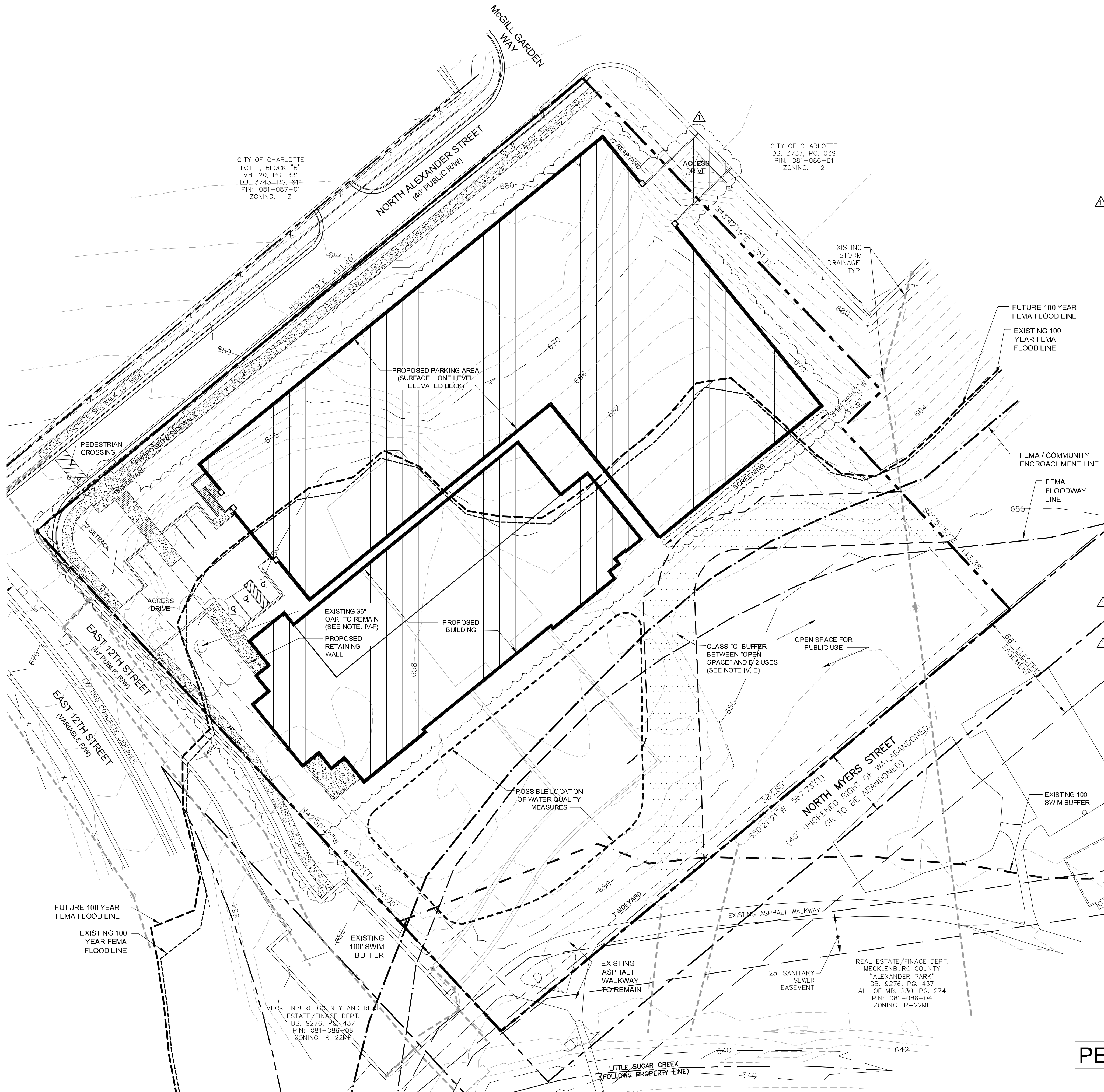


Y:\2009 Projects\0209039\civil\resoning\0209039\resoning.bas\dwg



DEVELOPMENT STANDARDS

I. **General Commitment:**  
A. These development standards form a part of the Rezoning Plan associated with rezoning petition filed by the Charlotte Area Transit System (CATS) to accommodate the development of an approximately 3.66 acre site at the corner of North Alexander Street and East 12th Street (hereinafter referred to as the "Site").

The development of the Site will be governed by the Rezoning Plan, these Development Standards, and the standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-2 zoning district, unless more stringent standards are established by these development standards or this rezoning plan.

B. The configurations, placements and sizes of buildings and parking decks shown on this Rezoning Plan are schematic and conceptual in nature and may be altered and/or modified based upon the final design development and construction documents, and the site and topographical constraints. Any changes shall be subject to the terms and conditions set out by and in accordance with Section 6.207 of the Ordinance.

C. Site plan shows total development anticipated for this site. The site may be developed in phases such as: surface parking only, building without deck, etc.

D. Building shall be placed so that an "Office Image" shall be facing public open space (park) and East 12th Street.

II. **Permitted Uses:**

A. The Site may be devoted to the following uses: CATS (City of Charlotte) vehicle maintenance, CATS and related City office uses, surface and deck parking related to the CATS uses and related accessory uses. Also allowed will be publically accessible open space use for the area closest to Sugar Creek as more particularly depicted on the Site Plan.

III. **Setbacks and Yards:**

A. Development of the Site shall comply with the setback, height, and yard requirements of the B-2 zoning district.

IV. **Landscaping and Screening and Buffering:**

A. Landscaping and screening shall, at a minimum, satisfy the requirements of Section 12.302, Section 12.303, and 12.304 of the Ordinance.

B. Landscaping may be installed in stages in accordance with the Ordinance as the Site is developed.

C. Development of the Site will comply with the applicable provisions of the City of Charlotte Tree Ordinance in effect at the time of the approval of this rezoning petition.

D. The business use shall be screened from the public open space use on this site and the adjacent site (Greenway) by a class "C" buffer. Due to the slope of the land and possible phasing of parking (surface, then deck) the location of planting for buffer purposes may be placed anywhere on the site between the uses; taking into account the future construction and best location to accomplish the buffer purpose (visual separation).

E. Buffer width: Because this rezoned site and the existing I-2 zoned parking lot Northeast of the site will be used together, the buffer width is based upon the size of the "use" area calculated as follows:

Site of the adjacent parking lot use up to railroad r/w: ..... 1.9 AC.

Area of this rezoned site after subtracting area used for "public open space" as shown on plan: ..... 3.2 AC.

Total Area of Use: ..... 5.1 AC.

5.1 AC. site requires a 30' wide buffer. Buffer width may be reduced 25% as allowed in section 12.302 (8) of the ordinance (6' screen fence and berm). The fence required or provided as part of deck construction will satisfy the screen fence requirement for buffer width reduction.

F. Extra effort shall be made during design and construction to save existing 36" Oak near 12th Street entrance.

V. **Architectural Commitments :**

A. The attached Architectural Conceptual Sketch of the building and parking structure (sheet RZ-3) to be constructed on the Site depicts the general conceptual architectural style, character and elements of the various buildings. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon the final design and construction drawings.

B. Large expanses of wall exceeding 20' in length will be avoided through the introduction of Art in Transit elements, articulated facades, using various materials such as brick and other masonry products, stone, different colors of paint, glass windows, water table, and / or soldier course.

VI. **Lighting:**

A. All exterior lighting fixtures (except street lights) shall be capped and fully shielded with full cutoff and the illumination downwardly directed so that direct illumination does not extend beyond the City-owned property.

B. All free standing lighting fixtures to be installed within the Site shall have a maximum height of 30 feet, including its base.

C. No "wall-pac" lighting will be allowed on buildings.

VII. **Sidewalk:**

A. Along the Southeast side of North Alexander street and along the Northeast side of "old" 12th street, a 6' wide sidewalk shall be constructed behind a 4' wide planting strip measured from the back of curb. Walk shall be completed prior to occupancy of building and will not be required for the use of the site for surface parking only. The planting strip and sidewalk width (less than that recommended for the Urban Streets Design Guidelines) is necessary due to topographic constraints and building design considerations.

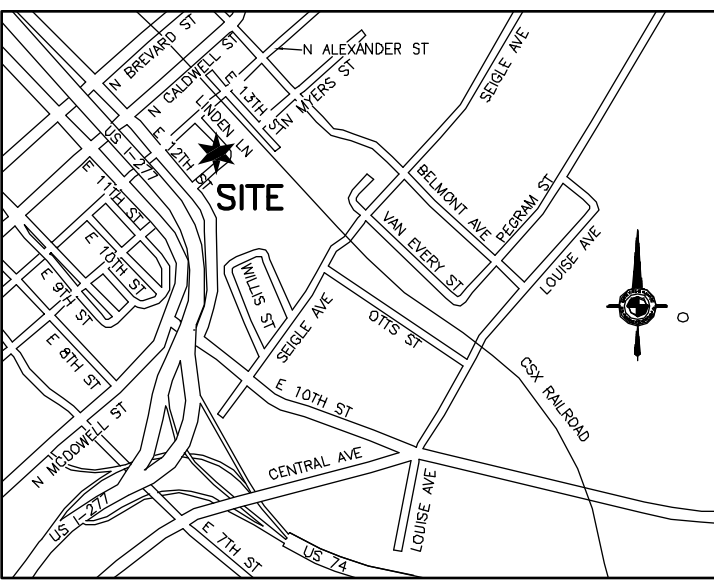
VI. **Storm Water Management:**

A. Site will comply with Post Construction Controls Ordinance (PCCO).

B. For the purpose of storm water detention for larger storms, the Petitioner shall comply with the City of Charlotte Storm Water Detention Ordinance, in effect at the time of approval of this petition.

VIII. **Amendments to Rezoning Plan:**

A. Future amendments to the Rezoning Plan and these development standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.



VICINITY MAP  
NOT TO SCALE

DEVELOPMENT DATA

TAX PARCEL NO.: ..... 081-086-07

TOTAL SITE AREA: ..... 3.66 AC.

EXIST. ZONING: ..... O-2

PROPOSED ZONING: ..... B-2 (CD)

MAXIMUM BUILDING AREA:

BUILDING AREA: ..... 100,000 S.F.

PARKING AREA: ..... 110,000 S.F.

B-2(CD) STANDARDS

MIN. LOT SIZE: ..... 8,000 S.F.

MIN. LOT WIDTH: ..... 50 FT.

FRONT SETBACK: ..... 20 FT.

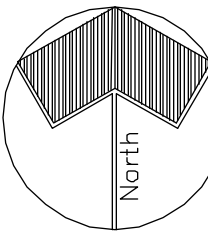
SIDE YARD: ..... 8 FT. (10' ON CORNER)

REAR YARD: ..... 10 FT.

BOUNDARY SURVEY BY RB PHARR SURVEYING & MAPPING, DATED 05-06-08.

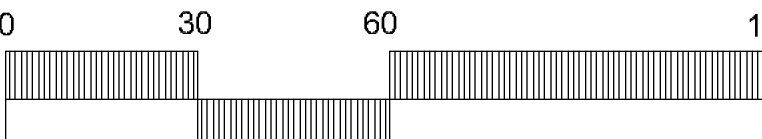
REVISIONS

12/10/09 - REVISED PER PUBLIC HEARING COMMENTS AND OWNER DIRECTION TO PLACE OFFICES TOWARD PARK.



Scale:

1" = 30'



PETITION# 2009-039



Morris-Berg  
ARCHITECTS  
100 YEARS

SEAL

DESIGN DATE: 05/15/09  
FINAL DATE: 06/15/09  
REVISION DATES: 06/15/09  
12/10/09

NORTH DAVIDSON  
BOD FACILITY  
RENOVATION AND  
STS EXPANSION



PROJECT: NORTH DAVIDSON REZONE  
NUMBER: 2009  
SHEET TITLE:  
REZONING  
SITE PLAN  
SHEET NUMBER:  
RZ-1  
SHEET 1 OF 3

LEGEND:

BFP - BACK FLOW PREVENTOR  
C&G - CURB & GUTTER  
CB - CATCH BASIN  
CI - CURB INLET  
CMP - CORRUGATED METAL PIPE  
CPP - CORRUGATED PLASTIC PIPE  
CUI - CULVERT  
(D) - DEED  
D.B. - DEED BOOK  
DI - DROP INLET  
DIP - DUCTILE IRON PIPE  
LCM - EXISTING CONCRETE MONUMENT  
EIP - EXISTING IRON PIPE  
EIR - EXISTING IRON ROD  
EMM - EXISTING METAL MONUMENT  
EN - EXISTING NAIL  
EOP - EDGE OF GRAVEL  
EOP - EDGE OF PAVEMENT  
EU - END UNKNOWN  
FC - FIRE CONNECTION  
FIH - FIRE HYDRANT  
FV - FIRE VALVE  
GM - GAS METER  
GP - GATE POST  
GV - GAS VALVE  
GW - GUY WIRE  
HVAC - HEATING, VENTILATION, AIR COND.  
HW - HEADWALL  
ICI - IRRIGATION CONTROL VALVE  
JUN - JUNCTION BOX  
LMP - LAMP POST  
LP - LIGHT POLE  
(M) - MEASURED  
MBX - MAILBOX  
M.B. - MAP BOOK  
MW - MONITORING WELL  
NGS - NATIONAL GEODETIC SURVEY  
NIR - NEW IRON ROD  
NN - NEW NAIL  
OHRG - OVERHUNG  
(P) - PLATTED  
PB - POWER BOX  
PIN - PARCEL IDENTIFICATION NUMBER  
PM - POWER METER  
PMH - POWER MANHOLE  
PP - POWER POLE  
PG - PARGE  
PVC - PLASTIC PIPE  
(R) - RECORDED  
RW - RIGHT-OF-WAY  
RCP - REINFORCED CONCRETE PIPE  
RW - RETAINING WALL  
SBI - BILLBOARD  
SDMH - STORM DRAIN MANHOLE  
SMP - MULTI-POST SIGN  
SSMH - SANITARY SEWER MANHOLE  
(T) - TOTAL  
TB - TELEPHONE BOX  
TERR - TERRACOTTA PIPE  
TMH - TELEPHONE MANHOLE  
TSP - TRAFFIC SIGNAL BOX  
TVB - CABLE TV BOX  
WB - WATER BOX  
WM - WATER METER  
WSP - WATER SPOUT  
WV - WATER VALVE

ZONING:

ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: R-22MF & O-2  
R-22MF & O-2

MINIMUM SETBACK: 20'  
MINIMUM SIDE YARD: 5'  
MINIMUM REAR YARD: 20'  
MINIMUM BUILDING HEIGHT: 40'  
FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3569.

TREE LEGEND:

BCH - BEECH  
BRC - BIRCH  
BRAD - BRADFORD PEAR  
CED - CEDAR  
CHP - CHERRY  
CRP - CREPE MYRTLE  
DGB - DOGWOOD  
HOL - HOLLY  
LOC - LOCUST  
MAG - MAGNOLIA  
MAP - MAPLE  
PEC - PECAN  
PIN - PINE  
POP - POPLAR  
SYC - SYCAMORE  
WLN - WALNUT  
WLC - WILD CHERRY

UTILITIES:

POWER  
DUKE POWER ENERGY  
1-800-777-0894  
TELEPHONE  
BELL SOUTH TELECOMMUNICATIONS  
(704) 357-0974 NEW CONNECTIONS  
(704) 357-9380 EXISTING SERVICES

WATER & SEWER  
CHAR-MECK. UTILITY DEPT. (CMUD)  
(704) 399-2221

GAS  
PIEDMONT NATURAL GAS CO.  
(704) 525-5385 NEW CONNECTIONS  
(704) 525-5385 EXISTING CONNECTIONS

CABLE TELEVISION  
TIME WARNER CABLE  
1-877-566-4892

LINE LEGEND:

PROPERTY LINE  
PROPERTY LINE (NOT SURVEYED)  
RIGHT-OF-WAY  
RIGHT-OF-WAY (NOT SURVEYED)  
EASEMENT  
SETBACK  
CABLE TV LINE  
FIBER OPTIC LINE  
GAS LINE  
POWER LINE  
POWER LINE (UNDERGROUND)  
SANITARY SEWER PIPE  
STORM DRAIN PIPE  
TELEPHONE LINE  
TELEPHONE LINE (UNDERGROUND)  
WATER LINE

NOTES:

- THIS PLAN IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- ELEVATIONS BASED ON NGS MONUMENT "SEIGLE", ELEVATION = 694.66 (NAVD83).
- BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAY SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT-OF-WAY WIDTH OF ANY ADJACENT PROPERTIES.
- SEE SHEETS 3 THRU 20 FOR CROSS SECTION AND PROFILE INFORMATION.
- SEE SHEETS 1 AND 2 FOR TOPOGRAPHICAL INFORMATION.
- OTHER PHYSICAL IMPROVEMENT NOT SHOWN HEREON.

LINE	BEARING	DISTANCE
L1	S49°39'41"W	69.51'
L2	S57°33'14"W	45.53'
L3	S69°40'00"W	25.98'
L4	S87°06'12"W	21.26'
L5	S83°59'04"W	49.64'
L6	S83°52'16"W	139.02'
L7	N89°15'45"W	97.03'
L8	N69°03'15"W	66.75'
L9	S89°17'26"W	66.87'
L10	S86°01'28"W	51.43'
L11	S79°37'16"W	23.60'
L12	S75°13'26"W	4.67'

PETITION# 2009-039

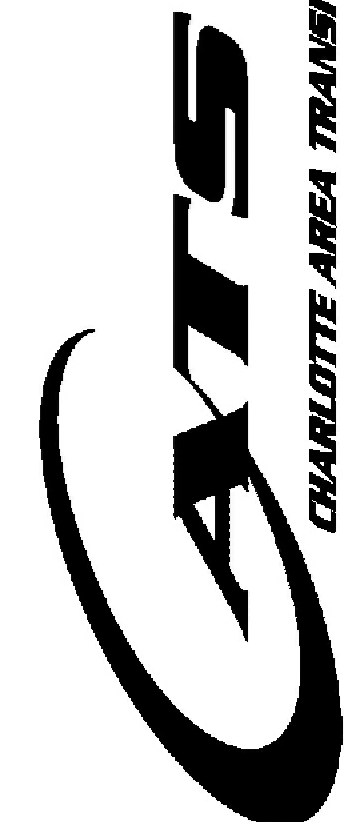


Morris Berg  
ARCHITECTS  
101 TOWER DRIVE, SUITE 1000, CHARLOTTE, NC 28202  
(704) 336-3569 FAX (704) 336-3568

SEAL

DESIGN DATE: 05/15/09  
FINAL DATE: 08/15/09  
REVISION DATE: 08/15/09

NORTH DAVIDSON  
BOD FACILITY  
RENOVATION AND  
STS EXPANSION



PROJECT: NORTH DAVIDSON REZONE  
NUMBER: 2009  
SHEET TITLE:  
SURVEY AND  
EXISTING  
CONDITIONS  
SHEET NUMBER:  
RZ-2  
SHEET 2 OF 3





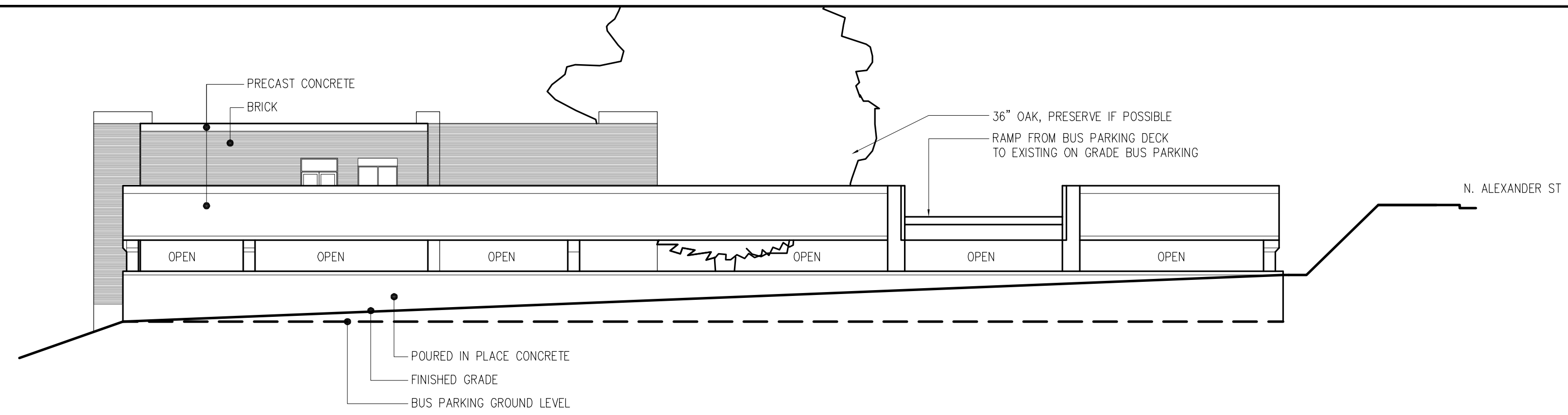
**STS FACILITY facing north from Park**



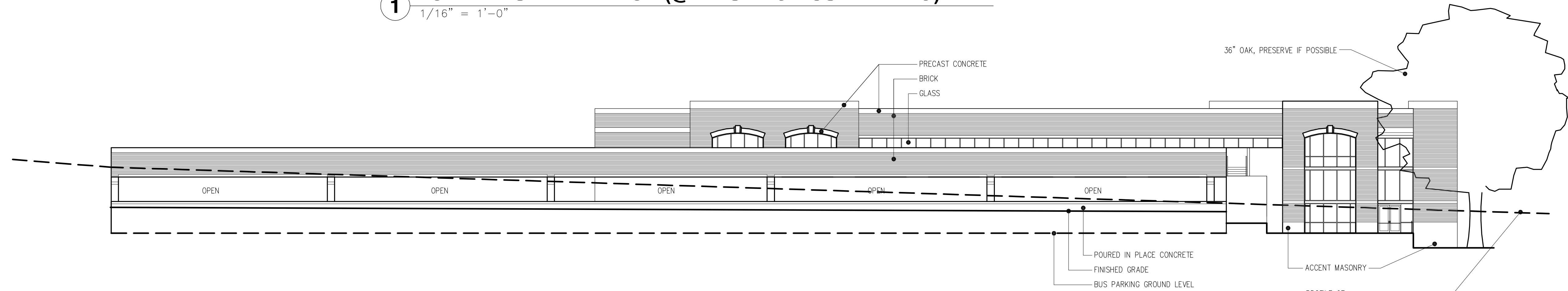
**NORTH DAVIDSON  
BOD FACILITY  
RENOVATION AND  
STS EXPANSION**

December 2009 Rezoning Petition #2009-039 Sheet RZ-3





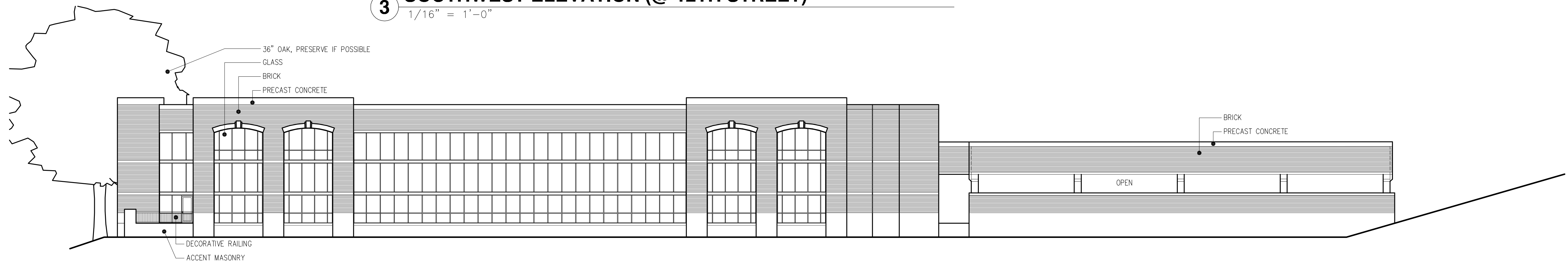
**1** **NORTHEAST ELEVATION (@ EXISTING BUS PARKING)**  
1/16" = 1'-0"



**2** **NORTHWEST ELEVATION (@ ALEXANDER STREET)**  
1/16" = 1'-0"



**3** **SOUTHWEST ELEVATION (@ 12TH STREET)**  
1/16" = 1'-0"



**4** **SOUTHEAST ELEVATION (@ PARK)**  
1/16" = 1'-0"

PETITION# 2009-039

DESIGN DATE:	06-13-09
FINAL DATE:	
REVISION DATES:	06-15-09

NORTH DAVIDSON  
BOD FACILITY  
RENOVATION AND  
STS EXPANSION



PROJECT NUMBER	
SHEET TITLE	REZONING ELEVATIONS
SHEET NUMBER	<b>RZ-4</b>
	SHEET 2 OF 3