

REZONING PETITION NO. 2008-
DAVID COX PREMIER PROPERTIES LLC
DAVID COX ROAD
DEVELOPMENT STANDARDS

General Provisions

These Development Standards form a part of the Technical Data Sheet (Sheet RZ-1) associated with the Rezoning Petition filed by David Cox Premier Properties LLC to accommodate development of an industrial park on an approximately 34.51 ± acre site located located north of David Cox Road and east of Old Statesville Road (the "Site"). The Site is currently zoned I-1 and the purpose of this Petition is to request rezoning to the I-2 (CD) district.

Accompanying the Rezoning Petition are the Technical Data Sheet (Sheet RZ-1) and a Conceptual Site Plan for the development of the Site (Sheet RZ-2). The Petitioner reserves the right to decrease the number of buildings shown on Sheet RZ-2 by combining the buildings within the development area boundaries.

Unless the Technical Data Sheet, these Development Standards (Sheet RZ-3) or the other sheets accompanying this Rezoning Petition establish more stringent standards, the regulations established under the Charlotte Zoning Ordinance ("the Ordinance") for the I-2 Zoning District shall govern all development taking place on the Site.

Inasmuch as planning for the proposed development of the Site has not yet advanced beyond the formative stage, the ultimate layouts of the development proposed, the exact alignments of streets and points of access, the configurations and placements of parking and loading areas and the heights and masses of buildings have not yet been determined. As a consequence, the configurations, placements and sizes of the building footprints as well as the locations of driveways and loading areas depicted on the Conceptual Site Plan are schematic in nature and therefore are subject to refinements as part of the total design process. They may, therefore, be altered or modified during design development and construction document phases so long as the maximum development area envelope lines established on the Technical Data Sheet are not violated and the proposed alterations or modifications do not exceed the parameters established under these Development Standards and under the Ordinance for the I-2 Zoning District. Parking and loading layouts and locations may also be modified to accommodate final building locations to the extent permitted by these Development Standards and the Ordinance.

1. Permitted Uses

The Site may be devoted to all uses as permitted in the current I-1 zoning district that are also permitted in the proposed I-2 district. In addition, the following uses are also permitted on the Site:

- Manufacture of cut stone and stone products
- Warehousing
- Outdoor storage
- Lumber mills and storage yards
- Utility operations centers
- Contractor offices and accessory storage

Incidental or accessory uses which are permitted under the Ordinance by right or under prescribed conditions in the I-2 Zoning District are permitted.

2. Maximum Building Area

The maximum amount of floor area that may be developed on the Site shall not exceed 390,000 square feet.

3. Setbacks, Side Yards and Rear Yards

(a) All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard requirements established under the Ordinance for the I-2 zoning district.

(b) The Site may be considered a unified development plan and as such internal side and/or rear yards may be eliminated.

4. Buffer Area

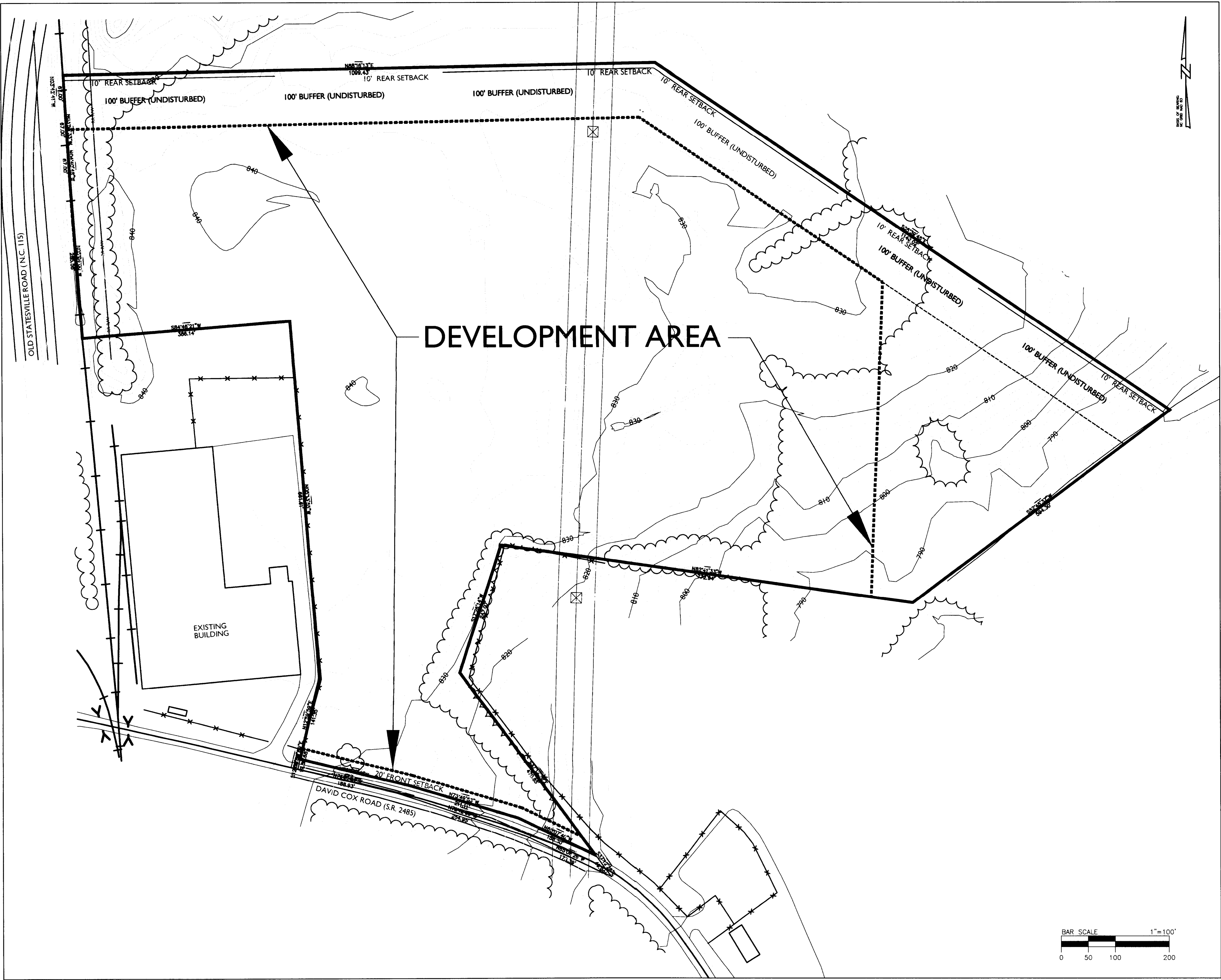
The Buffer Area established on the Technical Data Sheet shall satisfy the following requirements:

(a) The Buffer Area shall be undisturbed. Only weeds and vines within the Buffer Area may be removed.

(b) No buildings, storage areas, parking spaces or maneuvering areas may be located within the Buffer Area and utility installations may only cross the Buffer Area at interior angles measured at property lines which are not less than 75 degrees.

(c) In the event a tree located within the Buffer Area dies or is diseased, its removal shall be subject to the review, approval and supervision of the City of Charlotte Urban Forester.

(d) If any tree(s) located within the Buffer Area is removed in accordance with the above provision, such tree(s) shall be replaced on a one-to-one basis as per the recommendation of the City of Charlotte Urban Forester regarding location, species and size at installation.



SITE DATA

OWNER:

PARK WEST STONE LLC
321 NORTH GRAHAM STREET
CHARLOTTE, NORTH CAROLINA 28202
PHONE #: 330-528-3500
FAX #: 330-528-0008

SITE ADDRESS:

DAVID COX ROAD (S.R. 2485) AND
OLD STATESVILLE ROAD (N.C. 115)

TOTAL SITE AREA: 34.51 ACRES

ZONING: ID

TAX PARCEL: #02720102

USE: WAREHOUSE/ DISTRIBUTION CENTER

BUILDING HEIGHT: 30'

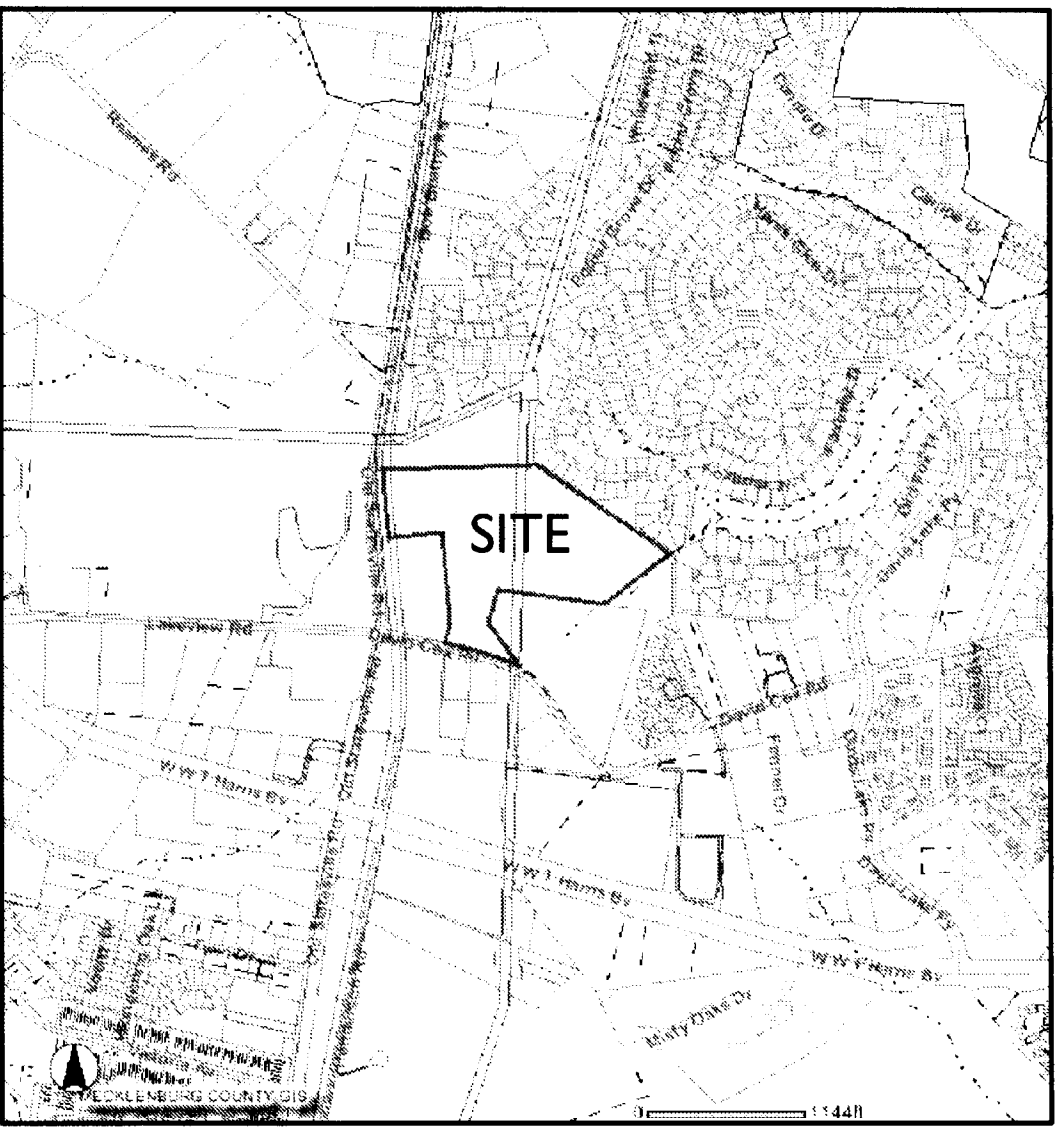
BUILDING SETBACK:

FRONT: 20 FEET

SIDE: NONE REQUIRED, IF PROVIDED MUST BE 4' MIN.

REAR: 10 FEET

BUFFER YARDS: AS SHOWN ON PLAN



VICINITY MAP

5. Internal Landscaping and Screening

(a) Internal areas of the Site shall be landscaped in accordance with the requirements of the City of Charlotte Tree Ordinance.

(b) All roof mounted mechanical equipment will be screened from view from adjoining public rights-of-way and abutting properties.

(c) All screening and landscaping shall meet or exceed the standards of the Ordinance.

(d) Dumpster areas will be enclosed on all three sides by an opaque wall with the fourth side being a hinged opaque gate. If one or more sides of a dumpster area adjoin a side or rear wall of a building, then the side or rear wall may be substituted for a side.

6. Streetscape Treatment

A 5 foot sidewalk shall be installed along the Site's frontage on David Cox Road. Notwithstanding the foregoing, the developer reserves the right to seek a waiver of or variance from this requirement in accordance with the City's standard review and approval process.

7. Architectural and Design Controls

(a) Any building elevation that directly faces or fronts the David Cox Road right-of-way line shall be comprised of brick, precast or other masonry materials, stucco or a stucco type product or a combination of such materials. Split face block shall not be a permitted exterior building material on any building elevation that directly faces or fronts the David Cox Road right-of-way line.

(b) Meter boxes, back flow preventors and similar items will be screened from view from David Cox Road.

8. Screen Fence

An opaque screen fence of at least six feet in height shall be installed in the area depicted on the Technical Data Sheet.

9. Vehicular Access

(a) Vehicular access to the Site shall be as generally depicted on the Technical Data Sheet.

(b) The placements and configurations of these vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation ("C-DOT") and/or the North Carolina Department of Transportation ("NC-DOT") including alterations to accommodate right of way needs and construction easements.

10. Lighting

(a) The maximum height of any freestanding light fixtures, including its base, erected in the parking areas shall not exceed twenty-five (20) feet.

(b) All lighting fixtures installed within the Site shall be full cut-off fixtures and capped and downward diverted.

11. Signs

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

12. Tree Ordinance

All development will comply with the City of Charlotte Tree Ordinance.

13. Fire Protection

Adequate fire protection in the form of fire hydrants will be provided to the Charlotte Fire Marshals specifications. Plans for each building will be submitted to the Fire Marshals office for approval before the construction of that building commences.

14. Amendments to Rezoning Plan

Future amendments to the Technical Data Sheet, the Schematic Site Plan, other sheets accompanying the Petition and these Development Standards may be applied for by the then Owner or Owners of the Parcel or Parcels within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance.

15. Binding Effect of the Rezoning Documents and Definitions

(a) If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioners and the current and subsequent owners of the Site and their respective successors in interest and assigns.

(b) Throughout these Development Standards, the terms, "Petitioners" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioners or the Owner or Owners of the Site from time to time who may be involved in any future development thereof.

(c) Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.

08-123

PERMITTED BY

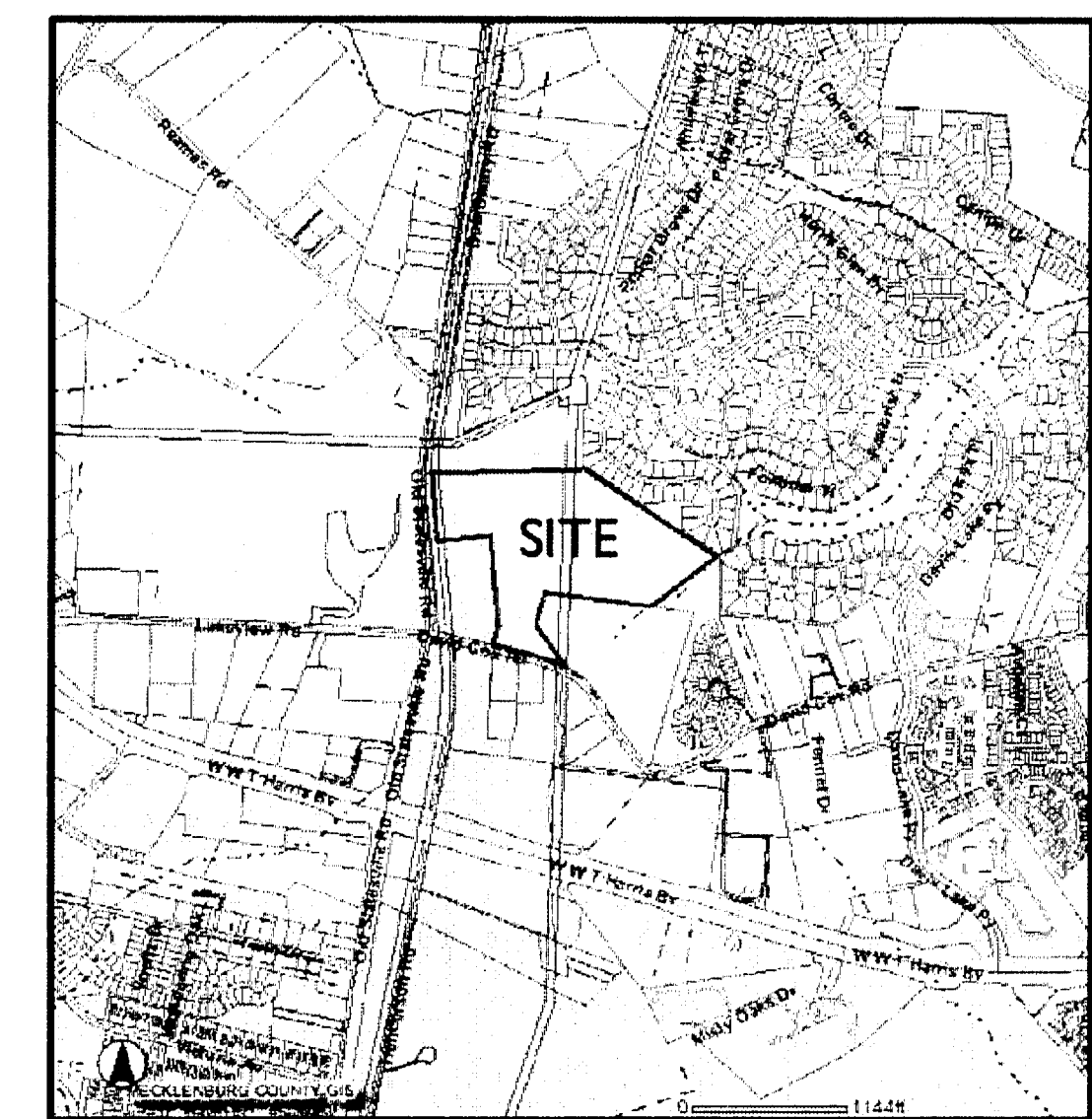
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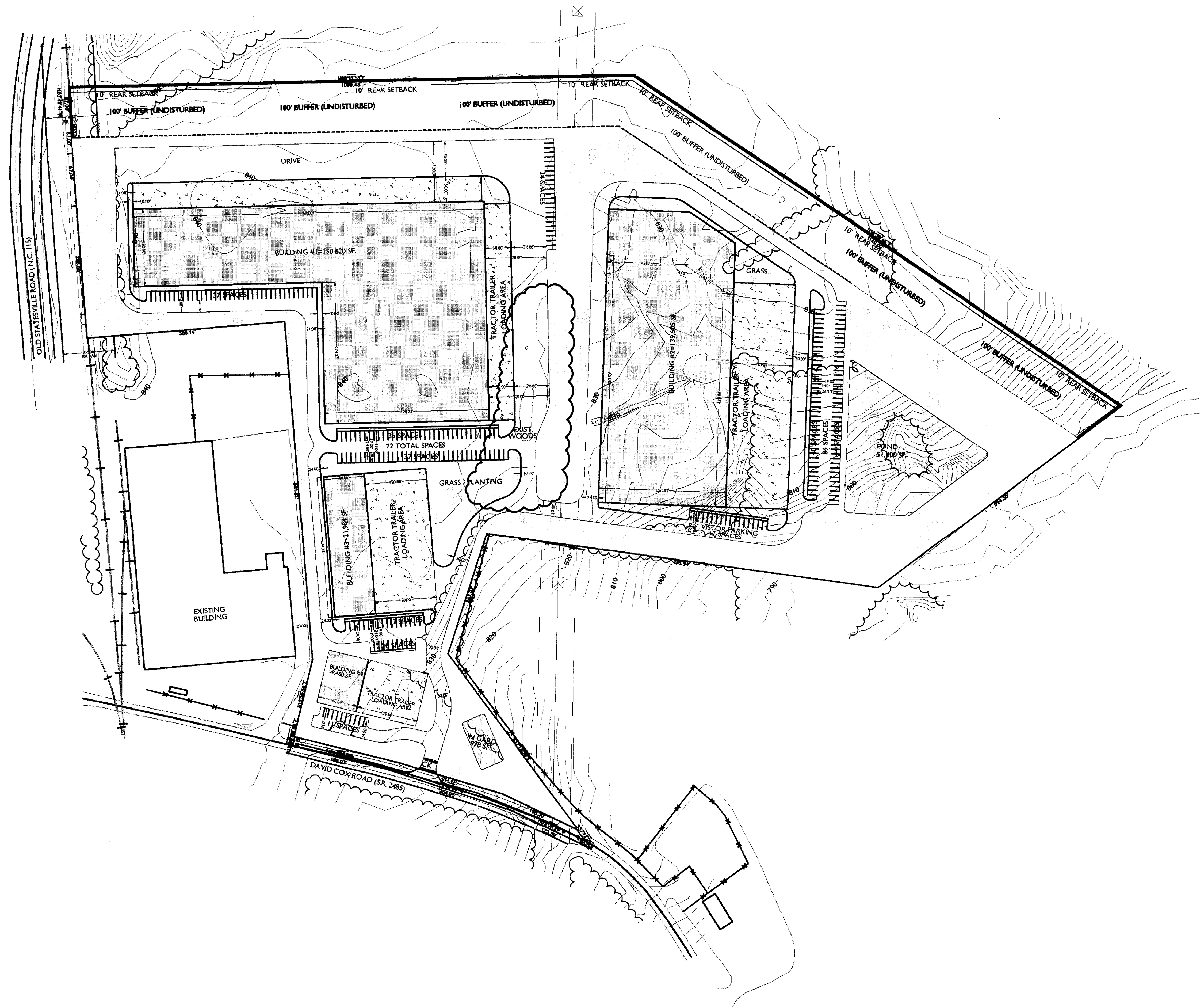
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DAVID COX ROAD SITE

TECHNICAL DATA SHEET



VICINITY MAP



CAR PARKING NOTES
 REQUIRED - 252
 PROVIDED - 268



REV. NO.	DESCRIPTION	DATE

PROJECT MANAGER RJR	DRAWING SCALE 1"=100'
DESIGNED BY CDO	PROJECT DATE JUNE 2008
APPROVED BY RJR	PROJECT REVIEWER 802216.00 CL
FILE NAME	PROJECT DATE



816 COLONNADE DRIVE
 CHARLOTTE, NC 28205
 (704) 334-5348

Office Locations:
 North Carolina
 South Carolina
 Georgia
 Florida

RELEASED FOR	DATE
APPROVALS	
BIDDING	
CONSTRUCTION	
RECORD DWA.	

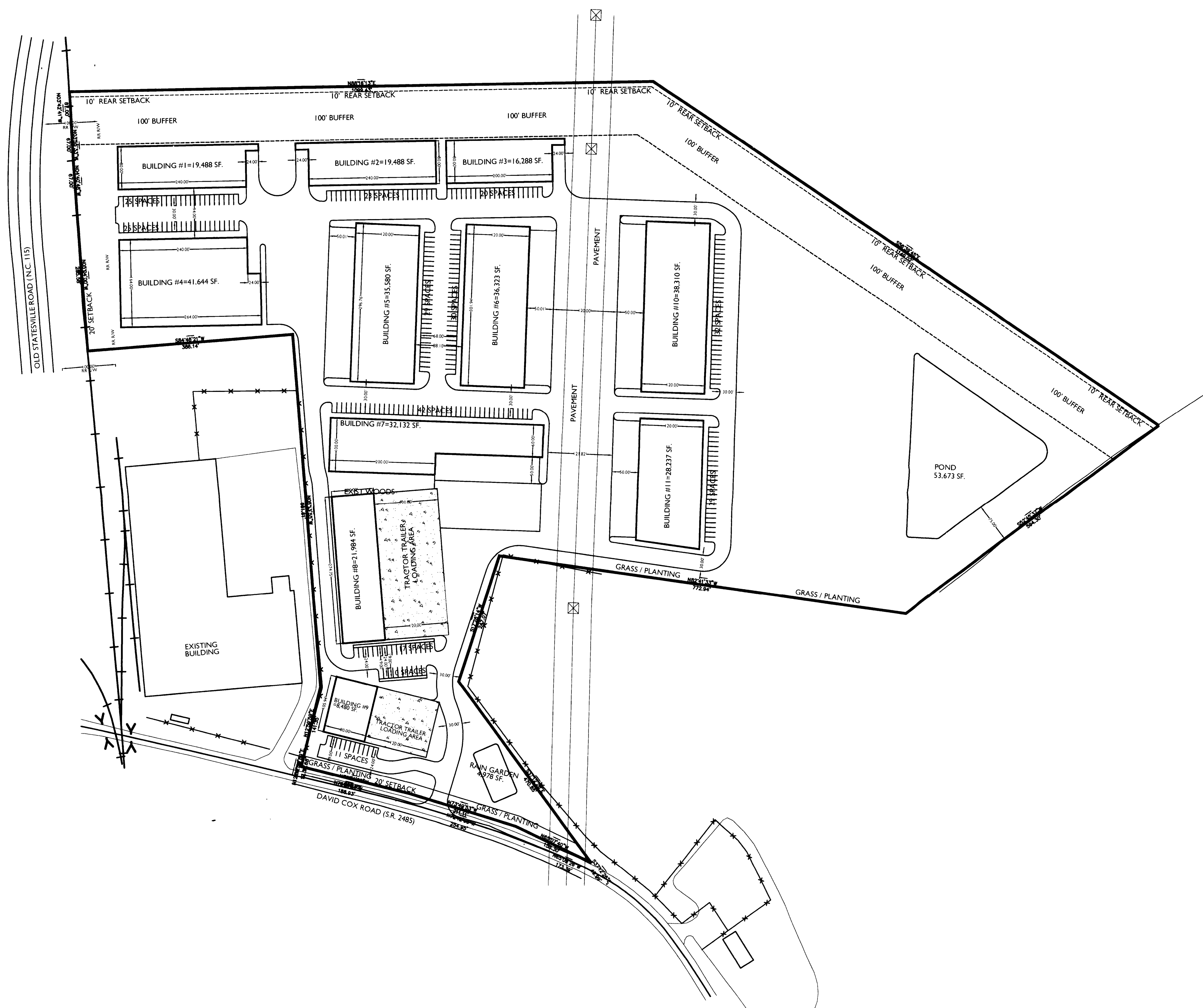
DAVID COX ROAD SITE

SCHEMATIC SITE PLAN A

2
3



VICINITY MAP



REV. NO.	DESCRIPTION	DATE
	REVISIONS	

PROJECT MANAGER RJR	DRAWING SCALE 1"=100'	 WK DICKSON community infrastructure consultants	616 COLONNADE DRIVE CHARLOTTE, NC 28205 (704) 334-5348	RELEASED FOR	DATE
COO CDO	PROJECT DATE JUNE 2008			APPROVALS	
APPROVED BY RJR	PROJECT NUMBER 80236.00.01		Office Locations: North Carolina South Carolina Georgia Florida	BIDDING	
FILE NAME	PLUT DATE			CONSTRUCTION	
				BEFORE NWC	

RELEASED FOR	DATE
APPROVALS	
BIDDING	
CONSTRUCTION	
RECORD DWG	

DAVID COX ROAD SITE

SCHEMATIC SITE PLAN B

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