

## SITE PLAN SUMMARY AND REQUIREMENTS.

1. THE EXISTING PARCEL I. D. IS 10910805 AND THE ZONING IS R-3.
2. REQUEST FOR THE PARCEL I. D. 10910805 ZONING BE CHANGE TO B-1 CD.
3. PROPOSED BUILDING USE IS A MEDICAL OFFICE AND RETAIL PHARMACY WITH A WALK IN AND DRIVE THRU PHARMACY.
4. THE PROPOSED BUILDING IS A TWO STORY BUILDING EACH FLOOR NOT TO EXCEED 14,400 SQUARE FEET PER FLOOR AND THE BUILDING HEIGHT IS NOT EXCEED 33' FEET. SEE SHEET A-3 FOR EXTERIOR ELEVATION. THE PHARMACY AREA = 4,000 SF AND THE CLINICS AREA = 24,700 SF.
5. THE SITE GROSS AREA EQUAL 84,881 SQUARE FEET. SEE ATTACHED SURVEY SHEET DATED 9-26-08. THE PROPOSED IMPERVIOUS AREA EQUAL 61,500 SQUARE FEET. THE OPEN AREA EQUAL 23,381 SQUARE FEET, WHICH IS 27% OF THE GROSS. THE REQUIRED PERCENTAGE OF OPEN AREA IS 10% OF THE GROSS, WHICH EQUAL 8,484 SQUARE FEET.
6. THE REQUIRED PARKING SPACES EQUALS SEE CHLDS 50.09A  
PARKING SUMMARY CLDS 50.10A  
PARKING SPACES REQUIRED FOR PHARMACY 4,100 SF / 250 SF = 16 EA.  
PARKING SPACES REQUIRED FOR CLINICS = 24,700 SF / 200 SF = 124 EA.  
TOTAL SPACES REQUIRED = 140 EA.  
REGULAR SPACES (R) PROVIDED = 100 EA.  
COMPACT SPACES (C) PROVIDED = 25 EA.  
HANDI CAP VAN ACCESSIBLE (H) PROVIDED = 1 EA.  
HANDI CAP SPACES (H) PROVIDED = 4 EA.  
TOTAL SPACES PROVIDED = 140 EA.  
BICYCLE PARKING CLDS 50.20  
TOTAL RACKS REQUIRED LONG TERM = 2 EACH PROVIDED = 2 EACH  
SHORT TERM = 8 EACH PROVIDED = 8 EACH  
ALUMINUM POST AND CANNOPY WITH FLAT ROOF AND GUTTERS WITH SIZE OF 12" X 16" X 8'
7. THE REZONING SITE PLAN DOES NOT CONSTITUTE APPROVAL FOR ANY STANDARD THAT DOES NOT MEET MINIMUM DRAINAGE.

## SYMBOLS AND LEGEND

1. 2" STANDARD CURB/GUTTER
2. THE DRIVE AND PARKING AREA PAVING EQUAL 6" STONE AGG. BASE AND 2" 1-2 BITUMINOUS PAVALING.
3. LARGE MATURING TREE SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
4. SMALL MATURING TREE SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
5. 2'-6" HIGH 8" 4" D.C. SHRUBBERY SCREENING SELECTED FROM CHARLOTTE LAND DEVELOPMENT APPROVED SPECIES LIST.
6. REFER TO CHARLOTTE LAND DEVELOPMENT STANDARD 4001 FOR PLANTING DETAILS.
7. WOODEN AREA AND EXISTING CONTOUR ELEVATION ARE SHOWN ON SURVEY DATED 9-26-07. SEE ATTACHED.
8. PROPOSED PRELIMINARY FINISH SPOT ELEVATION ARE TOP OF CURB (TC) AND FINISH GRADE (FG).

## CHARLOTTE TREE ORDNANCE CHAPTER 21

7. NOTE: ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES -- PLANT 15'-20' OFF SEWER & STORM DRAINAGE LINES, 10'-15' OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.
8. MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO LOCATE UTILITIES FOR THE 15' WATER LINE LOCATED BETWEEN EXISTING CURB/GUTTER AND PROPOSED 6" SIDE WALK.
9. PERIMETER TREE REQUIREMENTS:  
PERIMETER TREES SHALL BE PLANTED AT 25' TO 30' FROM THE ENTRANCE WHEN 60.00' FOR SMALL MATURING TREES 240 FT. TO 270 FT. = 9 REQUIRED.
10. INTERNAL TREE REQUIREMENTS:  
10% FOR NEW SITES.  
ONE TREE PER 10,000 SQ FT OF IMPERVIOUS AREA, ALL PARKING SPACES WITHIN 60 FT OF A TREE. MINIMUM LANDSCAPE AREA 10 % OF THE ENTIRE SITE.

PLANTING LIST				
NO.	TREES AND SHRUBS	BOTANICAL NAME	COMMON NAME	QTY COMMENTS
1	ACER RUBRUM	Red Maple	2" CAL	11 As shown
2	KAWANZAN CHERRY		2" CAL	10 As shown
3	TAKASUS CUSPIDATA	Japanese Elm	2" 6" Min 2'-6" Not to exceed 5' O.C.	20 As shown

Contact the Utility Company to relocate any existing utility poles. All existing facilities which conflict with the improvements under the scope of this project must be relocated at the expense of the applicant.

All development creating a total of 20000 square feet of impervious area since September 1978 will require storm drainage detention.

Trees within the street right of way are protected by law. A permit is required from the City Arborist at (704-336-5753) prior to the removal of any right of way trees. All trees over 8" in diameter as measured 4.5 feet above ground and located within the setbacks are protected by law. Contact Land Development at (704-336-6692) for required permit.

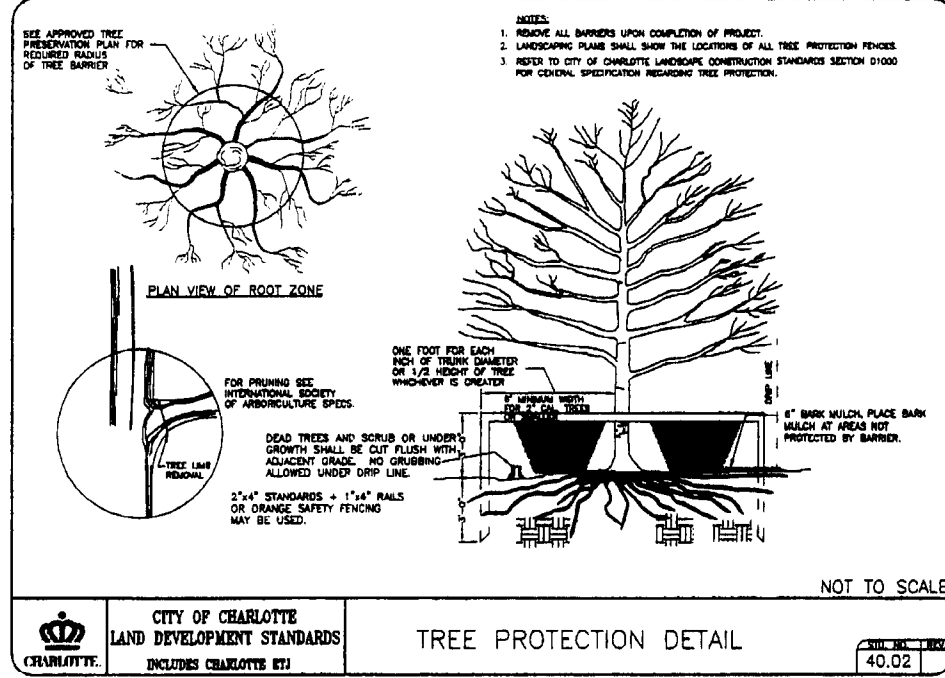
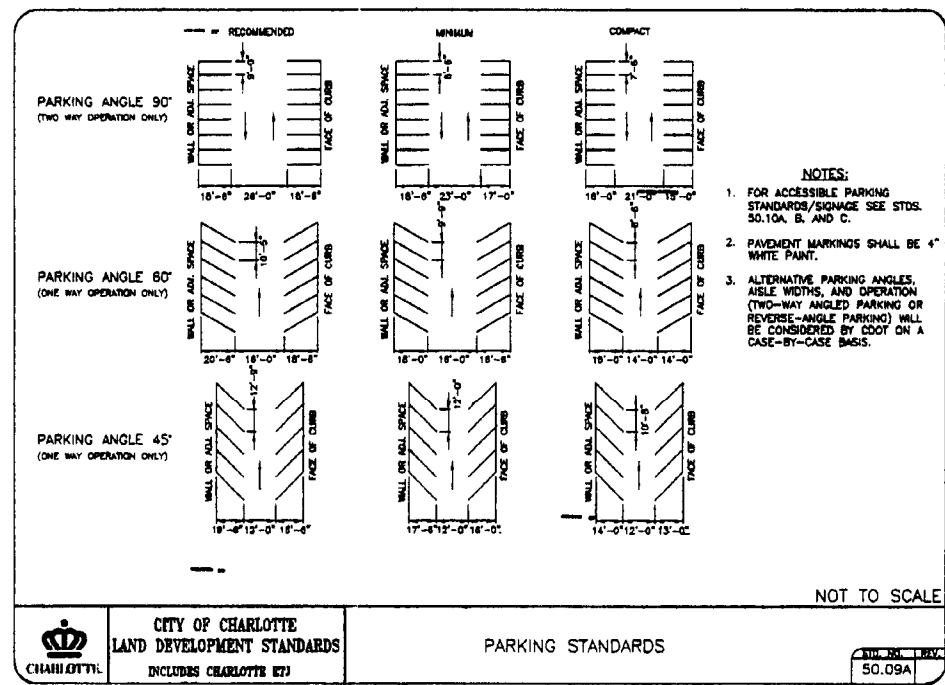
Before you dig STOP. Call the NC ONE CALL Center at 1-800-632-4949. IT'S THE LAW.

## NOTES PER THE LAND USE AND ENVIRONMENTAL AGENCY:

1. AIR QUALITY LETTER REGARDING EXISTING STRUCTURE ASBESTOS SUBMITTED TO MCAO BEFORE MOVING OR DEMOLISHING THE EXIST STRUCTURE.
2. SOLID WASTE MANAGEMENT PLAN SUBMITTED MCSW BEFORE ANY DEMOLITION OR CONSTRUCTION ACTIVITIES COMMENCES.
3. GROUNDWATER & SERVICES: NO GRADING OR DEMOLITION ACTIVITY SHALL COMMENCE UNTIL THE EXISTING WELLS ARE PROPERLY ABANDONED AND WELLHEAD CORDONED OFF. CONTACT GWS AT 704-336-5003 BEFORE COMMENCING WITH WORK. THE ABANDONMENT SHALL BE IN ACCORDANCE WITH WICKLENBURG COUNTY WELL REGULATIONS. THE SAME APPLIES TO THE EXISTING SEPTIC TANK.
4. WATER QUALITY: THE PROJECT WILL UTILIZES THE UNDERGROUND STORM WATER DETENTION SYSTEM IN ACCORDANCE WITH THE CITY OF CHARLOTTE STORM WATER ORDINANCE AND POST-CONSTRUCTION STORM WATER ORDINANCE.

## STORM WATER NOTES:

THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE.



"THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER, AND SITE DEVELOPMENT, ETC.), WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTER 6, 8, 9, 12, 17, 18, 19, 20, AND 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS, WHERE CONDITIONS ON THIS PLAN OFFER FROM ORDINANCES, STANDARDS, POLICIES, AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRIKER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY."

NOTE 14  
TYPE C BUFFER WITH FENCE PER CHARLOTTE CODE SECTION 12.282. FENCE EQUAL 2" X 4" X 6" HIGH TRT. VOID FRAMING WITH 1" X 6" VERTICAL SLATES STAGER ON EA. SIDE.

CAROL S. NORWOOD  
DEED 6913 P.122  
BENNY R. NORWOOD

NOTE 16  
PROPOSED RW. THE OWNERS WILL CONVEY THE RW TO THE CITY BEFORE AN OCCUPANCY PERMIT CAN BE ISSUED.

S 84°37'25" W 702.00'  
TO NCGS MON. "MCLEAN"  
N=536,103.18  
E=1,493,220.40  
NAD 83/86

S 82°48'01" W 377.07'  
TO SAN. SEWER MH

RIM=741.76  
OUT=738.06

RIM=741.79  
IN=736.92  
OUT=736.12

RIM=741.27  
IN=735.88  
OUT=735.62

RIM=741.40  
OUT=734.90

1  
S1

SCALE: 1" = 30'

PROPOSED SITE PLAN

ALBEMARLE ROAD  
PUBLIC R/W VARIES

CONCRETE ISLAND

EXISTING OPPOSITE ENTRANCE

DRIVE ENTRANCE

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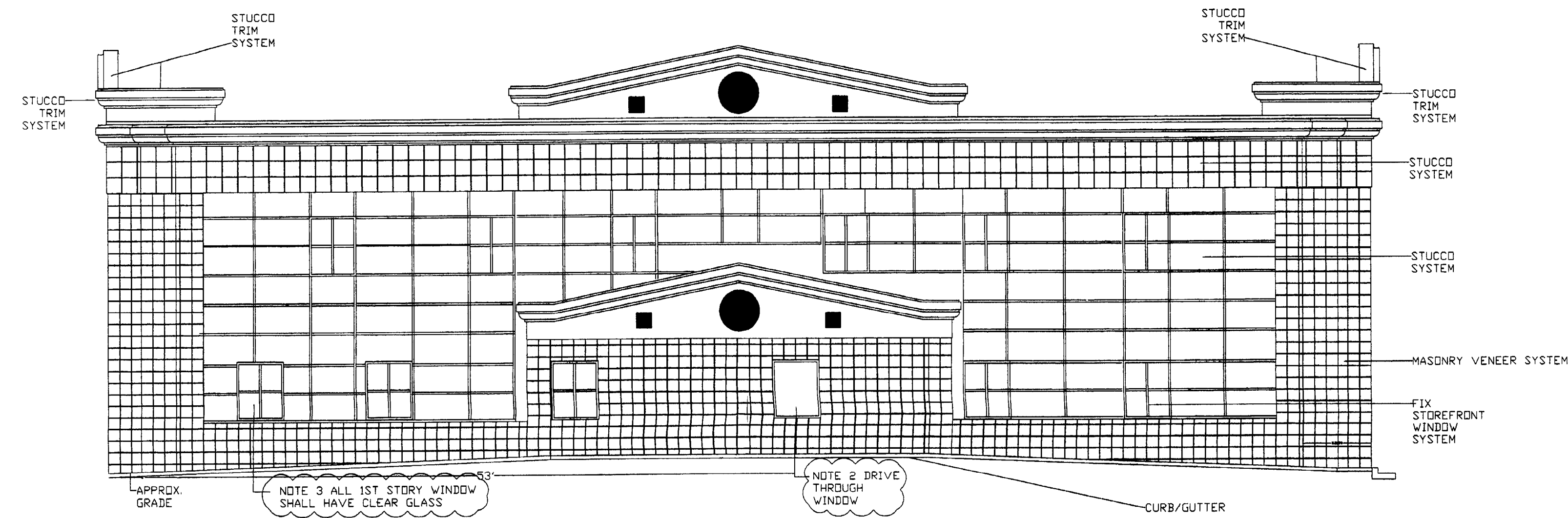
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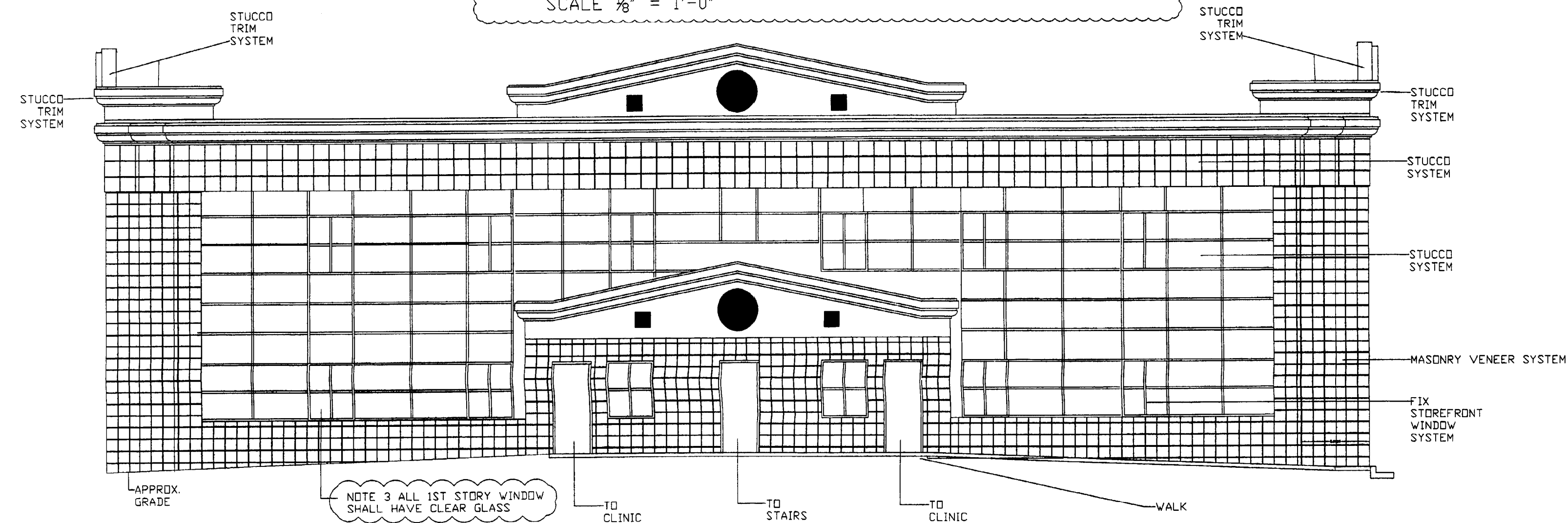
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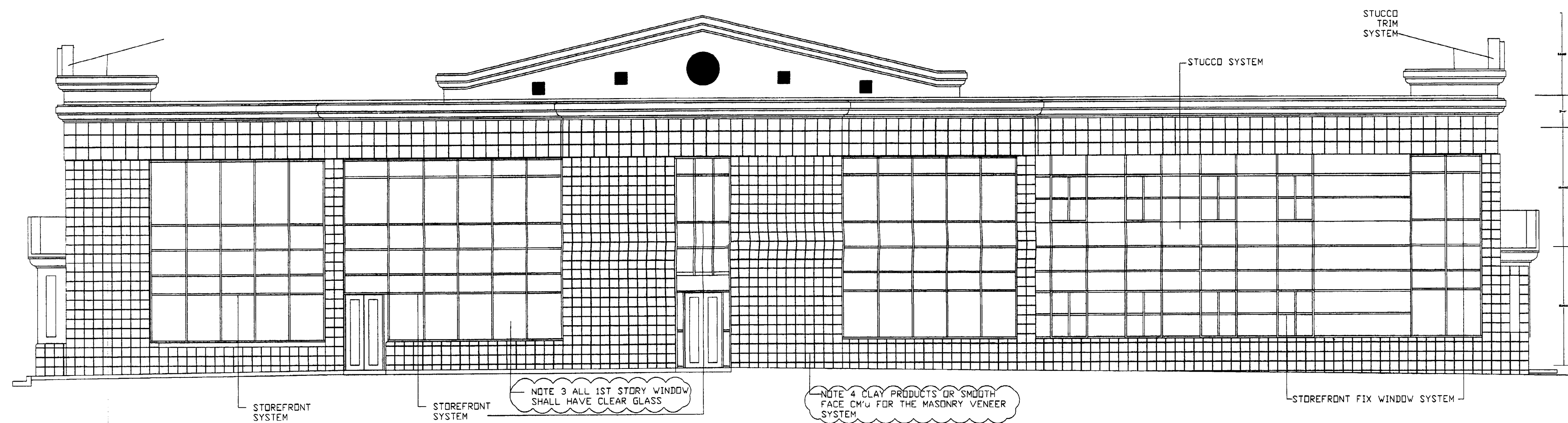
PRELIMINARY WEST ELEVATION

SCALE  $\frac{1}{8}" = 1'-0"$



PRELIMINARY EAST ELEVATION

SCALE  $\frac{1}{8}" = 1'-0"$



PRELIMINARY SOUTH ELEVATION NORTH ELEVATION SIMILAR

SCALE  $\frac{1}{8}" = 1'-0"$

A5

MEDICAL BUILDING FOR  
DR. IGHAE, DR. DSINLOYE & OBUSHEN  
8901 ALBEMARLE ROAD  
CHARLOTTE, NC.

**ABL**

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