROJECT IS BUILT IN PHASES, A MINIMUM OF 16% OF THE DWELLING UNITS CONSTRUCTED WITHIN EACH PHASE OF THE PROJECT MUST BE "WORKFORCE" DWELLING UNITS. FOR THE PURPOSES OF THIS PROVISION, "WORKFORCE" DWELLING UNITS SHALL BE DEFINED AS DWELLING UNITS DESIGNED TO SERVE HOUSEHOLDS WITH AN INCOME RANGE OF 50% TO 200% OF THE AREA MEDIAN INCOME. THE PETITIONER'S CURRENT PLANS DO NOT CALL FOR PUBLICLY FUNDED WORKFORCE DWELLING UNITS, HOWEVER, THE PETITIONER RESERVES THE OPTION TO PURSUE A WAIVER FROM THE CITY OF CHARLOTTE TO PERMIT PUBLICLY FUNDED WORKFORCE DWELLING UNITS TO BE LOCATED WITHIN THE PROJECT.
12. THE FOLLOWING USES SHALL NOT BE PERMITTED ON THE SITE: AN ADULT ESTABLISHMENT, NIGHTCLUBS, GASOLINE SALES FACILITIES, EQUIPMENT RENTAL AND LEASING, PEST CONTROL AND DISINFECTING SERVICES, FUNERAL HOMES (INCLUDING EMBALMING LOCATIONS AND CREMATORIA), BUILDING MATERIALS SALES, CAR WASHES AND COMMERCIAL ROOMING HOUSES. NOTWITHSTANDING THE FOREGOING, ALTERNATIVE FUELING FACILITIES MAY BE LOCATED ON THE SITE PROVIDED THAT THEY ARE LOCATED WITHIN A PARKING DECK AND RESTAURANTS THAT SERVE ALCOHOLIC BEVERAGES MAY BE LOCATED ON THE SITE.
13. THE LOADING DOCK AREAS ON THE SITE WILL BE SCREENED AS GENERALLY DEPICTED ON THE ATTACHED PLANS.
14. TRASH, GARBAGE AND RECYCLING PICK-UP MAY ONLY OCCUR BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

TOTAL ACREAGE TO BE REZONED:  
4.71 ACRES  
0.19 ACRES FROM PARCEL # 0781310  
4.52 ACRES FROM PARCEL # 0781305

CURRENT ZONING: UR-2 & UR-3

PROPOSED ZONING: UMUD (CD)

PHASE I PROPOSED USE: MIXED-USE DEVELOPMENT INCLUDING COMMERCIAL GLASS-A OFFICE, SERVICE RETAIL, RESIDENTIAL & PARKING DECK.

PHASE I PROPOSED SQUARE FOOTAGE: 88,000 SF GROSS OF COMMERCIAL GLASS-A OFFICE  
12,000 SF GROSS OF SERVICE RETAIL  
75 RESIDENTIAL UNITS

PHASE I PROPOSED HEIGHT: PHASE I INCLUDES 6 STORY MID-RISE WITH 3 LEVEL PARKING STRUCTURE  
PHASE II INCLUDES 12 STORY MID-RISE  
PHASE III INCLUDES 20 STORY HIGH-RISE @ 275 FEET TALL  
THE BUILDING HEIGHT COMPLIES WITH SECTION 4102 (4) BECAUSE THE PROJECT DOES NOT ADJUT ANY RESIDENTIALLY ZONED PROPERTY WITH A RESIDENTIAL STRUCTURE LESS THAN 40 FEET IN HEIGHT.

PHASE I PARKING REQUIREMENT: 88,000 SQ. FT. NET COMMERCIAL & SERVICE RETAIL  
88,000/1,000 x 5 = 44 SPACES

75 RESIDENTIAL UNITS  
1 SPACE PER UNIT = 75 SPACES

54 RESERVED SPACES FOR RAY'S SPLASH PLANET TO BE PROVIDED THROUGH A LEASE AGREEMENT AS REQUIRED BY ZONING ORDINANCE = 54 SPACES

REQUIRED PARKING = 171 TOTAL SPACES

PROPOSED PARKING: PARKING WILL MEET MINIMUM ORDINANCE STANDARDS WITH ON-SITE PARKING OR COMBINATION OF ON-SITE AND OFF-SITE PARKING AS ALLOWED BY THE ORDINANCE

## PHASING NOTES:

1. AT THE OPTION OF THE PETITIONER, THE PROJECT MAY BE CONSTRUCTED IN SEPARATE PHASES OR IT MAY BE CONSTRUCTED IN ITS ENTIRETY AS A SINGLE PHASE.
2. IN THE EVENT THAT THE PETITIONER ELECTS TO CONSTRUCT THE PROJECT IN SEPARATE PHASES, PHASE I, AT A MINIMUM, WILL CONTAIN THE FOLLOWING IMPROVEMENTS:  
(A) THE TWO MAXIMUM SIX STORY BUILDINGS DEPICTED ON THIS PHASE I PHASING PLAN.  
(B) ALL REQUIRED OFF-SITE TRANSPORTATION IMPROVEMENTS.  
(C) ALL OF THE IMPROVEMENTS DEPICTED ON THIS PHASE I PHASING PLAN EXCEPT FOR THE AMPHITHEATRE AND THOSE ITEMS SPECIFICALLY DESIGNATED AS PHASE II OR PHASE III IMPROVEMENTS.
3. IN THE EVENT THAT THE PETITIONER ELECTS TO CONSTRUCT THE PROJECT IN SEPARATE PHASES, THE PETITIONER MAY, AS ITS OPTION, CONSTRUCT PHASE I SIMULTANEOUSLY WITH PHASE II OR SIMULTANEOUSLY WITH PHASE III.
4. AT THE PETITIONER'S OPTION, PHASE I MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PHASE I PHASING PLAN (OPTION I) OR WITH THE PHASE I PHASING PLAN (OPTION 2).

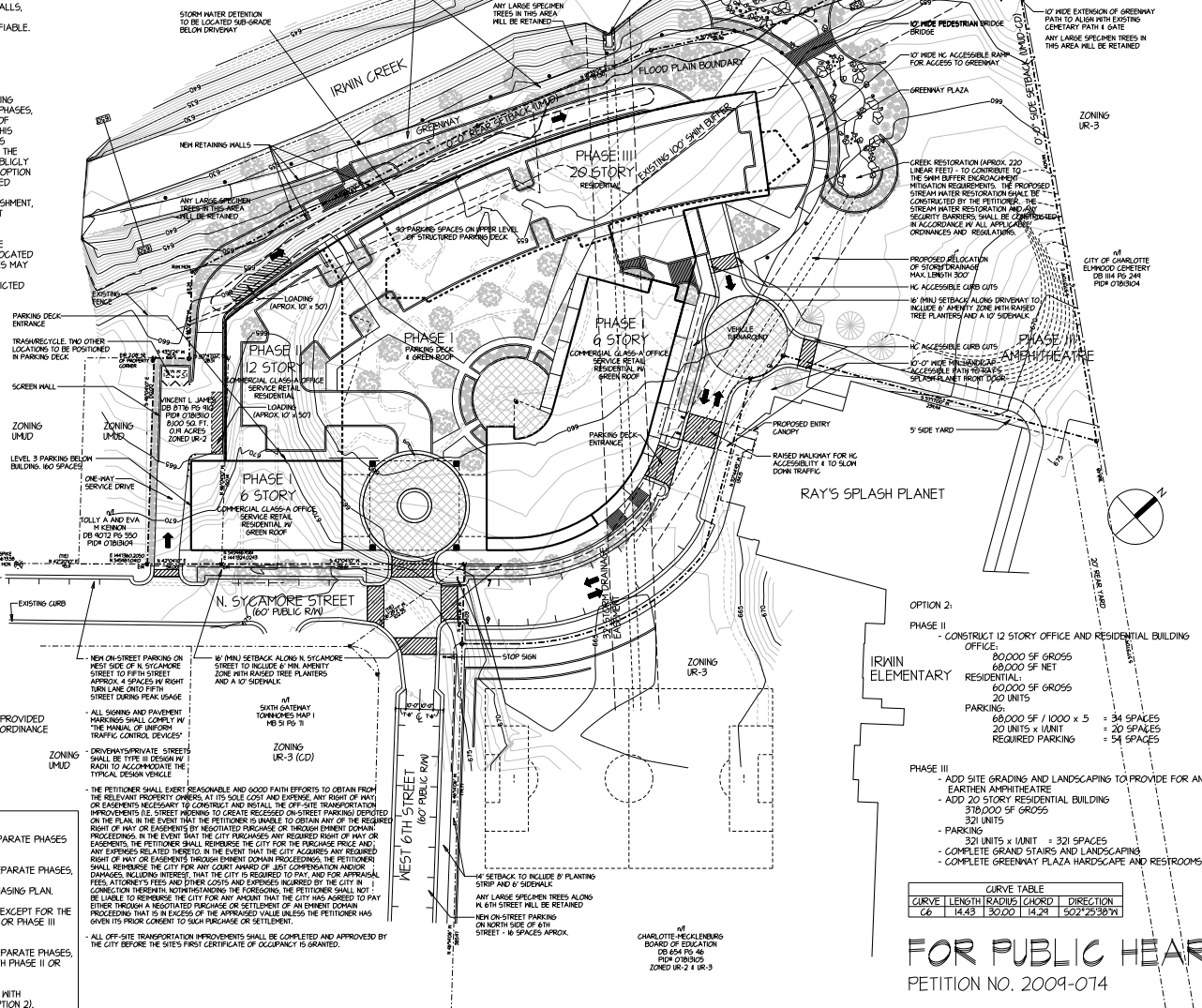
THE MODIFICATIONS TO THE GREENWAY, DEPICTED ON THIS PLAN, SHALL MEET ALL AASHTO STANDARDS.

THE BUILDINGS WILL BE DESIGNED AND CONSTRUCTED TO PROMOTE "EYES ON THE GREENWAY" TO ENHANCE VISIBILITY AND SAFETY PER ATTACHED SCHEMATIC PERSPECTIVES.  
APPROPRIATE GREENWAY SIGNAGE FROM MECKLENBURG COUNTY PARK & RECREATION (MCP) NEW PROGRAM WILL BE INTEGRATED INTO THE SITE.

GREENWAY TRAIL SHALL BE MAINTAINED AT 10' UNOBSTRUCTED WIDTH & 12' WIDTH AT RETAINING WALLS.

ALL MODIFICATIONS TO GREENWAY THAT ARE PROPOSED AND DEPICTED ON THIS PLAN, SHALL BE DESIGNED AND CONSTRUCTED AT THE EXPENSE OF THE PETITIONER.

THE PETITIONER SHALL SUBMIT CONSTRUCTION DRAWINGS FOR SUCH IMPROVEMENTS TO MCP FOR ITS REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF CONSTRUCTION.



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	DIRECTION
C6	14.49	30.00	14.24	S02°25'30"R

FOR PUBLIC HEARING  
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PHASING PLAN (OPTION 2)

SCALE 1" = 40'-0"

01



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New Mixed-Use  
Development

SYCAMORE

CHARLOTTE, NC

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SCHEMATIC  
SITE PLAN

DATE: 07.27.09 JOB NO: 08073

REVISIONS:		
NO.	DATE	DESCRIPTION
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2	1/12/10	REVISION #2
3	6/2/10	REVISION #3

SHEET NUMBER  
SP-6  
of Total

The attached building perspectives are intended only to depict the general conceptual architectural style and character of the buildings proposed to be constructed on the site with respect to exterior building materials, design elements (such as balconies and fenestration), the massing and proportions of the buildings and the manner in which the buildings will address the greenway. Changes and alterations that do not materially change the overall conceptual architectural style and character shall be permitted



PERSPECTIVE VIEW

SCALE = 1/8" = 1'-0"

01



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## New Mixed-Use Development

SYCAMORE  
COURT

CHARLOTTE, NC

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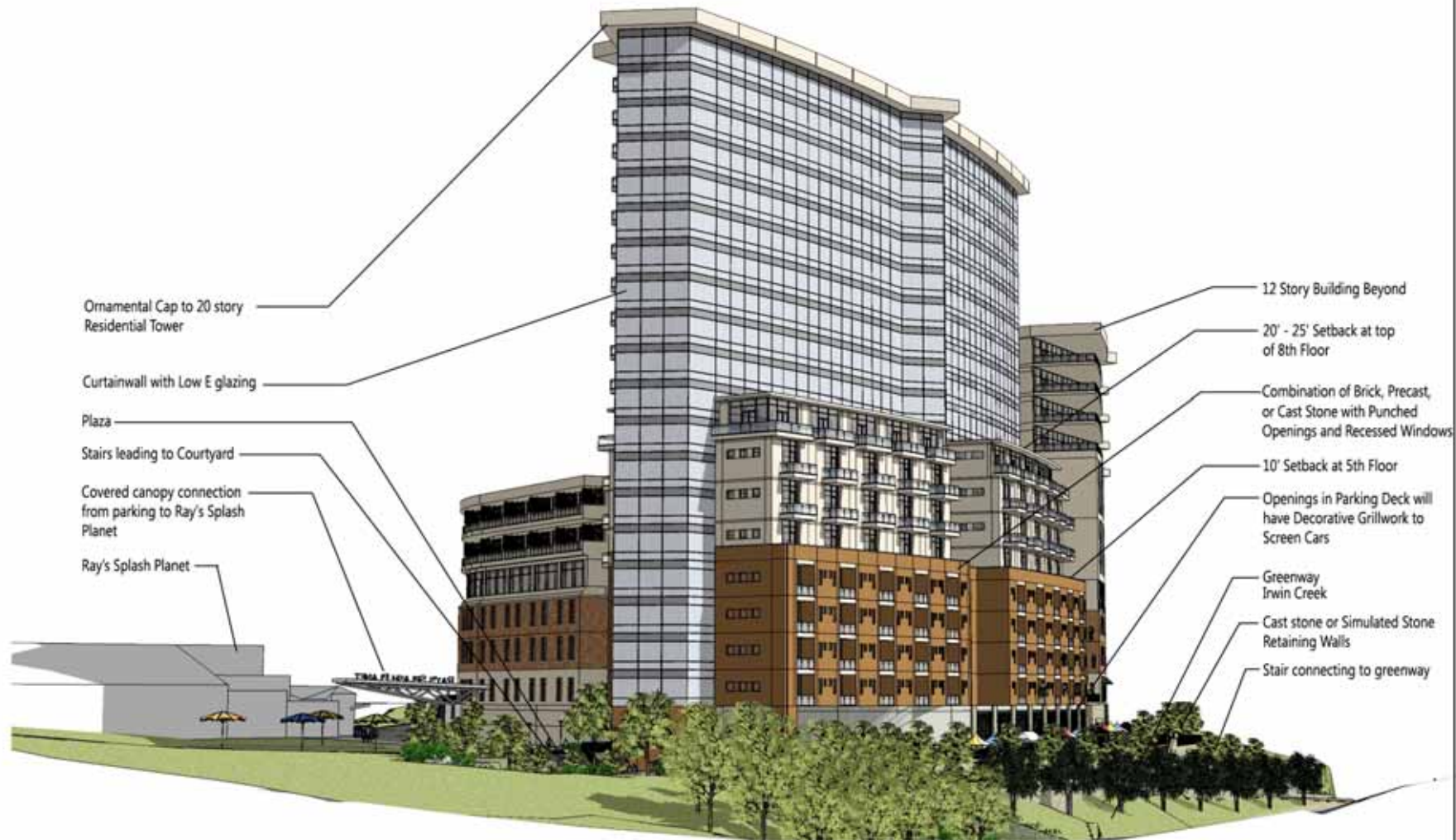
NO.	DATE	DESCRIPTION
1	9/18/09	ISSUED FOR PERMIT
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SHEET NUMBER

SP-7



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PERSPECTIVE VIEW

SCALE = 1/8" = 1'-0"

01



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## New Mixed-Use Development

SYCAMORE  
SQUARE

CHARLOTTE, NC

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SHEET NUMBER

SP-8