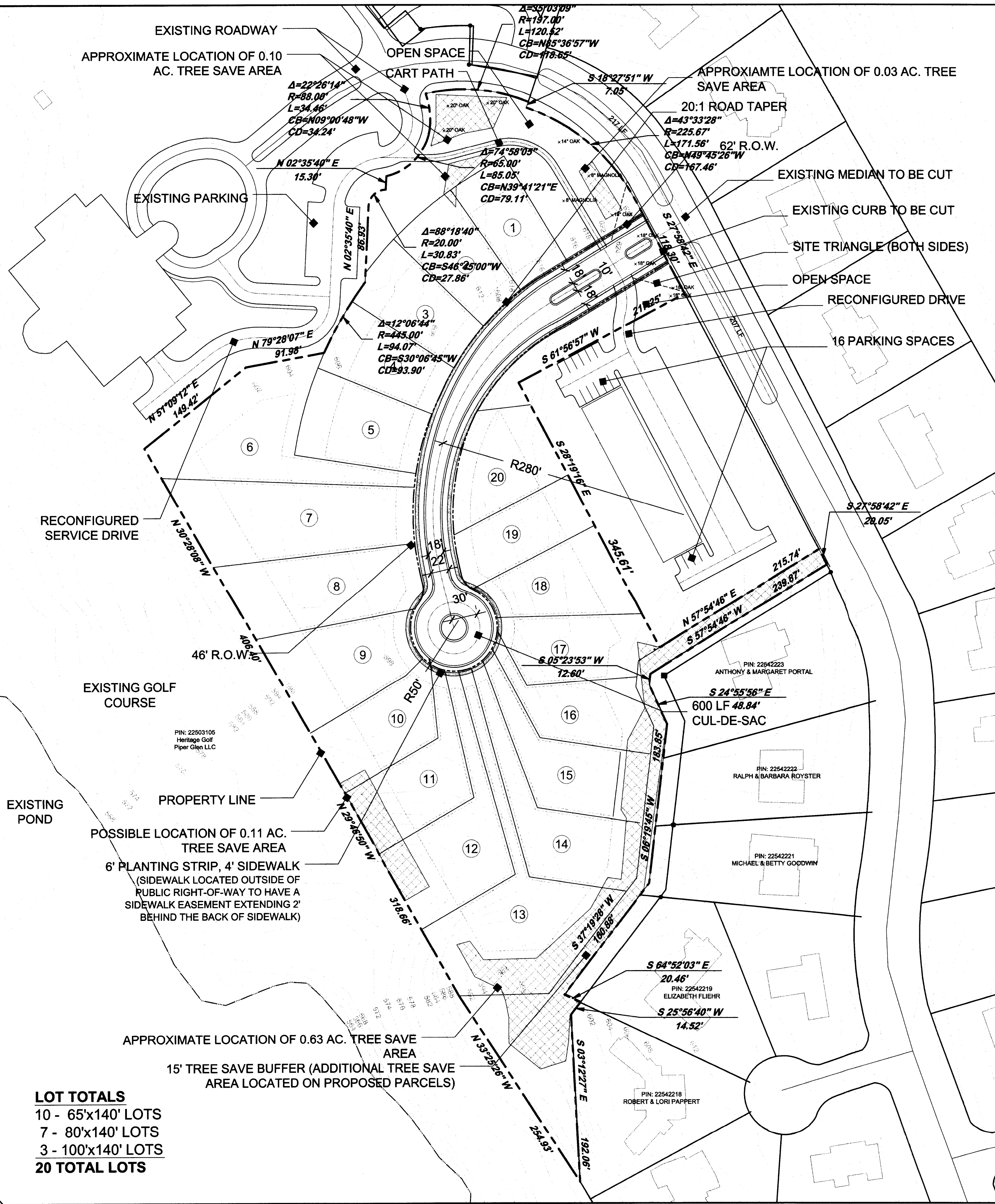


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LOT TOTALS
10 - 65'x140' LOTS
7 - 80'x140' LOTS
3 - 100'x140' LOTS
20 TOTAL LOTS

DEVELOPMENT STANDARDS

I. GENERAL COMMITMENT:

These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Anderes Development Group to accommodate the development of an approximately 8.7 acre Site located west of Piper Glen Drive south of the Piper Glen club house, which Site parcel of land is more particularly depicted on the Rezoning Plan (hereinafter referred to as the "Site").

The development of the Site will be governed by the Rezoning Plan, these Development Standards and the standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the R-4 zoning district.

II. PERMITTED USES:

The Site may be devoted to a maximum of 20 single family detached dwelling units, as well as any incidental or accessory use in connection therewith which is permitted by right or under prescribed conditions in the R-4 zoning district.

III. TREE SAVE AREAS:

A minimum of 10 percent of the Site shall be devoted to tree save areas as generally depicted on the Rezoning Plan. Tree save areas may be located on individual lots and/or in common open space.

IV. ARCHITECTURAL COMMITMENTS:

A. The maximum height of any dwelling unit constructed on the Site shall be 40 feet.

B. All garages shall be setback a minimum of 20 feet from the back of sidewalk.

C. The primary exterior building materials for the dwelling units to be constructed on the Site shall be masonry, stucco (cementitious and synthetic), hardiplank, cement fiber board, wood, metal, glass and single-ply roofing; EPDM (ethylene propylene diene monomer), TPO (thermoplastic polyolefin) or similar materials and metal roofing. The use of vinyl as an exterior building material shall be prohibited.

D. Each dwelling unit shall include a minimum of 2,500 square feet of heated floor area.

E. Attached are schematic architectural elevations that are representative of the single family dwelling units proposed to be constructed on the Site that are intended to depict the general conceptual architectural style, character and elements of the proposed dwelling units. Accordingly, any dwelling unit constructed on the Site must be substantially similar in appearance to the attached schematic architectural elevations in terms of its architectural style, character and elements. Changes and alterations which do not materially change the overall conceptual architectural style and character are permitted based upon final design/construction drawings.

V. OFF-STREET PARKING:

A minimum of 2 off-street parking spaces per dwelling unit shall be provided.

VI. SIGNS:

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

VII. VEHICULAR ACCESS:

A. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access point are subject to any minor modifications required to accommodate final site plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation.

B. The Site shall be served by one public street as depicted on the Rezoning Plan. Individual homes shall be served by private driveways.

VIII. SIDEWALK/PLANTING STRIP:

The Petitioner shall install a 6 foot planting strip and a 4 foot sidewalk along the internal public street serving the Site.

IX. AMENDMENTS TO THE REZONING PLAN:

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

X. BINDING EFFECT OF THE REZONING PETITION:

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under this Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns. Throughout these Development Standards, the terms, "Petitioner" and "owner" or "owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.



VICINITY MAP

NOT TO SCALE

SITE DATA:

PARCEL ID #:	22503105
GIS ID #:	22503105
JURISDICTION:	CHARLOTTE, NC
PROPOSED ZONING:	R-4 (CD)
EXISTING ZONING:	R-15 MF (CD)
GROSS TOTAL SITE AREA:	8.7 ACRES
NET TOTAL SITE AREA:	8.7 ACRES
DENSITY:	2.3 DU/AC
OPEN SPACE:	1.4 ACRES
REQUIRED TREE SAVE:	0.87 ACRES

DEVELOPMENT STANDARDS:

FRONT SETBACK:	20'
(TREE SAVE REDUCTION)	
CORNER SETBACK:	15'
REAR YARD SETBACK:	35'
(50' REAR YARD SETBACK ON GOLF LOTS)	
(TREE SAVE REDUCTION)	
SIDE YARD SETBACK:	3'
(TREE SAVE REDUCTION)	
GARAGE SETBACK:	5'
(SIDE YARD)	
GARAGE SETBACK:	3'
(REAR YARD)	
MINIMUM LOT SIZE:	9,100 SF

PIPER GLEN TRACT

REZONING

08-122

SEAL:

CLIENT:

ANDERES
DEVELOPMENT
GROUP

CONSULTANTS:

HadenStanziale

planning
landscape architecture

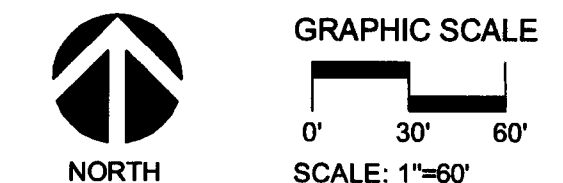
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PETITIONER'S AGENT:

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PH (704) 331-7471

REVISIONS:



SCALE: 1"=60'-0"

DATE: 6/10/08

PROJECT NUMBER: 08302

FILE NAME: REZONING

DRAWN BY: CAT

APPROVED BY: JFH

TITLE:

REZONING
SITE PLAN

SHEET: L-1

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SCHEMATIC ARCHITECTURAL ELEVATION SKETCH A



SCHEMATIC ARCHITECTURAL ELEVATION SKETCH B

PIPER GLEN
TRACT

REZONING

SEAL:

CLIENT:

ANDERES
DEVELOPMENT
GROUP

CONSULTANTS:

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REVISIONS:

SCALE:NA

DATE: 6/10/08

PROJECT NUMBER: 08302

FILE NAME:REZONING

DRAWN BY: CAT

APPROVED BY: JFH

TITLE:

REZONING
ELEVATIONS

SHEET: L-2