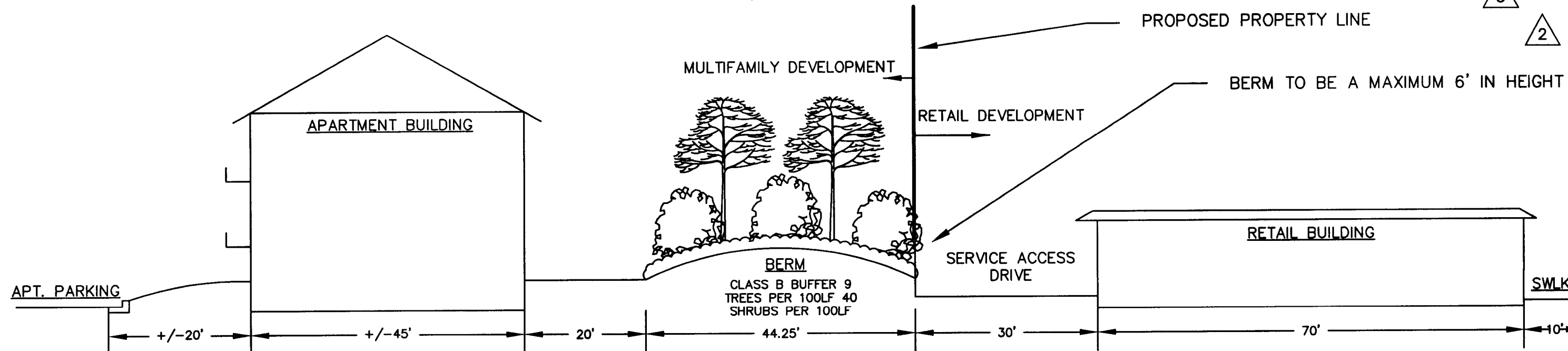


SECTION BETWEEN MULTIFAMILY AND RETAIL

NOT TO SCALE



DEVELOPMENT DATA:

TAX PARCEL #035-156-15 AND 16

CURRENT ZONING: R-3 LWPA (2.68 AC.) &

B-1SCD LWPA (±22.13 AC.)
(PETITION #87-37(C))

PROPOSED ZONING: B-1(CD) LWPA

TOTAL ACREAGE: ±24.81 ACRES

BUILDING DATA:

RETAIL USES: 3 THREE OUTPARCELS- A, B, & C (55,000 SF MAX.)

±5.75 ACRES, MAXIMUM HEIGHT 40'.

TOTAL RETAIL SQUARE FOOTAGE: 55,000 SF MAXIMUM W/2 DRIVE THRU

SERVICES RESTRICTED TO OUTPARCELS A & B.

RETAIL PARKING: 1 SPACE / 250 SF = 220 SPACES REQUIRED/PROVIDED

MULTI FAMILY USE: 192 TOTAL UNITS

± 9.85 ACRES = 19.49 DWELLING UNIT PER ACRE;

WITH UP TO 24 UNITS PER BUILDING /THREE STORY BLDG.

MAXIMUM BUILDING HEIGHT 45'.

MULTI FAMILY PARKING: 1.5 SPACES PER UNIT

±288 REQUIRED/PROPOSED

PUBLIC PRE-K SCHOOL (BY CMS): ±7.75 ACRES

20 CLASSROOMS (ONE OR TWO STORIES)

PROPOSED TREE SAVE AREA: 10% MINIMUM

PROPOSED IMPERVIOUS AREA: HIGH DENSITY OPTION 70% IMPERVIOUS

BICYCLE PARKING SHALL MEET MINIMUM STANDARDS FOR MULTI FAMILY,

RETAIL AND PRE-K SCHOOL DEVELOPMENTS

CONDITIONAL NOTES

1. USES SHALL BE LIMITED TO THOSE ALLOWABLE IN THE B-1 DISTRICT, EXCEPT NIGHT CLUBS AND AUTOMOBILE SERVICE STATIONS SHALL NOT BE PERMITTED. HOWEVER, A CONVENIENCE STORE WITH GASOLINE SALES AND AN ACCESSORY CAR WASH SHALL BE PERMITTED IN THE RETAIL AREAS.

2. MAXIMUM ALLOWABLE SQUARE FOOTAGE: THE PRIMARY DEVELOPMENT AREAS SHALL CONSIST OF A MAXIMUM OF 192 MULTI-FAMILY UNITS. A MAXIMUM OF 55,000 SQUARE FEET OF RETAIL ON THREE OUTPARCELS, AND A 20 CLASSROOM PUBLIC PRE-K SCHOOL. THE MAXIMUM SQUARE FOOTAGE IS TRANSFERABLE BETWEEN THE RETAIL OUTPARCELS AS LONG AS THE TOTAL SQUARE FOOTAGE DOES NOT EXCEED 55,000 SF. TWO DRIVE THRU SERVICE WINDOWS SHALL BE ALLOWED ON OUTPARCEL A AND B.

3. LIGHTING: SITE LIGHTING FOR THE MULTI-FAMILY, RETAIL, AND PRE-K SCHOOL DEVELOPMENTS SHALL BE INWARDY DIRECTED SO AS NOT TO REFLECT TOWARD ADJACENT PROPERTIES. NO WALL PAK LIGHTING SHALL BE ALLOWED AND ALL LIGHTING SHALL BE SHIELDED WITH FULL CUT-OFFS.

4. DRIVEWAYS: SHALL BE AT THE APPROXIMATE LOCATIONS AS SHOWN ON THIS SITE PLAN AND SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY ENGINEERING AND PROPERTY MANAGEMENT DEPARTMENT, CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION, AND NCDOT REQUIREMENTS.

5. STREET BUFFERS: THE PETITIONER AGREES TO A 40' CLASS B BUFFER ADJACENT TO OLD PLANK ROAD, BELLHAVEN BLVD. AND BROOKSHIRE BLVD. EXISTING TREES THAT ARE PRESERVED WITHIN THIS BUFFER AREA, AS WELL AS NEW PLANTINGS, WILL BE USED TO MEET TREE PLANTING REQUIREMENTS FOR THE CLASS B BUFFER. THE 20 FEET ADJACENT TO THE EXTERIOR R.O.W./PROPERTY LINE WITHIN THE 40 FOOT PERIMETER BUFFER SHALL REMAIN UNDISTURBED EXCEPT FOR MINOR BRUSH REMOVAL. UTILITY CORRIDORS AS REQ. AND TO ACCOMMODATE THE REQUIRED BIKE/PEDESTRIAN PATH.

6. DUKE ENERGY RIGHT-OF-WAY: ANY USE OF PROPERTY WITHIN THE DUKE ENERGY RIGHT-OF-WAY SHALL BE SUBJECT TO THE APPROVAL BY DUKE ENERGY COMPANY. THE DEVELOPER WILL OBTAIN APPROVAL FROM DUKE ENERGY FOR PARKING, PRIVATE STREETS AND DRIVEWAYS WITHIN THE 128' DUKE ENERGY RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE RETAIL DEVELOPMENT.

7. STORM WATER: CONTROL OF STORM WATER AND WATER QUALITY FROM THE SITE SHALL CONFORM TO THE REGULATIONS SET FORTH IN THE CURRENT EDITION OF THE CITY OF CHARLOTTE'S POST CONSTRUCTION STORM WATER ORDINANCE.

8. CONCEPT OF DEVELOPMENT: THE SITE PLAN DEPICTS A FIRM CONCEPT OF DEVELOPMENT; HOWEVER, FINAL SIZE, LOCATION AND CONFIGURATION WITHIN THE PRIMARY DEVELOPMENT AREAS, AND BUILDING ENVELOPE AREA FOR THE SCHOOL, MAY VARY IN ACCORDANCE WITH SITE MARKET CONDITIONS AND TENANT REQUIREMENTS, BUT IN NO EVENT SHALL THE BUILDING SQUARE FOOTAGE OR TOTAL NUMBER OF UNITS OR BUILDINGS EXCEED THE AMOUNTS INDICATED AS THE MAXIMUM FOR THE RETAIL OUTPARCEL AND MULTI-FAMILY DEVELOPMENT. ALTERATIONS TO THE APPROVED SITE PLAN WILL BE SOUGHT IN ACCORDANCE WITH CHAPTER 6 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.

9. ARCHITECTURAL DESIGN: THE RETAIL DEVELOPMENT SHALL BE BUILT OUT OF DECORATIVE MASONRY BRICK, SPECIALTY MASONRY MATERIALS, STUCCO OR OTHER SIMILAR MATERIALS. OWNER WILL REQUIRE THE OUTPARCEL BUILDINGS TO USE SIMILAR BUILDING MATERIALS AND COLORS AS THE BUILDINGS IN THE RETAIL CENTER DEVELOPMENT AREA. THE DEVELOPER WILL SUBMIT TO PLANNING STAFF FOR APPROVAL OF ALL BUILDING ELEVATIONS PRIOR TO SUBMITTAL FOR A BUILDING PERMIT.

THE MULTIFAMILY BUILDINGS WILL CONSIST OF WOOD SIDING, STUCCO AND BRICK/STONE/MASONRY. THE SCHOOL BUILDING WILL BE BRICK AND MASONRY.

10. SCREENING: SCREENING OF THE PARKING AND SERVICE AREAS AND THE BEAM AND LANDSCAPE IMPROVEMENTS ASSOCIATED WITH THE CLASS B AND C BUFFERS, SCREENING (SECTION 12.3), SIGNAGE (CHAPTER 13) AND VEHICLE AND BIKE PARKING (CHAPTER 12 PART 2) SHALL COMPLY WITH THE APPLICABLE SECTIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE. PER SECTION 9.8(b)(6), OUTDOOR STORAGE OF ANY MATERIAL, STOCK OR EQUIPMENT, ACCESSORY TO A PRINCIPLE USE ON ANY LOT IN A BUSINESS DISTRICT SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND ADJOINING PROPERTY IN ACCORDANCE WITH SECTION 12.3(b).

11. ALL DUMPSTER/RECYCLE CONTAINERS: SHALL BE ENCLOSED WITH A SOLID SCREEN FENCE AND GATE OR LOCATED WITHIN AN ENCLOSED SERVICE AREA. THE DUMPSTER/RECYCLE LOCATIONS, AS SHOWN ON THIS PLAN, ARE SCHEMATIC AND ARE SUBJECT TO CHANGE.

12. SIGNAGE: ALL PERMANENT SIGNS ERECTED ON THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE AND IN ACCORDANCE WITH THE FOLLOWING:
WITHIN THE BUFFER ZONES, PERMANENT MONUMENT STYLE PROJECT IDENTIFICATION SIGNS MAY ONLY BE LOCATED WITHIN THE VICINITY OF THE ACCESS POINTS LEADING TO OLD PLANK ROAD AND BELLHAVEN BLVD. AND ONLY TWO SUCH PROJECT IDENTIFICATION SIGNS MAY BE LOCATED ON THE OVERALL SITE. THE HEIGHT AND LOCATION FOR ALL SIGNAGE WILL MEET THE CURRENT ORDINANCE REQUIREMENTS, WHEN THE SITE AND/OR OUTPARCEL DEVELOPS.
THE RETAIL OUTPARCELS WILL BE ALLOWED ONE FREE STANDING TENANT IDENTIFICATION SIGN. ALL PRESTANDING SIGNS OR GRAPHICS INSTALLED WITHIN BUILDING AREAS WILL BE COMPLEMENTARY IN SCALE AND APPEARANCE TO THE STRUCTURE WHICH THEY IDENTIFY AND EACH SIGN AFFIXED TO A STRUCTURE WILL BE COMPATIBLE WITH ITS ARCHITECTURAL DESIGN. THE DEVELOPER WILL REQUIRE THAT ALL SIGNS IN THE PRIMARY DEVELOPMENT AREA AND THE OUTPARCELS TO BE HEAVILY LANDSCAPED WITH FLOWERS, SHRUBS, AND UNDERSTORY TREES WITH THE HEIGHT OF THE UNDERSTORY TREES TO BE NO LESS THAN SEVEN (7) FEET.

13. OFF SITE ROAD IMPROVEMENTS:
THE DEVELOPER WILL INSTALL LEFT TURN LANES ON OLD PLANK ROAD AND BELLHAVEN BLVD. TO SERVE THE PROPOSED PUBLIC STREET.
THE LEFT TURN LANES SHALL BE DESIGNED WITH A MINIMUM 150 FEET OF STORAGE BUT OTHERWISE DESIGNED TO NCDOT STANDARDS.
8-FOOT PLANTING STRIPS AND 6-FOOT PEDESTRIAN WALKS SHALL BE PROVIDED ON BOTH OLD PLANK ROAD AND BELLHAVEN BLVD.
A 10-FOOT SHARED BIKE/PEDESTRIAN PATH SHALL BE INSTALLED WITHIN THE 40' CLASS C BUFFER ADJACENT TO BROOKSHIRE BLVD., OUTSIDE OF THE NCDOT R/W, AND CONTAINED IN PUBLIC EASEMENT.
A MINIMUM OF 150 FEET OF INTERNAL CHANNELIZATION SHALL BE PROVIDED AT CONNECTION TO OLD PLANK ROAD AND BELLHAVEN BLVD. (MEASURED FROM THE EXISTING RIGHT-OF-WAY LINE).

14. ENVIRONMENTAL GDP'S:
THE DESIGN OF THIS DEVELOPMENT STRIVES TO MINIMIZE THE NEGATIVE ENVIRONMENTAL IMPACTS ON THE AIR AND WATER RESOURCES BY UTILIZING THE FOLLOWING STRATEGIES:
-- REDUCING THE NUMBER OF VEHICULAR TRIPS WITH THE DESIGN AND CONSTRUCTION OF NEW BICYCLE LANES AND BICYCLE PARKING AND BOTH INTERNAL AND PERIMETER PEDESTRIAN CONNECTIVITY VIA NEW SIDEWALKS.
-- PROVIDING A MIXTURE OF WELL-CONNECTED LAND USES (I.E. MULTI-FAMILY AND NEIGHBORHOOD RETAIL), AS SHOWN ON THIS SITE PLAN BY:
-- FILLING IN VACANT LAND
-- LOCATING DEVELOPMENT TO TAKE ADVANTAGE OF EXISTING INFRASTRUCTURE AND SERVICES.
-- FACILITATING USE OF ALTERNATE MODES OF TRANSPORTATION, INCLUDING BICYCLING, WALKING AND RIDING TRANSIT; AND
-- SHORTENING TRAVEL DISTANCE BY INCREASING STREET CONNECTIONS WITHIN THE DEVELOPMENT AND TO THE 3 ADJACENT MAJOR THOROUGHFARES.

THE STRATEGY FOR LESS IMPACT TO WATER: THIS PROJECT WILL STRIVE TO REDUCE THE IMPACT OF NON POINT POLLUTION ON WATER QUALITY BY:
-- ADHERING TO THE CITY OF CHARLOTTE POST CONSTRUCTION STORMWATER ORDINANCE FOR DESIGN OF ON SITE DETENTION AND WATER QUALITY BMP'S
-- MINIMIZING IMPERVIOUS SURFACE AREA
-- REDUCING SEDIMENTATION AND EROSION CONTROL VIA A WELL ENGINEERED GRADING AND EROSION CONTROL PLAN, WHICH WILL BE A PPROVED BY THE CITY.
-- PRESERVATION OF EXISTING TREES VIA TREE SAVE AREAS ALONG THE CREEK AND INTERNAL TO THE MULTI-FAMILY DEVELOPMENT, WHERE APPLICABLE FROM A GRADING STANDPOINT.

15. CATS BUS STOP:
UPON APPROVAL BY, AND COORDINATION WITH, CHARLOTTE AREA TRANSIT (CATS), THE DEVELOPER WILL INSTALL A CONCRETE BUS STOP PAD OUTSIDE THE PUBLIC RIGHT-OF-WAY, IN A LOCATION DESIGNATED BY CATS.

16. SOLID WASTE MANAGEMENT:
THE PETITIONER AGREES TO PROVIDE A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING LAND CLEARING, DEMOLITION, AND/OR CONSTRUCTION ACTIVITY.

17. WATERSHED NOTE:
SITE PLAN WILL COMPLY WITH LAKE WYLIE PROTECTED AREA WATERSHED REGULATIONS (HIGH DENSITY OPTION).

REVISED FOR PUBLIC HEARING: PETITION #2008-112

CONDITIONAL REZONING REQUEST
WESTLAKE APARTMENTS, RETAIL SHOPS
AND CMS PUBLIC PRE-K SCHOOL

DIANONN DEVELOPMENT INC.
CHARLOTTE, NORTH CAROLINA
MECKLENBURG COUNTY

ILLUSTRATIVE
REZONING
SITE PLAN

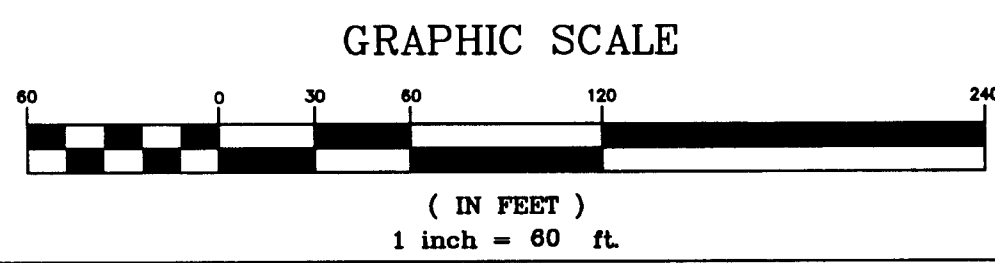
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REVISED PER CITY STAFF COMMENTS	REVISED PER STAFF PREHEARING ANALYSIS AND MEETING ON	CMPC STAFF CM 10.10.08	REVISED PER CMPC, CDOT, SUBDIVISION COMMENTS	REVISED PER STAFF COMMENTS	DESCRIPTION
06.20.08	10.17.08	11.10.08	1.19.08		NO
					DATE



4 SITE PLAN
3 MODIFIED



WEDDINGTON SHOPS- STREET FRONT SHOPS
10/11/12

Shoppes at
WEDDINGTON

Westlake Market

PETITION #2008-112

Charlotte, North Carolina





CONCEPT ELEVATION (SIDING, STUCCO AND BRICK)



CONCEPT ELEVATION (SIDING AND BRICK)

PETITION # 2008-112