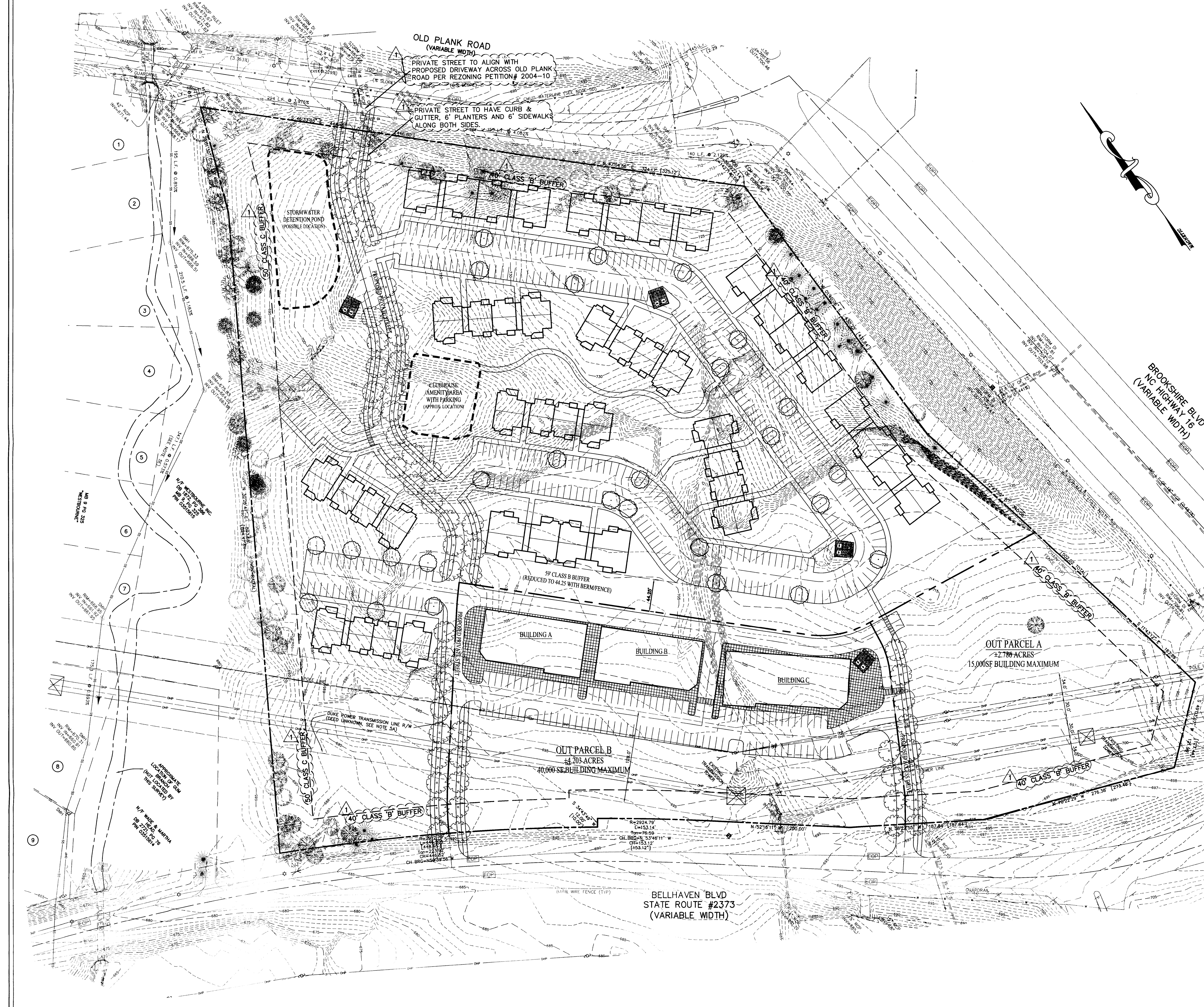
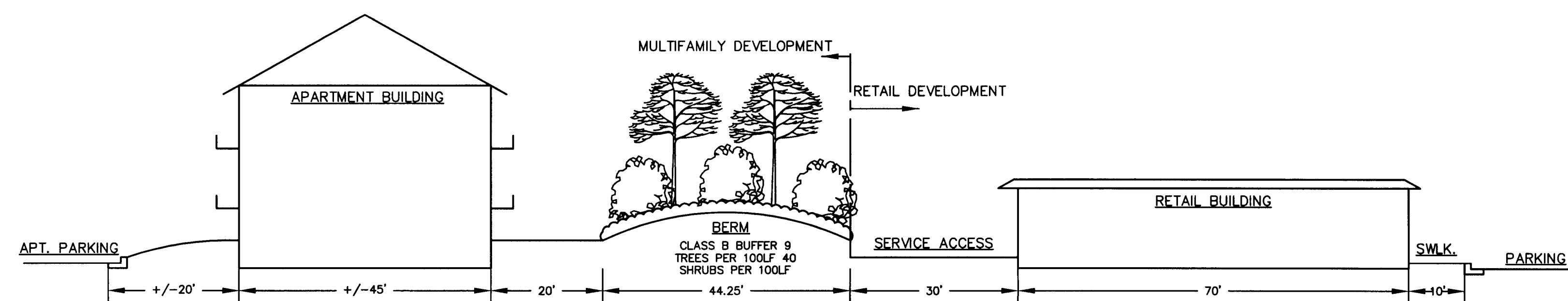




NOT TO SCALE



TAX PARCEL #035-156-16

(PROPOSED ZONING: B-1(CD) LWPA)

TOTAL ACREAGE: ±22.13 ACRES

RETAIL USES:

40,000 SF MAXIMUM AND
ONE OUTPARCEL (15,000 SF MAX.)
±2.776 ACRES

TOTAL RETAIL SQUARE FOOTAGE: 55,000 SF MAXIMUM

1 RETAIL PARKING: 1 SPACE / 250 SF = 220 SPACES REQUIRED/PROVIDED

MULTI FAMILY USE: 264 TOTAL UNITS

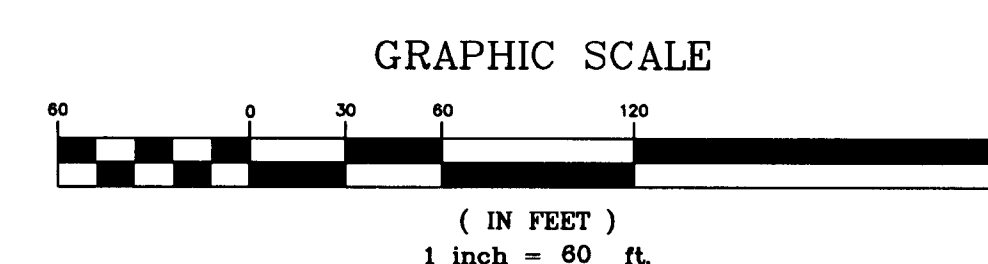
1 ±15.136 ACRES = 17.44 DWELLING UNIT PER ACRE;
WITH UP TO 24 UNITS PER BUILDING /THREE STORY

MULTI FAMILY PARKING: 1.5 SPACES PER UNIT = 396 REQUIRED/PROPOSED
PROPOSED TREE SAVE AREA: 10% MINIMUM


PROPOSED IMPERVIOUS AREA: HIGH DENSITY OPTION 70% IMPERVIOUS

CONDITIONAL NOTES

1. **USES:** SHALL BE LIMITED TO THOSE ALLOWABLE IN THE B-1 DISTRICT, EXCEPT NIGHT CLUBS AND AUTOMOBILE SERVICE STATIONS SHALL NOT BE PERMITTED, HOWEVER, A CONVENIENCE STORE WITH GASOLINE SALES AND AN ACCESSORY CAR WASH SHALL BE PERMITTED.
2. **MAXIMUM ALLOWABLE SQUARE FOOTAGE:** THE PRIMARY DEVELOPMENT AREAS SHALL CONSIST OF A MAXIMUM OF 264 MULTI-FAMILY UNITS AND A MAXIMUM OF 55,000 SQUARE FEET OF RETAIL WITH ONE OUTPARCEL. THE MAXIMUM SQUARE FOOTAGE IS TRANSFERABLE BETWEEN THE OUTPARCEL AND THE RETAIL CENTER, (AS LONG AS THE TOTAL SQUARE FOOTAGE DOES NOT EXCEED 55,000 SF.)
3. **LIGHTING:** SITE LIGHTING FOR BOTH THE MULTI-FAMILY AND RETAIL DEVELOPMENTS SHALL BE INWARDLY DIRECTED SO AS NOT TO REFLECT TOWARD ADJACENT PROPERTIES. NO WALL PAK LIGHTING SHALL BE ALLOWED AND ALL LIGHTING SHALL BE SHIELDED WITH FULL CUT-OFFS.
4. **DRIVEWAYS:** SHALL BE AT THE APPROXIMATE LOCATIONS AS SHOWN ON THIS SITE PLAN AND SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY ENGINEERING AND PROPERTY MANAGEMENT DEPARTMENT, CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION, AND NCDOT REQUIREMENTS.
5. **STREET BUFFERS:** THE PETITIONER AGREES TO A 40' CLASS B BUFFER ADJACENT TO OLD PLANK ROAD, BELLHAVEN BLVD. AND BROOKSHIRE BLVD.
6. **DUKE ENERGY RIGHT-OF-WAY:** ANY USE OF PROPERTY WITHIN THE DUKE ENERGY RIGHT-OF-WAY SHALL BE SUBJECT TO THE APPROVAL BY DUKE ENERGY COMPANY. THE DEVELOPER WILL OBTAIN APPROVAL FROM DUKE ENERGY FOR PARKING, PRIVATE STREETS AND DRIVEWAYS WITHIN THE 128' DUKE ENERGY RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE RETAIL DEVELOPMENT.
7. **STORM WATER:** CONTROL OF STORM WATER AND WATER QUALITY FROM THE SITE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE CURRENT EDITION OF THE CITY OF CHARLOTTE'S POST CONSTRUCTION STORM WATER ORDINANCE.
8. **CONCEPT OF DEVELOPMENT:** THE SITE PLAN DEPICTS A FIRM CONCEPT OF DEVELOPMENT; HOWEVER, FINAL SIZE, LOCATION AND CONFIGURATION WITHIN THE PRIMARY DEVELOPMENT AREAS MAY VARY IN ACCORDANCE WITH THE SITES CONDITIONS AND TENANT REQUIREMENTS, BUT IN NO EVENT SHALL THE BUILDING SQUARE FOOTAGE OR TOTAL NUMBER OF UNITS OR BUILDINGS EXCEED THE AMOUNTS INDICATED AS THE MAXIMUM FOR THE RETAIL OUTPARCEL AND MULTI-FAMILY DEVELOPMENT. ALTERATIONS TO THE APPROVED SITE PLAN WILL BE SOUGHT IN ACCORDANCE WITH CHAPTER 6 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
9. **ARCHITECTURAL DESIGN:** THE RETAIL DEVELOPMENT SHALL BE BUILT OUT OF DECORATIVE MASONRY BRICK, SPECIALTY MASONRY MATERIALS, STUCCO OR OTHER SIMILAR MATERIALS. OWNER WILL REQUIRE THE OUTPARCEL BUILDING TO USE SIMILAR BUILDING MATERIALS AND COLORS AS THE BUILDINGS IN THE RETAIL CENTER DEVELOPMENT AREA. THE DEVELOPER WILL SUBMIT TO PLANNING STAFF FOR APPROVAL OF ALL BUILDING ELEVATIONS PRIOR TO SUBMITTAL FOR A BUILDING PERMIT. THE MULTIFAMILY BUILDINGS WILL CONSIST OF SIDING, STUCCO AND BRICK/STONE.
10. **SCREENING:** SCREENING OF THE PARKING AND SERVICE AREAS AND THE BERM AND LANDSCAPE IMPROVEMENTS ASSOCIATED WITH THE CLASS B AND C BUFFERS, SCREENING (SECTION 12.3), SIGNAGE (CHAPTER 13) AND VEHICLE AND BIKE PARKING (CHAPTER 12 PART 2) SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE. PER SECTION 9.805(6), OUTDOOR STORAGE OF ANY MATERIAL, STOCK OR EQUIPMENT, ACCESSORY TO A PRINCIPLE USE ON ANY LOT IN A BUSINESS DISTRICT SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND ADJOINING PROPERTY IN ACCORDANCE WITH SECTION 12.303.
11. **ALL DUMPSTER/RECYCLE CONTAINERS:** SHALL BE ENCLOSED WITH A SOLID SCREEN FENCE AND GATE OR LOCATED WITHIN AN ENCLOSED SERVICE AREA. THE DUMPSTER/RECYCLE LOCATIONS, AS SHOWN ON THIS PLAN, ARE SCHEMATIC AND ARE SUBJECT TO CHANGE.
12. **SIGNAGE:** ALL PERMANENT SIGNS ERECTED ON THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE AND IN ACCORDANCE WITH THE FOLLOWING:
WITHIN THE BUFFER ZONES, PERMANENT PROJECT IDENTIFICATION SIGNS MAY ONLY BE LOCATED WITHIN THE VICINITY OF THE ACCESS POINTS LEADING TO OLD PLANK ROAD, HIGHWAY 16 AND BELLHAVEN BOULEVARD, AND ONLY TWO SUCH PROJECT IDENTIFICATION SIGNS MAY BE LOCATED ON THE OVERALL SITE. THE HEIGHT AND LOCATION FOR ALL SIGNAGE WILL MEET THE CURRENT ORDINANCE REQUIREMENTS, WHEN THE SITE AND/OR OUTPARCEL DEVELOPS.
THE OUTPARCEL WILL BE ALLOWED ONE FREE STANDING TENANT IDENTIFICATION SIGN, ONE FREE STANDING SIGNS OR GRAPHICS INSTALLED WITHIN BUILDING AREAS WILL BE CONSIDERED A SCALE AND APPEARANCE TO THE STRUCTURE WHICH THEY IDENTIFY AND EACH SIGN AFFIXED TO A STRUCTURE WILL BE COMPATIBLE WITH ITS ARCHITECTURAL DESIGN.
THE DEVELOPER WILL REQUIRE THAT ALL SIGNS IN THE PRIMARY DEVELOPMENT AREA AND THE OUTPARCELS TO BE HEAVILY LANDSCAPED WITH FLOWERS, SHRUBS, AND UNDERSTORY TREES WITH THE HEIGHT OF THE UNDERSTORY TREES TO BE NO LESS THAN EIGHT (8) FEET.
13. **OFF SITE ROAD IMPROVEMENTS:**
THE DEVELOPER WILL INSTALL LEFT TURN LANES ON OLD PLANK ROAD AND BELLHAVEN BLVD. TO SERVE THE PROPOSED PRIVATE STREET.
THE LEFT TURN LANES SHALL BE DESIGNED WITH A MINIMUM 150 FEET OF STORAGE BUT OTHERWISE DESIGNED TO NCDOT STANDARDS.
8-FOOT PLANTING STRIPS AND 6-FOOT PEDESTRIAN WALKS SHALL BE PROVIDED ON BOTH OLD PLANK ROAD AND BELLHAVEN BLVD.
A 10-FOOT SHARED BIKE/PEDESTRIAN PATH SHALL BE PROVIDED ALONG THE SITES FRONTAGE OF BROOKSHIRE BLVD., OUT OF THE CLEAR ZONE OF THE TRAVEL LANES.
A MINIMUM OF 150 FEET OF INTERNAL CHANLIZATION SHALL BE PROVIDED ON EACH CONNECTION TO OLD PLANK ROAD AND BELLHAVEN BLVD. (MEASURED FROM THE RIGHT-OF-WAY LINE.



REVISÉD FOR PUBLIC HEARING: PETITION #2008-112

CONDITIONAL REZONING REQUEST		200 S. COLLEGE ST SUITE 720 CHARLOTTE, NC 38202 TEL 704-334-7225 F 704-334-7226 www.stewart-eng.com		REVISED PER CITY STAFF COMMENTS	
WESTLAKE APARTMENTS AND RETAIL SHOPS		 STEWART		08.20.08	
DIANONN DEVELOPMENT INC.		©2008 - All drawings and documents are hereby acknowledged as being prepared and designed by Stewart Engineering Inc., a professional engineering firm duly licensed under the laws of the State of North Carolina. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system without permission in writing from Stewart Engineering Inc.		DATE	
CHARLOTTE, NORTH CAROLINA		MECKLENBURG COUNTY		NO.	
ILLUSTRATIVE REZONING SITE PLAN		DATE:		04.25.08	
SCALE:		HORIZ : 1" = 60'			
JOB NO:		X7051.01			
SHEET:		1			



WEDDINGTON SHOPS- STREET FRONT SHOPS
1/8"=1'-0"



Westlake Market

PETITION #2008-112

Charlotte, North Carolina

