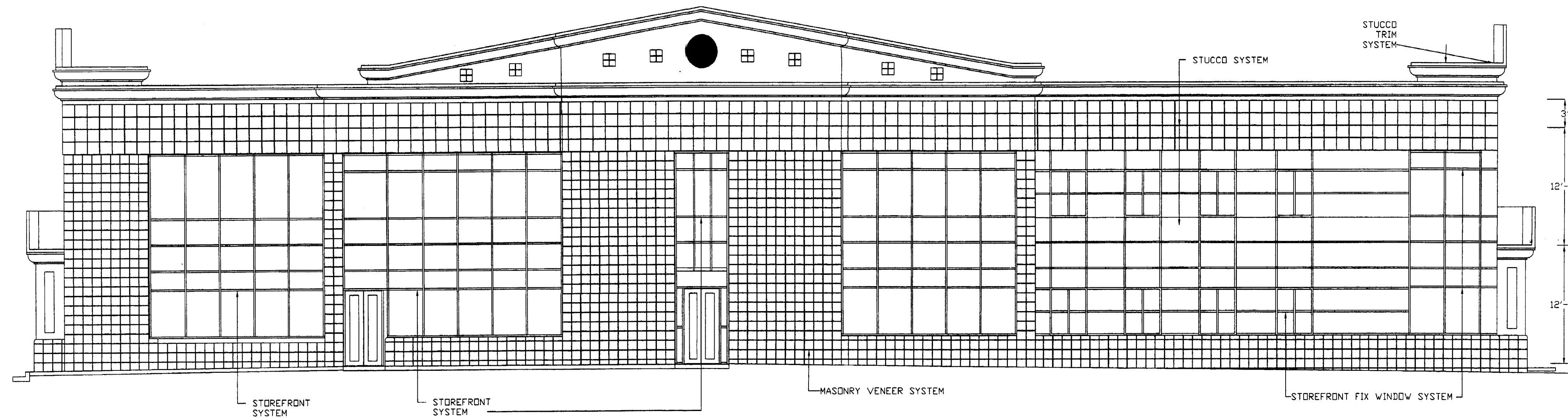


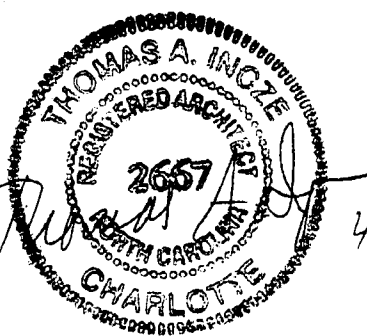
PRELIMINARY EAST ELEVATION WEST ELEVATION SIMILAR

SCALE  $\frac{1}{8}" = 1'-0"$



PRELIMINARY SOUTH ELEVATION NORTH ELEVATION SIMILAR

SCALE  $\frac{1}{8}" = 1'-0"$



4/23/08

A3

MEDICAL BUILDING FOR  
DR. IGHADE, DR. DSIKHOYE & OBUSHEN  
8901 ALBEMARLE ROAD  
CHARLOTTE, NC.

**ABL**

ARCHITECTURE & DESIGN, INC.  
4101-G STUART ANDREW BOULEVARD  
CHARLOTTE, NORTH CAROLINA 28217  
704-523-4867 FAX: 523-4086  
e-mail: [ablarc@bellsouth.net](mailto:ablarc@bellsouth.net)  
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4-21-2008

SITE PLAN SUMMARY AND REQUIREMENTS.

1. THE EXISTING PARCEL I. D. IS 10910205 AND THE ZONING IS R-3
2. REQUEST FOR THE PARCEL I. D. 10910205 ZONING BE CHANGE TO B-1 CD.
3. PROPOSED BUILDING USE IS A MEDICAL CENTER WITH A WALK IN AND DRIVE THROUGH PHARMACY. THE PHARMACY INCLUDES MEDICAL EQUIPMENT.
4. THE PROPOSED BUILDING IS A TWO STORY BUILDING. EACH FLOOR NOT TO EXCEED 14,500 SQUARE FEET PER FLOOR AND THE MEAN BUILDING HEIGHT IS 28 FEET. SEE SHEET A-3 FOR EXTERIOR ELEVATION.
5. THE SITE GROSS AREA EQUAL 84,881 SQUARE FEET. SEE ATTACHED SURVEY SHEET DATED 9-26-08. THE PROPOSED IMPERVIOUS AREA EQUAL 64,000 SQUARE FEET. THE OPEN AREA EQUAL 20,880 SQUARE FEET. WHICH IS 24% OF THE GROSS. THE REQUIRED PERCENTAGE OF OPEN AREA IS 10% OF THE GROSS. WHICH EQUAL 8,488 SQUARE FEET.
6. THE REQUIRED PARKING SPACES EQUAL THE BUILDING SQUARE FOOTAGE OF 29,000 / 200. WHICH EQUAL A TOTAL OF 145 SPACES REQUIRED. OF THE TOTAL SPACES 85% CAN BE COMPACT, AND WITH HANDY CAP SPACES EQUAL 5. TOTAL REQUIRED (R) SPACES MINIMUM AREA EQUAL 17' X 8.5' AND THE MINIMUM COMPACT (C) AREA EQUAL 15' X 7.5 SEE CHLDS 50.09A
- PARKING SUMMARY CLDS 50.09A
- TOTAL REGULAR SPACES REQUIRED = 104 EACH. PROVIDED EQUAL 104 EACH. 36 EACH. 1 EACH. 4 EACH.
- TOTAL COMPACT SPACES REQUIRED = 36 EACH. 36 EACH. 1 EACH. 4 EACH.
- TOTAL HANDY CAP SPACES REQUIRED = 4 EACH. 4 EACH. 1 EACH. 4 EACH.
- BICYCLE PARKING CLDS 50.02
- TOTAL RACKS REQUIRED LONG TERM = 2 EACH. PROVIDED = 2 EACH. 2 EACH. 8 EACH. 8 EACH.
- TOTAL RACKS REQUIRED SHORT TERM = 8 EACH. 8 EACH. 1 EACH. 4 EACH.
- ALUMINUM POST AND CANOPY WITH FLAT ROOF AND GUTTERS WITH SIZE OF 12' X 16' X 8'

SYMBOLS AND LEGEND

1. 2" STANDARD CURB/GUTTER
2. THE DRIVE AND PARKING AREA PAVING EQUAL 6" STONE AGG. BASE AND 2" 1-2 BITUMINOUS PAVING.
3. LARGE MATURING TREE SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
4. SMALL MATURING TREE SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
5. 2" HIGH @ 4' D.C. SHRUBBERY SCREENING SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
6. REFER TO CHARLOTTE LAND DEVELOPMENT STANDARD 4001 FOR PLANTING DETAILS.
7. WOODEN AREA AND EXISTING CONTOUR ELEVATION ARE SHOWN ON SURVEY DATED 9-26-07. SEE ATTACHED.
8. PROPOSED PRELIMINARY FINISH SPOT ELEVATION ARE TOP OF CURB (TC) AND FINISH GRADE (FG).
- 745.0 746.0 TC FG

CHARLOTTE TREE ORDINANCE CHAPTER 21

7. NOTE: ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES - PLANT 10'-20' OFF SEWER & STORM DRAINAGE LINES. 10'-15' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.
- ITEM 4 TREE # 2 IS ADJUSTED FOR THE 12" WATER LINE LOCATED BETWEEN EXISTING CURB/GUTTER AND PROPOSED 6" SIDE WALK.
8. MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ITEM 4 TREE # 2 IS ADJUSTED FOR THE OVERHEAD POWER LINE.
9. PERIMETER TREE REQUIREMENTS:
- PERIMETER TREES ON ALBEMARLE ROAD, FRONTAGE MINUS THE ENTRANCE = 260.00' FOR SMALL MATURING TREES 240 FT. TO 270 FT. = 9 REQUIRED.
10. INTERNAL TREE REQUIREMENTS:
- 10% FOR NEW SITES.
- ONE TREE PER 10,000 SQ. FT. OF IMPERVIOUS AREA. ALL PARKING SPACES WITHIN 60 FT OF A TREE MINIMUM LANDSCAPE AREA 10 % OF THE ENTIRE SITE.
- IMPERVIOUS AREA EQUAL 64,000 SF. / 10,000 SF. = 7 TREES
- LAND SCAPED AREA EQUAL 84,881 SF. X 10% = 8,488 SF..
- OPEN AREA EQUAL 20,880 SF.

PLANTING LIST				
NO.	TREES AND SHRUBS	BOTANICAL NAME	COMMON NAME	OFFICIAL COMMENTS
1	ACER RUBRUM	Red Maple	2" CAL 11	As shown
2	KAWANZAN	Shiraz	2" CAL 10	As shown
3	TAXUS CUSPIDATA	Japanese yew	2'	Min. 2' tall not to exceed 2' wide 5' O. C.

Contact the Utility Company to relocate any existing utility poles. All existing facilities which conflict with the improvements under the scope of this project must be relocated at the expense of the applicant.

All development creating a total of 20000 square feet of impervious area since September 1978 will require storm drainage detention.

Trees within the street right of way are protected by law. A permit is required from the City Arborist at (704-336-5753) prior to the removal of any right of way trees. All trees over 8" in diameter as measured 4.5 feet above ground and located within the setbacks are protected by law. Contact Land Development at (704-336-6892) for required permit.

Before you dig STOP. Call the NC ONE CALL Center at 1-800-632-4949. IT'S THE LAW.

**Storm Water Quantity Control**

The petitioner shall be in to the existing storm water system(s). The petitioner shall ensure the receiving drainage system(s) analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide adequate methods to prevent this from occurring.

**Storm Water Quality Treatment**

For projects with defined watershed greater than 24% out-urban area, construct water quality best management practices (BMPs) to achieve 80% Total Suspended Solids (TSS) removal for the entire post-development runoff volume for the runoff generated from the first inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCEM) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

**Volume and Peak Control**

For projects with defined watershed greater than 24% out-urban area, control the entire volume for the 1-year, 24-hour storm. Runoff volume reduction time shall be a minimum of 24 hours, but not more than 120 hours.

For residential projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year, 6-hour storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency.

For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year, 6-hour storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency.

For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-year, 6-hour storm.

"THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER, AND SITE DEVELOPMENT, ETC.), WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6, 9, 12, 17, 18, 19, 20, AND 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS, WHERE CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICIES, AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRIKER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY."

**PARKING STANDARDS**

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

**TREE PROTECTION DETAIL**

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

**ACCESSIBLE PARKING REQUIREMENTS**

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

**INVERTED "U" RACK FOR BICYCLE PARKING**

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

**PARKING STANDARDS CONTINUED**

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

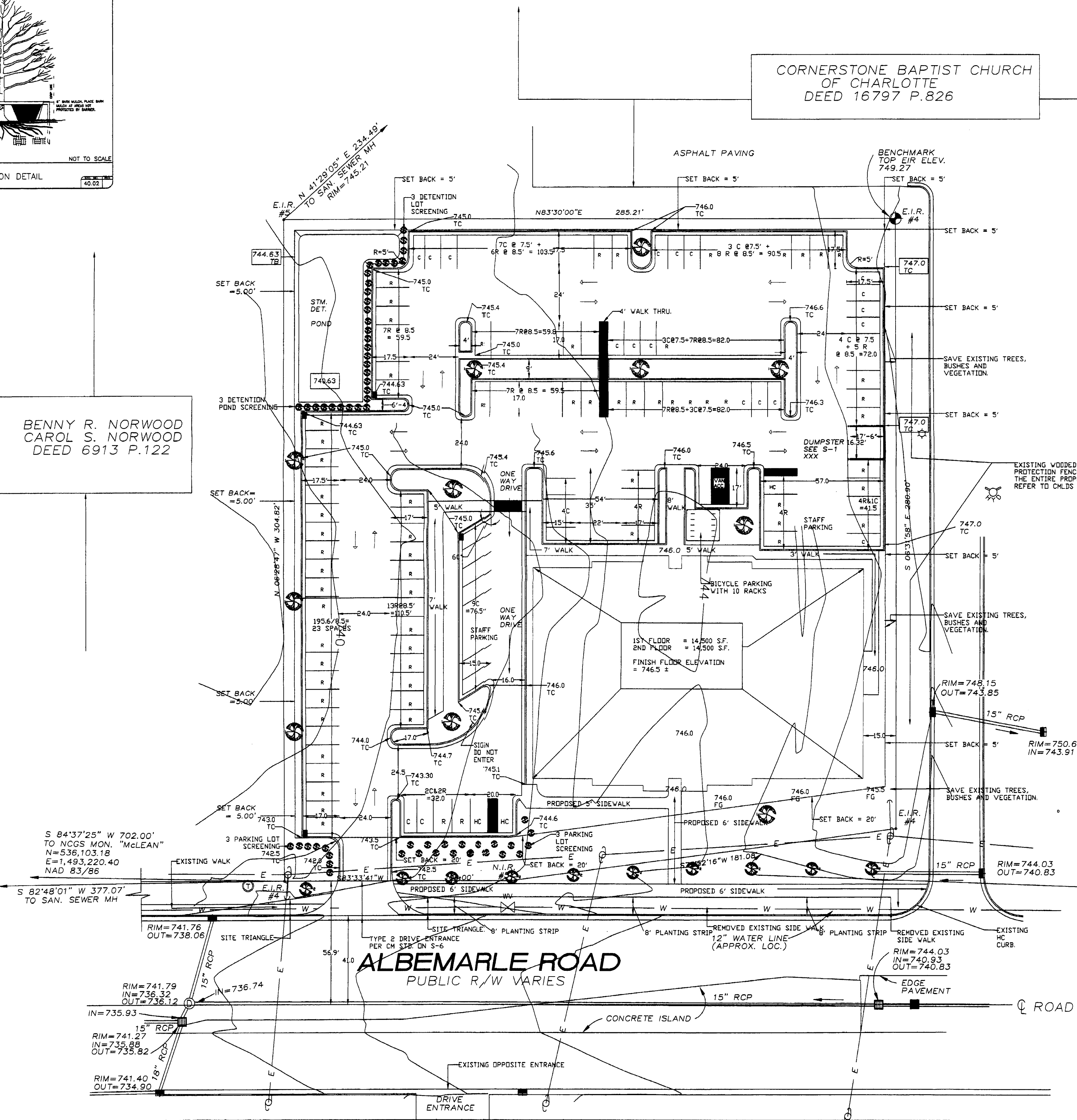
**TREE PLANTING**

(FOR SINGLE AND MULTI-STEM TREES)

NOT TO SCALE

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS INCLUDES CHARLOTTE 21

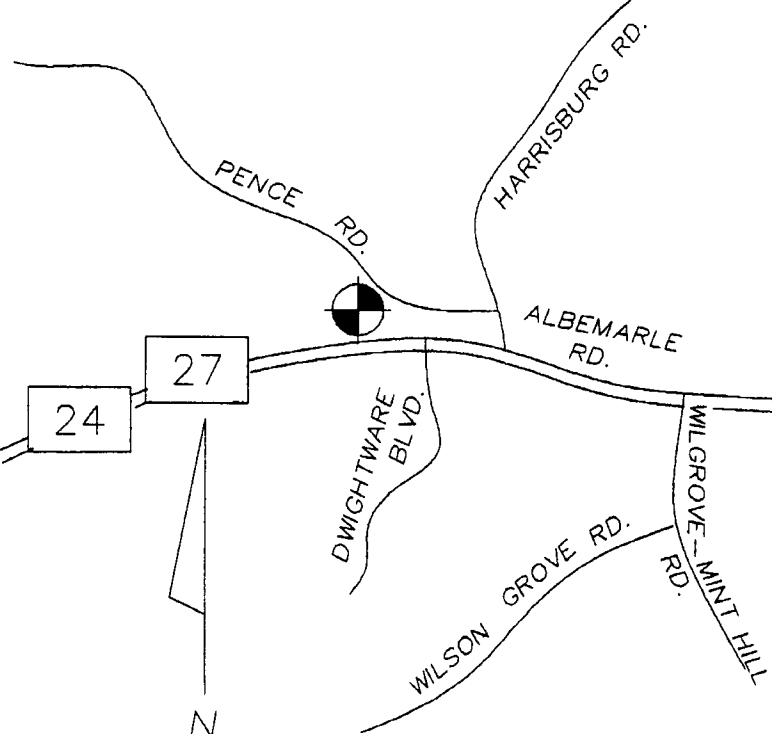
BENNY R. NORWOOD  
CAROL S. NORWOOD  
DEED 6913 P.122



PROPOSED SITE PLAN  
SCALE: 1" = 30'

SYMBOL LEGEND

⊕	POWER POLE (P.P.)
⊗	WATER VALVE
⊙	SEWER MAN HOLE
⊖	DRAINAGE MAN HOLE
⊕	FIRE HYDRANT
⊖	DROP INLET
—	ELECTRIC LINE
☆	LIGHT POLE (L.P.)
RCP	REINFORCED CONC. PIPE
⊕	TELEPHONE MAN HOLE
U.G. PIPE	U.G. PIPE
N.I.R.	NEW IRON REBAR
E.I.R.	EXISTING IRON REBAR



FOR PUBLIC HEARING  
PETITION NUMBER 2008-XX

**S1**

MEDICAL BUILDING FOR  
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**ABL**

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