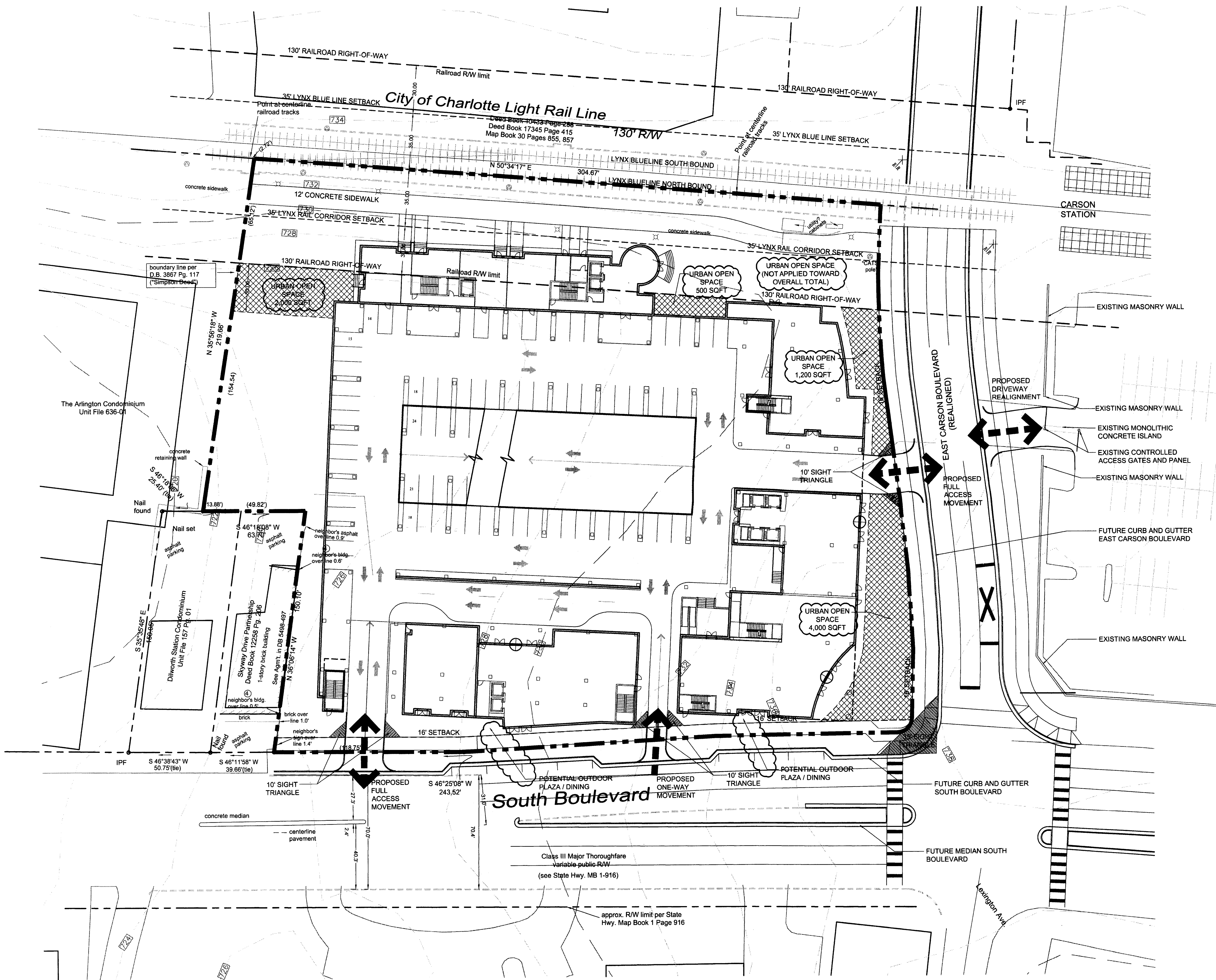


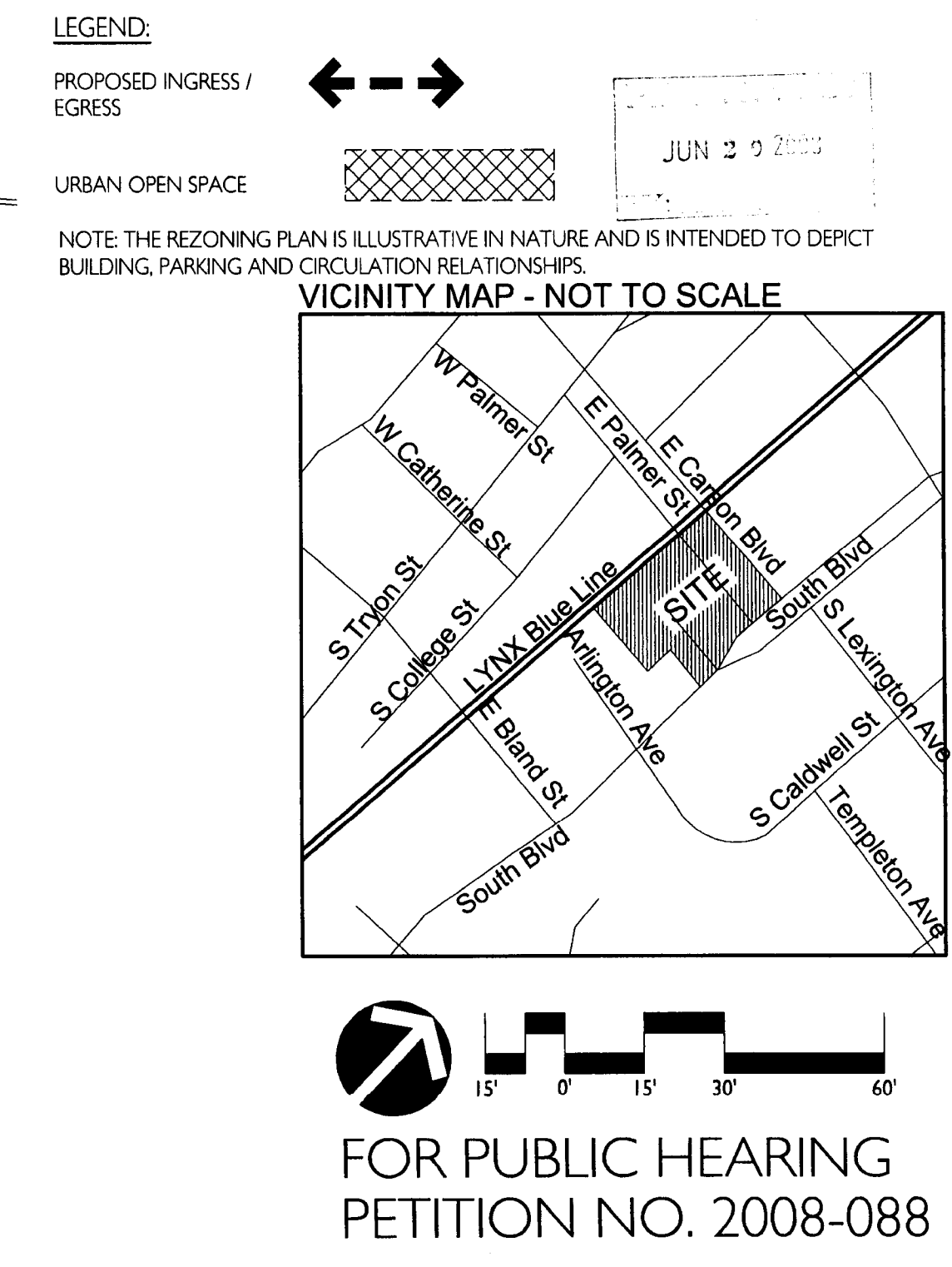


- SITE DEVELOPMENT SUMMARY:**
- 1) TAX PARCEL ID #: 123-036-05, 123-036-06, 123-015-02, 123-015-04 AND A PORTION OF 123-015-05
 - 2) JURISDICTION: CITY OF CHARLOTTE
 - 3) TOTAL SITE SF (ACREAGE): +/- 119,354.40 SF (2.74 AC)
 - 4) EXISTING ZONING & USES:
 - TRANSIT ORIENTED DEVELOPMENT - MIXED-USE "TOD-M"
 - VACANT
 - COMMERCIAL
 - OFFICE
 - PUBLIC STREET RIGHT-OF-WAY
 - 5) PROPOSED ZONING: TRANSIT ORIENTED DEVELOPMENT - MIXED-USE (OPTIONAL) "TOD-MO"
 - 6) PROPOSED USES: GROUND FLOOR COMMERCIAL SPACE WHICH IS FLEXIBLE FOR OFFICE, RETAIL, AND RESTAURANT USES; OFFICE USES ABOVE, RESIDENTIAL UNITS, HOTEL UNITS AND SERVICES AND OPEN SPACE.
 - 7) PROPOSED SETBACKS:
 - CARSON BLVD: 16' SETBACK
 - SOUTH BLVD: 16' SETBACK
 - SETBACKS ARE DESIGNED PER THE "SOUTH END TRANSIT STATION AREA PLAN" ADOPTED BY CITY COUNCIL JUNE, 2005.
 - 8) BUILDING HEIGHT REQUESTED: 230' - 250' MAXIMUM
 - 9) BUILDING SQUARE FOOTAGE REQUESTED:

OFFICE	150,000 SQFT MINIMUM
RESIDENTIAL UNITS	99 UNITS MINIMUM
HOTEL UNITS AND SERVICES	100 UNITS MINIMUM
GROUND FLOOR COMMERCIAL SPACE	12,000 SQFT MINIMUM
OFFICE, RETAIL, AND RESTAURANT	
URBAN OPEN SPACE	6,000 SQFT MINIMUM
 - 10) PROPOSED DWELLING UNITS PER ACRE: MINIMUM DENSITY SHALL COMPLY WITH THE ORDINANCE
 - 11) PROPOSED FLOOR AREA RATIO: MINIMUM DENSITY SHALL COMPLY WITH THE ORDINANCE
 - 12) URBAN OPEN SPACE SHALL MEET THE MINIMUM ORDINANCE REQUIREMENTS. URBAN OPEN SPACE SHALL BE LOCATED OUTSIDE OF THE 35' LYNX RAIL CORRIDOR SETBACK AND MINIMUM SETBACKS ALONG SOUTH BOULEVARD AND EAST CARSON BOULEVARD.
 - 12A) URBAN OPEN SPACE SQUARE FOOTAGE:

REQUIRED: 6,000 SQFT
PROVIDED: 7,700 SQFT
 - 13) PARKING ALLOWANCES (AS ALLOWED BY THE ORDINANCE):

RESIDENTIAL SPACES	1 SPACE / 150 SQFT MIN
HOTEL SPACES (AS ALLOWED BY THE ORDINANCE)	1 SPACE / 150 SQFT MIN
OFFICE SPACES (AS ALLOWED BY THE ORDINANCE)	1 SPACE / 150 SQFT MIN
RETAIL SPACES (1 SPACE / 150 SQFT MAX)	
RESTAURANT SPACES (1 SPACE / 150 SQFT MIN)	
 - 14) BIKE PARKING WILL BE PROVIDED PER THE ORDINANCE.
- EXISTING CONDITIONS INFORMATION:**
SITE SURVEY DATA AND TOPOGRAPHIC INFORMATION INSIDE PROJECT BOUNDARY PROVIDED BY:
A.G. ZOUTEWELLE SURVEYORS
1418 EAST FIFTH STREET
CHARLOTTE, NC 28204
P. 704.372.9444
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION OUTSIDE OF THE PROJECT BOUNDARY PROVIDED BY:
MECKLENBURG COUNTY ENGINEERING & BUILDING STANDARDS DEPARTMENT
DELD (DEMOGRAPHIC, EMPLOYMENT AND LAND DEVELOPMENT) INFORMATION SYSTEM
- CATS LYNX BLUE LINE BASE MAP COMPILED FROM DESIGN PLANS FOR SOUTH CORRIDOR INFRASTRUCTURE PROJECT (SCIP) FROM THE CHARLOTTE AREA TRANSIT SYSTEM.
- CARSON BOULEVARD AND SOUTH BOULEVARD ROAD REALIGNMENT PROVIDED BY:
PBS&J - CHARLOTTE
5200 77 CENTER DRIVE, SUITE 500
CHARLOTTE, NC 28217
P. 704.522.7275



GENERAL PROVISIONS

THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN FOR THE "1200 SOUTH BOULEVARD" DEVELOPMENT SUBMITTED BY HARRIS DEVELOPMENT GROUP, LLC. (THIS "REZONING PLAN"). DEVELOPMENT OF THE PROPERTY IDENTIFIED ON THIS REZONING PLAN (THE "PROPERTY" OR THE "SITE") AND THE INDIVIDUAL COMPONENTS TO BE LOCATED THEREON WILL BE GOVERNED BY THE CONDITIONS OF THIS REZONING PLAN AND THOSE PLANS AND DRAWINGS EXPRESSLY INCORPORATED HEREIN BY REFERENCE AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THIS REZONING PLAN, THE DEVELOPMENT STANDARDS ESTABLISHED UNDER THE ORDINANCE FOR THE TRANSIT ORIENTED DEVELOPMENT DISTRICT - MIXED USE (TOD-M) CLASSIFICATIONS SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE.

THE DEVELOPMENT DEPICTED ON THE REZONING PLAN (Z-1.0) IS SCHEMATIC IN NATURE AND IS INTENDED ONLY TO DESCRIBE THE POSSIBLE ARRANGEMENT OF USES ON THE SITE AND ILLUSTRATE DESIGN PRINCIPALS. ACCORDINGLY, THE CONFIGURATION, PLACEMENT AND SIZE OF THE BUILDING FOOTPRINTS OUTLINED ON THE REZONING PLAN ARE SCHEMATIC AND, SUBJECT ONLY TO THE PROVISIONS SET FORTH BELOW MAY BE ALTERED OR MODIFIED DURING DESIGN, DEVELOPMENT AND CONSTRUCTION PHASES WITHIN THE MAXIMUM BUILDING/PARKING ENVELOPE LINES ESTABLISHED ON THIS SHEET. PARKING LAYOUTS MAY ALSO BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS AND OFF-STREET PARKING SPACES MAY BE LOCATED INSIDE AND OUTSIDE BUILDING ENVELOPES TO THE EXTENT PERMITTED BY THE ORDINANCE. ALL SUCH CHANGES ARE SUBJECT TO REVISIONS PER CHAPTER 6 OF THE ORDINANCE.

THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, SETBACKS, TREES, AND SITE DEVELOPMENT, ETC.) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6, 9, 12, 17-21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS.

PERMITTED USES

THE SITE MAY BE DEVELOPED FOR RESIDENTIAL, RETAIL, RESTAURANT, OFFICE, AND HOTEL USES WHICH ARE PERMITTED BY RIGHT UNDER THE ORDINANCE FOR TRANSIT ORIENTED DEVELOPMENT DISTRICT - MIXED USE (TOD-M). SUBJECT, HOWEVER, TO THE FOLLOWING VARIATION(S) FROM THE TRANSIT ORIENTED DEVELOPMENT DISTRICT - MIXED USE (TOD-M) MINIMUM STANDARDS FOR DESIGN AND DEVELOPMENT AS PART OF THIS TOD-MO (OPTIONAL) APPLICATION AND IN CONNECTION WITH DEVELOPMENT OF THE SITE IN ACCORDANCE WITH THIS REZONING PLAN TO WHICH THESE DEVELOPMENT STANDARDS ARE ATTACHED:

1. THE PETITIONER REQUESTS A DEVIATION FROM SECTION 9.1208(3) OF THE ORDINANCE FOR THE DEVELOPMENT (HOWEVER, DURING ARCHITECTURAL DESIGN, THE DEVELOPER MAY COORDINATE WITH THE PLANNING DEPARTMENT OR THE PLANNING DIRECTOR TO INCREASE THE MAXIMUM HEIGHT OF THE BUILDING(S) TO 250 FEET IN ORDER TO PROTECT VIEW CORRIDORS AND/OR ACHIEVE ADDITIONAL OPEN SPACE. BUILDING HEIGHT SHALL BE DEFINED AS THE VERTICAL DISTANCE BETWEEN THE AVERAGE GRADE AT THE BASE OF A STRUCTURE AND THE HIGHEST PART OF THE STRUCTURE, BUT NOT INCLUDING SKY LIGHTS, AND ROOF STRUCTURES FOR ELEVATORS, STAIRWAYS, TANKS, HEATING, VENTILATION AND AIR-CONDITIONING EQUIPMENT, OR SIMILAR EQUIPMENT FOR THE OPERATION AND MAINTENANCE OF A BUILDING.

2. THE PETITIONER REQUESTS A DEVIATION FROM THE SOUTH END TRANSIT STATION AREA PLAN FOR THE DEVELOPMENT. FOR THE STREETScape DEVELOPMENT STANDARDS ALONG CARSON BOULEVARD, THE PETITIONER SHALL HAVE THE OPTION OF CONSTRUCTING WITHIN THE PLANTING STRIP ANY OF THE FOLLOWING OPTIONS:

1. AN 8-FOOT GRASSED PLANTING STRIP WITH LARGE MATURING TREES.
2. AN 8-FOOT CURBED PLANTER STRIP WITH LARGE MATURING TREES AND/OR,
3. A CONTINUOUS HARDSCAPE AREA FROM THE SETBACK LIMIT TO THE BACK-OF-CURB WITH TREES LOCATED WITHIN TREE PITS AND TREE GRATES.

SETBACKS, SIDE YARDS AND REAR YARDS

1. ALL BUILDINGS CONSTRUCTED WITHIN THE SITE SHALL SATISFY THE SETBACK, REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED BY THE "SOUTH END TRANSIT STATION AREA PLAN" ADOPTED BY CITY COUNCIL IN JUNE OF 2005.

SCREENING AND LANDSCAPING AREAS

1. SITE WILL COMPLY WITH CHAPTER 21 OF THE TREE ORDINANCE.

2. LANDSCAPE AREAS WILL BE PLANTED ON THE SITE TO MEET OR EXCEED THE REQUIREMENTS OF THE ORDINANCE.

3. STREET TREES SHALL BE INSTALLED ALONG ALL PUBLIC STREETS PER THE CHARLOTTE TREE ORDINANCE, THE SOUTH END TRANSIT STATION AREA PLAN STREETScape STANDARDS OR AS DEFINED UNDER THE "PERMITTED USES" APPROVED WITH THIS REZONING PETITION.

4. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN THE ORDINANCE. REQUIRED LANDSCAPE OF TREES AND SHRUBS LOCATED WITHIN THE BUFFER AREA SHALL CONFORM TO THE ORDINANCE.

5. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.

URBAN OPEN SPACE

1. THE URBAN OPEN SPACE AREAS LOCATED ALONG SOUTH BOULEVARD, CARSON BOULEVARD AND THE LYNX LIGHT RAIL CORRIDOR ARE PROPOSED TO BE VISIBLE AND ACTIVE PUBLIC SPACE AREAS AND ARE INTENDED TO COMPLIMENT THE PEDESTRIAN ENVIRONMENT ALONG SOUTH BOULEVARD AND CARSON STREET.

2. ITEMS PROVIDED WITHIN THE URBAN OPEN SPACE AREA SHALL INCLUDE THE FOLLOWING:

- A. SMALL MATURING TREES
- B. SHRUBS
- C. SMALL COURT YARDS
- D. SPECIALTY PAVING
- E. BENCHES
- F. PEDESTRIAN SCALE LIGHTING

3. ITEMS PROVIDED WITHIN THE URBAN OPEN SPACE AREA POTENTIALLY INCLUDE THE FOLLOWING:

- A. PUBLIC ART
- B. WATER FEATURE(S)
- C. OUTDOOR DINING OPPORTUNITIES
- D. UNIQUE LIGHTING CONCEPTS
- E. TERRACED PLAZAS / PATIOS
- F. ACCESSORY STRUCTURES (KIOSKS, VENDORS, ETC.)
- G. PLANNED COMMUNITY OPPORTUNITIES

4. ITEMS PROVIDED WITHIN THE 35-FOOT SETBACK ALONG THE RAIL CORRIDOR SHALL INCLUDE THE FOLLOWING:

- A. DECORATIVE FENCING TO BE LOCATED AT THE BACK OF THE BALLAST CURB
- B. A 7-FOOT CURBED TREE PLANTER TO INCLUDE TREES AND SHRUBS, OR, A TREE PIT AREA WITH TREE GRATES AS APPROVED BY THE SOUTH END TRANSIT STATION AREA PLAN.
- C. A 12-FOOT CONCRETE SIDEWALK WITHIN THE LYNX RAIL CORRIDOR AS INDICATED ON THE REZONING SITE PLAN.
- D. DECORATIVE LIGHTING FIXTURES

5. URBAN OPEN SPACE SHALL BE PROVIDED IN THE NORTHWEST CORNER OF THE PROPERTY. THIS SPACE SHALL BE MEASURED 30-FEET INTO THE PARCEL FROM THE LYNX BLUE LINE RIGHT OF WAY AND SHALL BE ORIENTED TOWARD THE LYNX MULTI-USE TRAIL.

6. URBAN OPEN SPACE SHALL BE PROVIDED WITHIN A PORTION OF THE PROPERTY LOCATED BETWEEN THE 130-FOOT LYNX RAIL RIGHT-OF-WAY LIMITS AND THE LYNX RAIL CORRIDOR LIMITS. IMPROVEMENTS WITHIN THIS AREA SHALL INCLUDE ITEMS LISTED AS NOTE #2 IN THIS SECTION. URBAN OPEN SPACE LOCATED WITHIN THE LYNX CORRIDOR LIMITS SHALL NOT BE APPLIED TOWARD THE OVERALL MINIMUM OPEN SPACE REQUIREMENTS FOR THE DEVELOPMENT. THE PETITIONER SHALL COORDINATE CONSTRUCTION WITHIN THIS AREA WITH THE CHARLOTTE AREA TRANSIT SYSTEM.

7. URBAN OPEN SPACE SHALL BE OPEN AND AVAILABLE TO PUBLIC ACCESS AND SHALL BE MEASURED AND CALCULATED ON THE GROUND PLANE AS INDICATED ON THE REZONING SITE PLAN.

8. THE PETITIONER MAY INSTALL ON THE UPPER LEVEL OF THE PARKING STRUCTURE A PRIVATE AMENITY AREA TO BE UTILIZED BY THE OCCUPANTS OF THE PROPOSED DEVELOPMENT AND PROVIDE A VISUAL AMENITY FOR ADJACENT PROPERTIES.

LIGHTING

1. PETITIONER AGREES TO INSTALL PEDESTRIAN SCALE LIGHTING ALONG PUBLIC STREETS. THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE, INCLUDING ITS BASE, SHALL NOT EXCEED 15 FEET.

2. ALL DIRECT LIGHTING WITHIN THE SITE SHALL BE FULL CUT-OFF AND DESIGNED SUCH THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY EXTERIOR PROPERTY LINE. CONSIDERATION WILL BE GIVEN TO THE IMPACT OF LIGHTING BOTH WITHIN AND OUTSIDE OF THE PERIMETER OF THE SITE. ITEMS FOR CONSIDERATION WILL INCLUDE INTENSITY, CUTOFF ANGLES, COLOR, ENERGY EFFICIENCY AND SHIELDING OF SOURCES OF LIGHT, THE INTENT BEING TO ELIMINATE GLARE TOWARDS ADJACENT PROPERTIES.

3. NO WALL PACK LIGHT FIXTURES WILL BE ALLOWED ON ANY STRUCTURES PLACED ON THE SITE.

PARKING

1. ON-STREET VEHICULAR PARKING SHALL BE INSTALLED ALONG SOUTH BOULEVARD AS INDICATED ON THE REZONING SITE PLAN. THE TOTAL NUMBER OF ON-STREET PARKING SPACES SHALL BE COORDINATED WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION DURING THE SITE PERMITTING PROCESS.

SIDEWALKS

1. PER THE "SOUTH END TRANSIT STATION AREA PLAN," THE PETITIONER SHALL INSTALL AN 8-FOOT WIDE SIDEWALK WITH A MINIMUM 8-FOOT WIDE PLANTING STRIP ALONG THE PROJECT SIDE OF CARSON BOULEVARD AND AN 8-FOOT WIDE SIDEWALK WITH AN 8-FOOT WIDE PLANTING STRIP OR TREES IN CURBED PLANTERS IF GROUND FLOOR RETAIL IS INCLUDED IN THE DEVELOPMENT.

2. THE PETITIONER SHALL INSTALL AN 8-FOOT WIDE SIDEWALK WITH AN 8-FOOT WIDE PLANTING STRIP OR TREES IN CURBED PLANTERS OR TREES IN TREE PITS WITH TREE GRATES ALONG THE PROJECT SIDE OF CARSON BOULEVARD.

3. FOR ANY PORTIONS OF SIDEWALKS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, THE PETITIONER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND DEDICATE A PUBLIC ACCESS AND MAINTENANCE EASEMENT.

SIGNS

1. ALL SIGNS PLACED ON THE SITE SHALL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

2. TEMPORARY CONSTRUCTIONS SIGNAGE CANNOT BE LOCATED WITHIN THE REQUIRED SETBACK, AND MUST BE REMOVED NO LATER THAN 7 DAYS FOLLOWING THE RECEIPT OF THE CERTIFICATE OF OCCUPANCY FOR THE STRUCTURE ADDRESSED BY THE SIGNAGE.

TRANSPORTATION COMMITMENTS

1. THE PETITIONER AGREES TO COORDINATE WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION FOR THE CITY OF CHARLOTTE SUPPORTED PROJECT ENVISIONED BY THE SOUTH CORRIDOR INFRASTRUCTURE PROGRAM WHICH INCLUDES:

- A. REALIGNMENT OF CARSON BOULEVARD WITH LEXINGTON AVENUE
- B. IMPROVEMENTS TO CARSON BOULEVARD/LEXINGTON AVENUE AND SOUTH BOULEVARD INTERSECTION
- C. ROADWAY IMPROVEMENTS TO SOUTH BOULEVARD

2. THE PETITIONER WILL SEEK THE ABANDONMENT OF THE PALMER STREET RIGHT-OF-WAY AND THE RIGHTS FOR USE OF THE ABANDONED AREA FOR REDEVELOPMENT.

3. THE PETITIONER WILL SEEK THE ABANDONMENT FOR A PORTION THE CARSON BOULEVARD RIGHT-OF-WAY AND THE RIGHTS FOR USE OF THE ABANDONED AREA FOR REDEVELOPMENT.

ACCESS POINTS (DRIVEWAYS)

1. TWO DRIVEWAY CONNECTIONS ARE PROPOSED TO SOUTH BOULEVARD AS DEPICTED ON THE REZONING PLAN. THE PETITIONER SHALL COORDINATE THIS LOCATION WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION DURING THE CONSTRUCTION DOCUMENTATION PROCESS.

2. ONE DRIVEWAY CONNECTION IS PROPOSED TO CARSON BOULEVARD AS DEPICTED ON THE REZONING PLAN. THE PETITIONER SHALL COORDINATE THIS LOCATION WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION DURING THE CONSTRUCTION DOCUMENTATION PROCESS.

3. THE PROPOSED DRIVEWAY CONNECTIONS TO SOUTH BOULEVARD AND EAST CARSON BOULEVARD WILL REQUIRE DRIVEWAY PERMITS TO BE SUBMITTED TO CDOT/NCOT FOR REVIEW AND APPROVAL. THE EXACT DRIVEWAY LOCATIONS AND TYPE/WIDTH OF THE DRIVEWAYS WILL BE DETERMINED BY CDOT DURING THE DRIVEWAY PERMIT PROCESS. THE LOCATIONS OF THE DRIVEWAYS SHOWN ON THE SITE PLAN ARE SUBJECT TO CHANGE IN ORDER TO ALIGN WITH DRIVEWAYS ON THE OPPOSITE SIDE OF THE STREET AND COMPLY WITH CITY DRIVEWAY REGULATIONS AND THE CITY TREE ORDINANCE. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.

4. A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ANY NON-STANDARD ITEM(S) (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEM(S). CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.

5. TO FACILITATE BUILDING PERMIT/DRIVEWAY PERMIT REVIEW AND APPROVAL, THE SITE PLAN MUST BE REVISED TO INCLUDE THE FOLLOWING:

- DIMENSION WIDTH OF THE EXISTING AND PROPOSED DRIVEWAYS.
- NEW/RECONSTRUCTED DRIVEWAYS MUST BE DROP CURB RAMP TYPE II-MODIFIED OR TYPE III DRIVEWAYS, IF WARRANTED.
- INDICATE THE LOCATIONS AND WIDTHS OF ALL ADJACENT AND OPPOSING DRIVEWAYS.
- INDICATE TYPICAL PARKING MODULE DIMENSIONS.
- DIRECTIONAL WHEELCHAIR RAMPS (TWO PER CORNER) SHOULD BE PROVIDED AT ALL INTERSECTIONS OF PUBLIC AND PRIVATE STREETS.
- INCLUDE A PARKING SUMMARY WITH FIGURES FOR THE NUMBERS OF PARKING SPACES REQUIRED AND PROVIDED.
- PARKING DECK OPERATIONS AND GATE LOCATIONS.

SOLID WASTE

1. MECKLENBURG COUNTY SOLID WASTE REQUESTS THE PETITIONER SHALL SUBMIT A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES TO INCLUDE, AT A MINIMUM, THE PROCEDURES THAT WILL BE USED TO RECYCLE ALL CLEAN WOOD, METAL, AND CONCRETE GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ADDITIONALLY, THE PLAN SHOULD SPECIFY THAT ALL LAND CLEARING AND INERT DEBRIS SHALL BE TAKEN TO A PROPERLY PERMITTED FACILITY. THE PLAN SHALL SPECIFY THAT MONTHLY REPORTING OF ALL TONNAGE DISPOSED AND RECYCLED WILL BE MADE TO THE MECKLENBURG COUNTY SOLID WASTE PROGRAM. THE REPORT SHALL INCLUDE THE IDENTIFICATION AND LOCATION OF FACILITIES RECEIVING DISPOSED OR RECYCLED MATERIALS.

2. THE DEVELOPMENT MUST MEET ALL REQUIREMENTS AS STATED IN THE CHARLOTTE CITY CODE REGARDING SOLID WASTE DUMPSTER, COMPACTOR AND RECYCLING AREAS.

FIRE PROTECTION

1. ALL NEW BUILDINGS SHALL COMPLY WITH THE LAND USE REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT.

2. ALL NEW BUILDINGS SHALL COMPLY WITH THE WATER SUPPLY REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT.

3. ALL NEW BUILDINGS SHALL COMPLY WITH THE ACCESS REQUIREMENTS OF THE NORTH CAROLINA STATE FIRE CODE AND THE CHARLOTTE FIRE DEPARTMENT.

AIR QUALITY

1. REDEVELOPMENT OF THIS SITE MAY REQUIRE SUBMISSION OF AN ASBESTOS NOTIFICATION OF DEMOLITION AND RENOVATION TO MCAO DUE TO POSSIBLE DEMOLITION OR RENOVATION OF AN EXISTING STRUCTURE. A LETTER OF NOTIFICATION AND THE REQUIRED FORMS WILL BE MAILED DIRECTLY TO THE PETITIONER BY MCAQ.

2. THE PROPOSED PROJECT MAY BE SUBJECT TO CERTAIN AIR QUALITY PERMIT REQUIREMENTS IN ACCORDANCE WITH MECKLENBURG COUNTY AIR POLLUTION CONTROL ORDINANCE (MCAPCO) REGULATION 2.0805 - "PARKING FACILITIES". A LETTER OF NOTIFICATION AND COPY OF THE REGULATIONS WILL BE MAILED DIRECTLY TO THE PETITIONER BY MCAQ.

STREAM BUFFERS

1. THERE ARE NO STREAMS OR ASSOCIATED S.W.I.M. BUFFERS OR FLOODPLAIN AREAS ASSOCIATED WITH THIS SITE.

UTILITY COMMITMENTS

1. OVERHEAD UTILITY LINES LOCATED ALONG THE WESTERN SIDE OF SOUTH BOULEVARD AND ADJACENT TO THE DEVELOPMENT PROPERTY SHALL BE RELOCATED UNDERGROUND BY THE PETITIONER DURING THE CONSTRUCTION PROCESS. RELOCATION OF THESE OVERHEAD UTILITIES SHALL OCCUR IF DUKE ENERGY AND THE CHARLOTTE DEPARTMENT OF TRANSPORTATION MUTUALLY AGREE THIS IMPROVEMENT IS FEASIBLE AND APPROPRIATE FOR THIS STREET.

2. OVERHEAD UTILITY LINES LOCATED ALONG THE SOUTHERN SIDE OF EAST CARSON BOULEVARD AND ADJACENT TO THE DEVELOPMENT PROPERTY SHALL BE RELOCATED UNDERGROUND BY THE PETITIONER DURING THE CONSTRUCTION PROCESS. RELOCATION OF THESE OVERHEAD UTILITIES SHALL OCCUR IF DUKE ENERGY AND THE CHARLOTTE DEPARTMENT OF TRANSPORTATION MUTUALLY AGREE THIS IMPROVEMENT IS FEASIBLE AND APPROPRIATE FOR THIS STREET.

3. THE PETITIONER AGREES TO COORDINATE THE RELOCATION OF UTILITIES LOCATED WITHIN THE ABANDONED PALMER STREET RIGHT-OF-WAY WITH ALL NECESSARY AGENCIES.

STORM WATER MANAGEMENT/WETLANDS

1. STORM WATER RUNOFF WILL BE MANAGED THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE ORDINANCES AND THE CHARLOTTE MECKLENBURG STORM WATER DESIGN MANUAL. SURFACE LEVEL STORM WATER DETENTION, IF PROVIDED, SHALL NOT BE ALLOWED BETWEEN THE BUILDINGS AND THE STREET, AND NOT BETWEEN THE BUILDINGS AND THE RAIL LINE AS WELL AS NOT WITHIN THE SETBACKS OR AS REQUIRED BY THE ORDINANCE.

2. THE DETENTION SHALL TIE-IN TO THE EXISTING ABUTTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM ABUTTING THE SITE ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THIS DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT WILL CAUSE THE RECEIVING STORM DRAINAGE SYSTEM TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ADEQUATE DETENTION TO PREVENT THIS FROM OCCURRING. SHOULD THE EXISTING RECEIVING DRAINAGE SYSTEM BE DEEMED TO BE OUT OF STANDARD PRIOR TO DEVELOPMENT OF ITS SITE, THE PETITIONER AGREES TO PROVIDE ADEQUATE DETENTION TO ENSURE THAT THE SYSTEM WILL NOT BE ADDITIONALLY OVERBURDENED.

3. REDEVELOPMENT ON THE SITE SHALL OTHERWISE ADHERE TO THE REQUIREMENTS OF THE POST CONSTRUCTION CONTROL ORDINANCE IN THE FORM ADOPTED BY CHARLOTTE CITY COUNCIL ON NOVEMBER 26, 2007.

4. ANY JURISDICTIONAL WETLANDS OR STREAMS, IF PRESENT, NEED TO BE PROTECTED OR PROPER ENVIRONMENTAL PERMITS OBTAINED PRIOR TO THEIR DISTURBANCE. FOR 401 PERMITS CONTACT DENR. FOR 404 PERMITS CONTACT THE ARMY CORPS OF ENGINEERS.

ARCHITECTURAL CONTROLS AND RESTRICTIVE COVENANTS

1. THE FIRST FLOOR OF ALL BUILDINGS SHALL BE DESIGNED TO ENCOURAGE AND COMPLEMENT PEDESTRIAN SCALE INTEREST AND ACTIVITY.

2. BUILDINGS SHALL BE DESIGNED TO INTEGRATE VARIATION THROUGH ARCHITECTURAL CONTROLS AND MATERIALS. THESE MATERIALS MAY POTENTIALLY INCLUDE BRICK, STONE, PRECAST, METAL PANEL, GLASS AND/OR METAL AND FABRIC AWNINGS.

3. BUILDING ELEVATIONS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT DURING THE SITE PLAN APPROVAL PHASE PRIOR TO ISSUANCE OF BUILDING PERMITS. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT SHALL HAVE THE OPPORTUNITY TO REVIEW THE PROPOSED PLANS AGAINST THE APPROVED CONDITIONAL PLANS TO ASSURE COMPLIANCE WITH DESIGN PRINCIPALS ILLUSTRATED ON THE PLANS.

4. THE PETITIONER SHALL MAKE BEST EFFORTS TO MAINTAIN VIEW CORRIDORS ALONG THE LYNX LIGHT RAIL CORRIDOR EXTENDING TO UPTOWN.

5. THE ELEVATION OF THE BUILDING FRONTING CARSON BOULEVARD SHALL BE SETBACK A MINIMUM OF 10-FEET ABOVE THE FOURTH OR FIFTH FLOOR.

6. THE BUILDING ELEVATIONS WHICH FRONT THE LIGHT RAIL CORRIDOR SHALL INCLUDE BALCONIES AND OTHER ARCHITECTURAL ELEMENTS TO CREATE VISUAL SCALE AND INTEREST ALONG EACH BUILDING ELEVATION WHICH FRONTS THE PUBLIC RIGHT-OF-WAY.

7. THE BUILDING ELEVATIONS WHICH FRONT SOUTH BOULEVARD SHALL INCLUDE ARCHITECTURAL ELEMENTS TO CREATE VISUAL SCALE AND INTEREST. THESE ELEMENTS SHALL INCLUDE MASONRY MATERIALS ALONG THE FACADE OF THE GROUND LEVEL EXTENDING TO THE FOURTH OR FIFTH FLOOR AND SHALL INCLUDE BUILDING ARTICULATION THAT COMPLIMENTS THE EXISTING STRUCTURES AND NEIGHBORHOOD CHARACTER LOCATED IN THE SOUTH END AND DILWORTH COMMUNITIES.

8. A MINIMUM OF 50% OF THE GROUND FLOOR AREA ALONG SOUTH BOULEVARD AND EAST CARSON BOULEVARD SHALL CONTAIN RETAIL, OFFICE OR RESIDENTIAL USES.

9. MATERIALS THAT MAY BE INCLUDED AS PART OF THE BUILDING ELEVATIONS BELOW THE FOURTH OR FIFTH FLOOR INCLUDE BUT ARE NOT LIMITED TO:

- A. MASONRY (BRICK, STONE, GRANITE, ETC.)
- B. TILE (CERAMIC, PORCELAIN, ETC.)
- C. PRECAST CONCRETE
- D. METAL PANEL
- E. ALUMINUM CURTAIN WALL
- F. FABRIC AWNINGS
- G. METAL CANOPIES
- H. RETAIL TENANT SIGNAGE
- I. LIGHTING WALL SCONCES
- J. CLEAR GLASS
- K. COLOR TINTED GLASS

AMENDMENTS TO REZONING PLAN

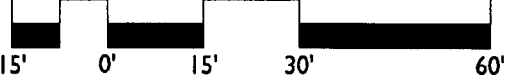
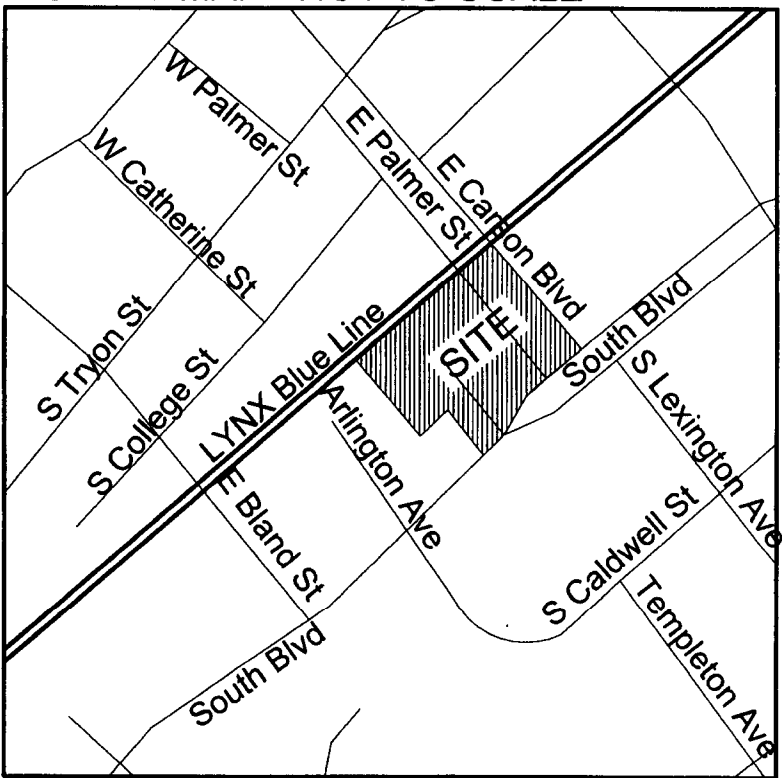
1. FUTURE AMENDMENTS TO THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH CHAPTER 6 OF THE ORDINANCE.

BINDING EFFECT OF THE REZONING APPLICATION

1. IF THE PETITIONER'S REZONING PETITION IS APPROVED, THE DEVELOPMENT PROGRAM ESTABLISHED UNDER THE REZONING PLAN AND OTHER SUPPORTIVE DOCUMENTS SHALL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTERESTS AND ASSIGNS.

2. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" OR "OWNER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER AND OWNER.

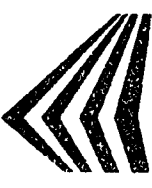
VICINITY MAP - NOT TO SCALE



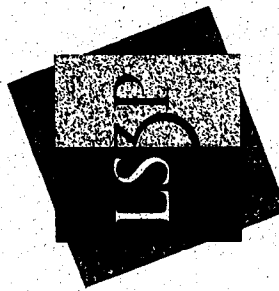
FOR PUBLIC HEARING
PETITION NO. 2008-088

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HARRIS DEVELOPMENT
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1200 SOUTH BOULEVARD

ROADWAY IMPROVEMENTS

HARRIS DEVELOPMENT GROUP, LLC; CHARLOTTE, NC

REZONING DEVELOPMENT NOTES

REVISIONS:

05/16/08 - REVISIONS PER CITY COMMENTS
06/20/08 - REVISIONS PER CITY COMMENTS

DATE: 03/24/08

DESIGNED BY: RJP

CHECKED BY: CHS

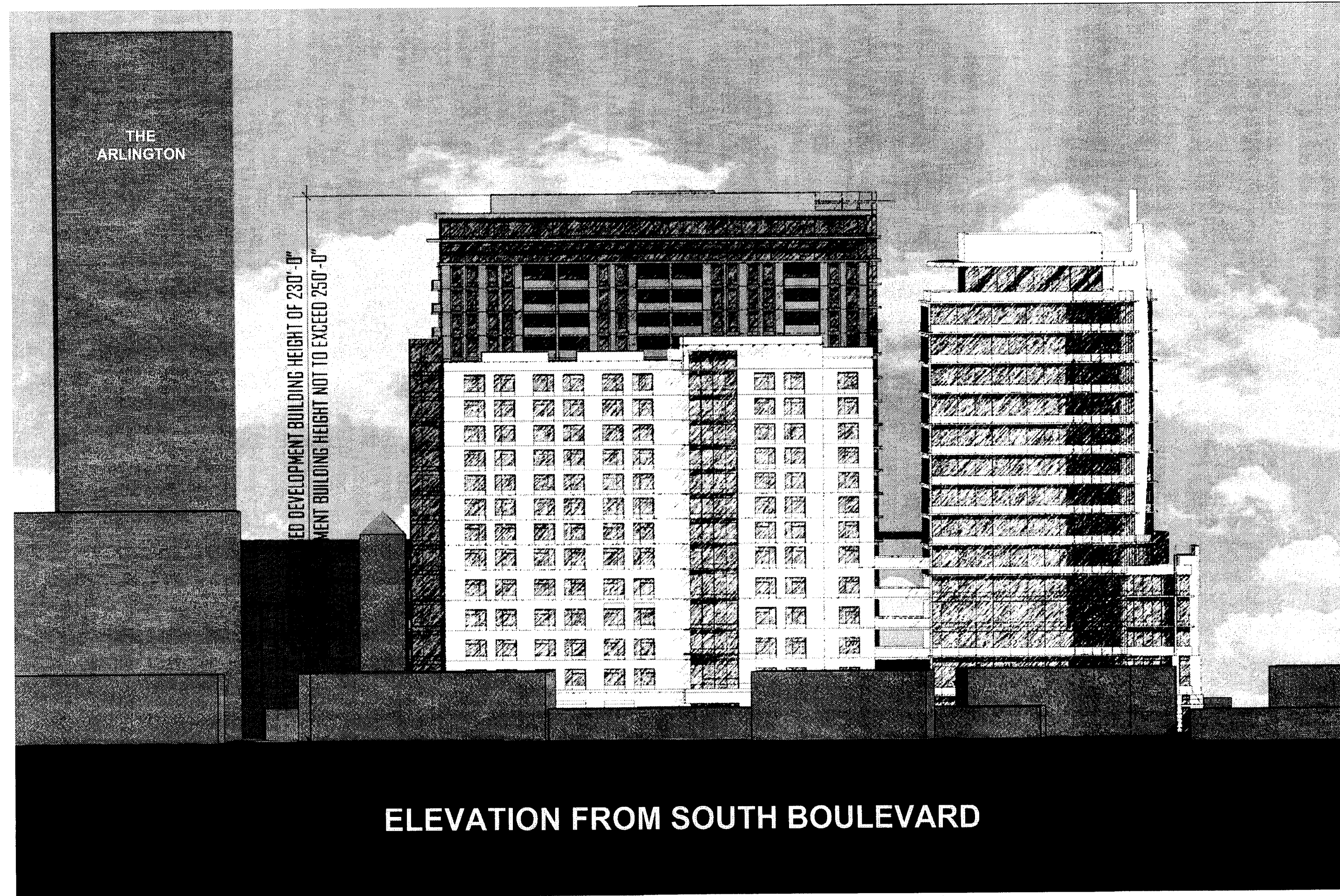
QC BY: RJP, CHK

SCALE: 1"=30'-0"

PROJECT #: 1007332

SHEET #:

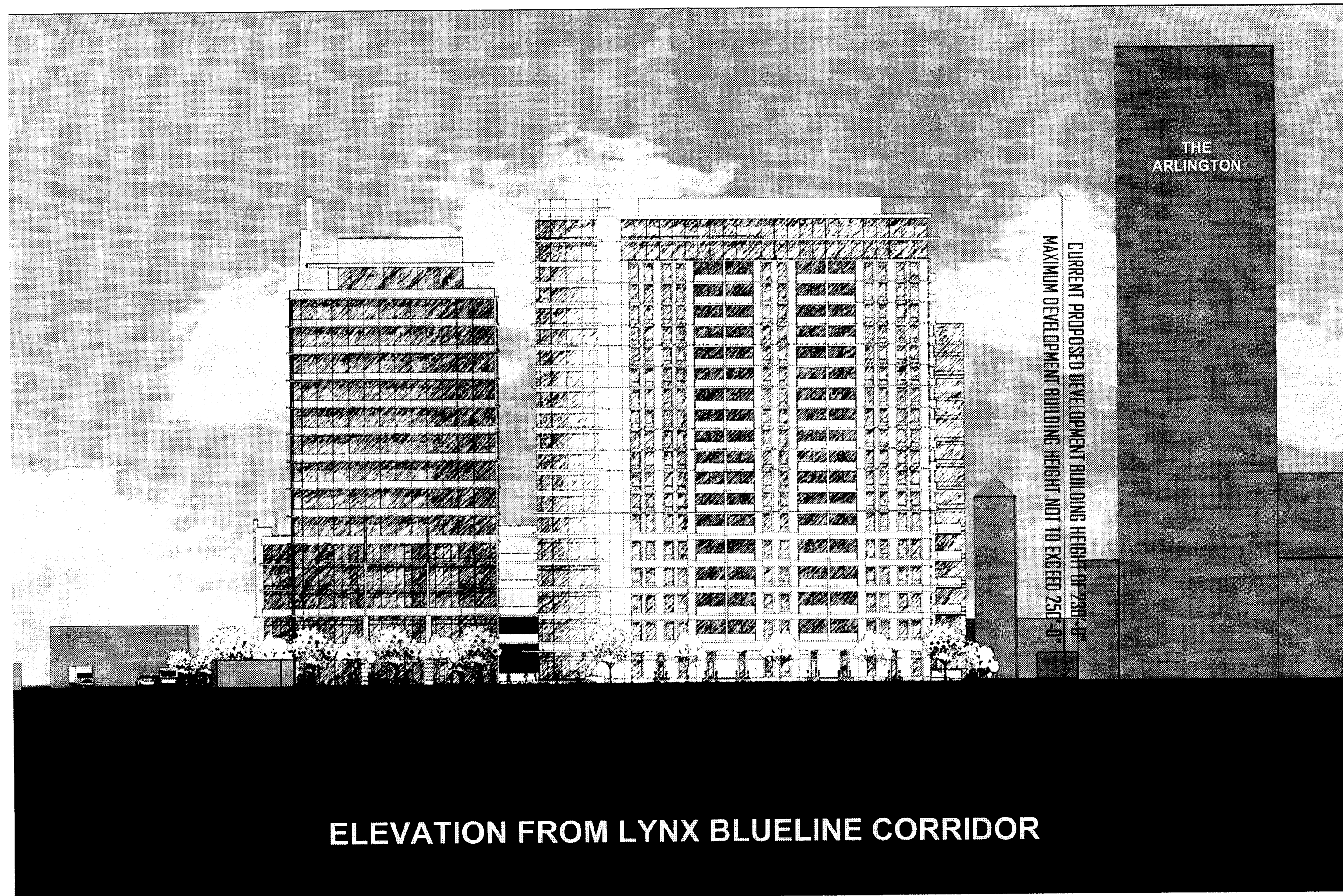
Z-1.1



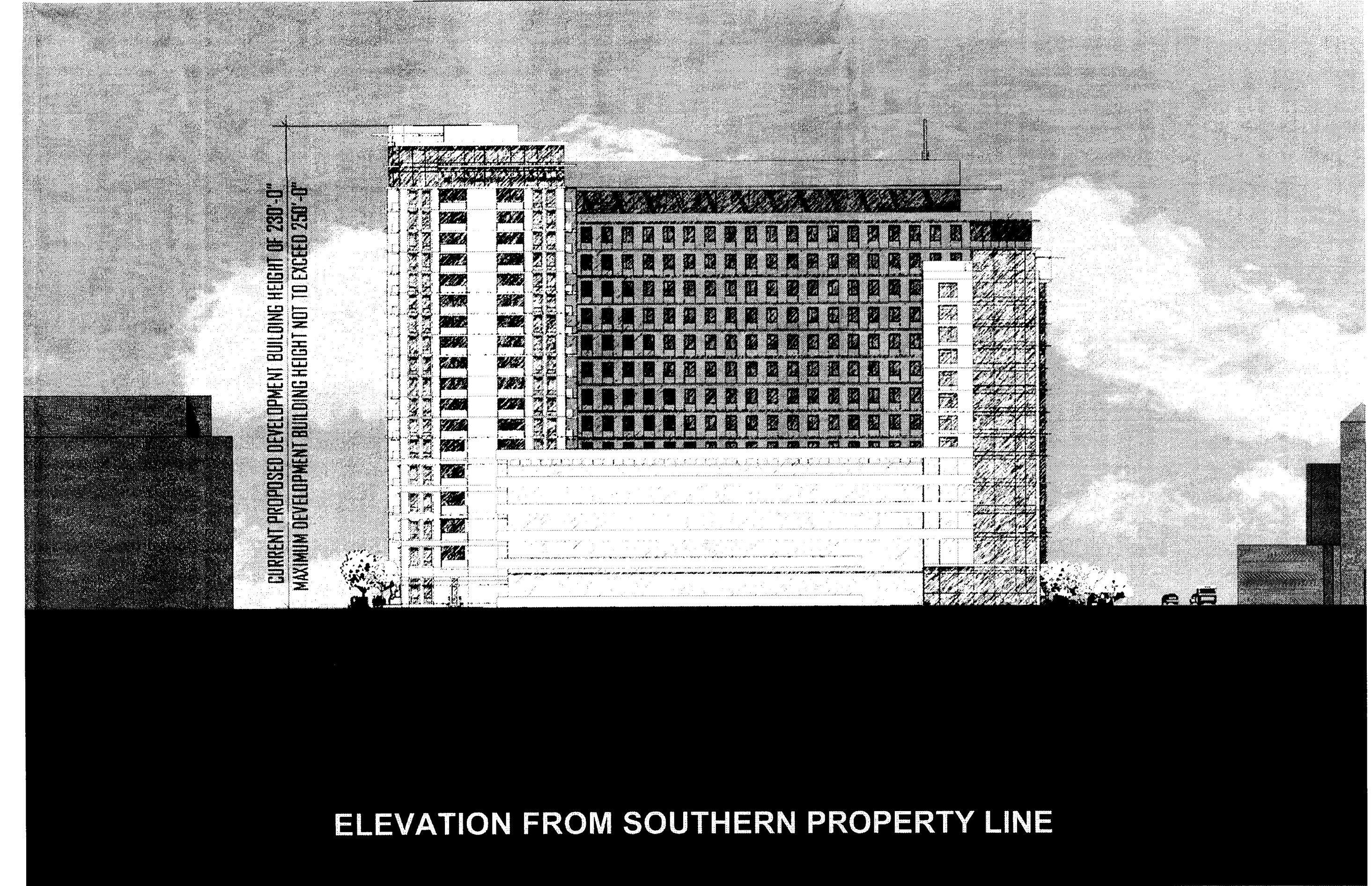
ELEVATION FROM SOUTH BOULEVARD



ELEVATION FROM CARSON BOULEVARD



ELEVATION FROM LYNX BLUELINE CORRIDOR



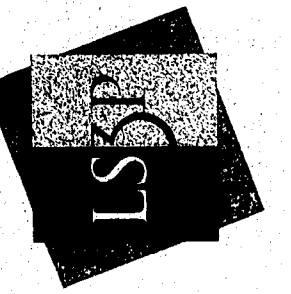
ELEVATION FROM SOUTHERN PROPERTY LINE

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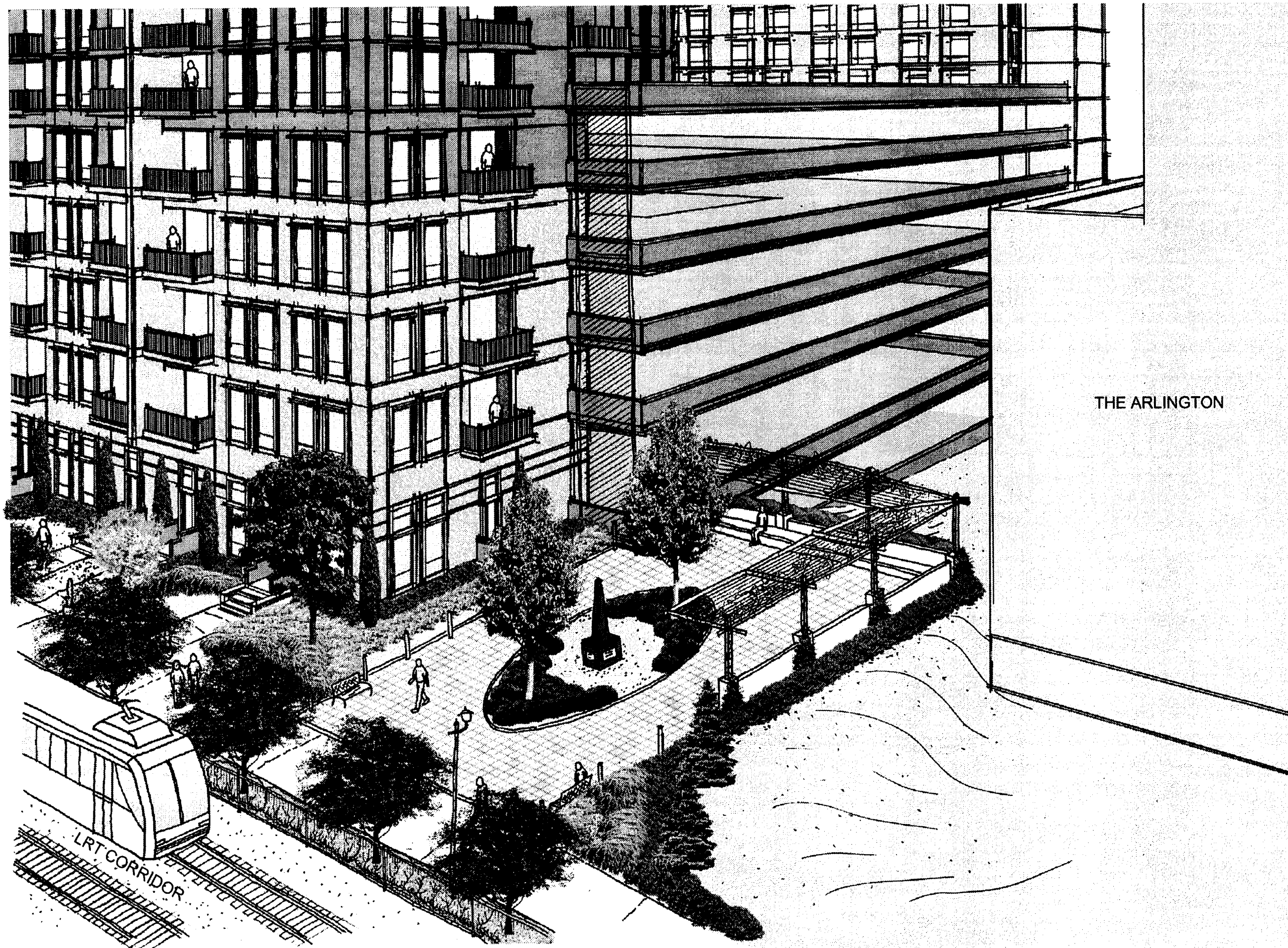


1200 SOUTH BOULEVARD
ROADWAY IMPROVEMENTS
HARRIS DEVELOPMENT GROUP, LLC, CHARLOTTE, NC
ARCHITECTURAL IMAGES

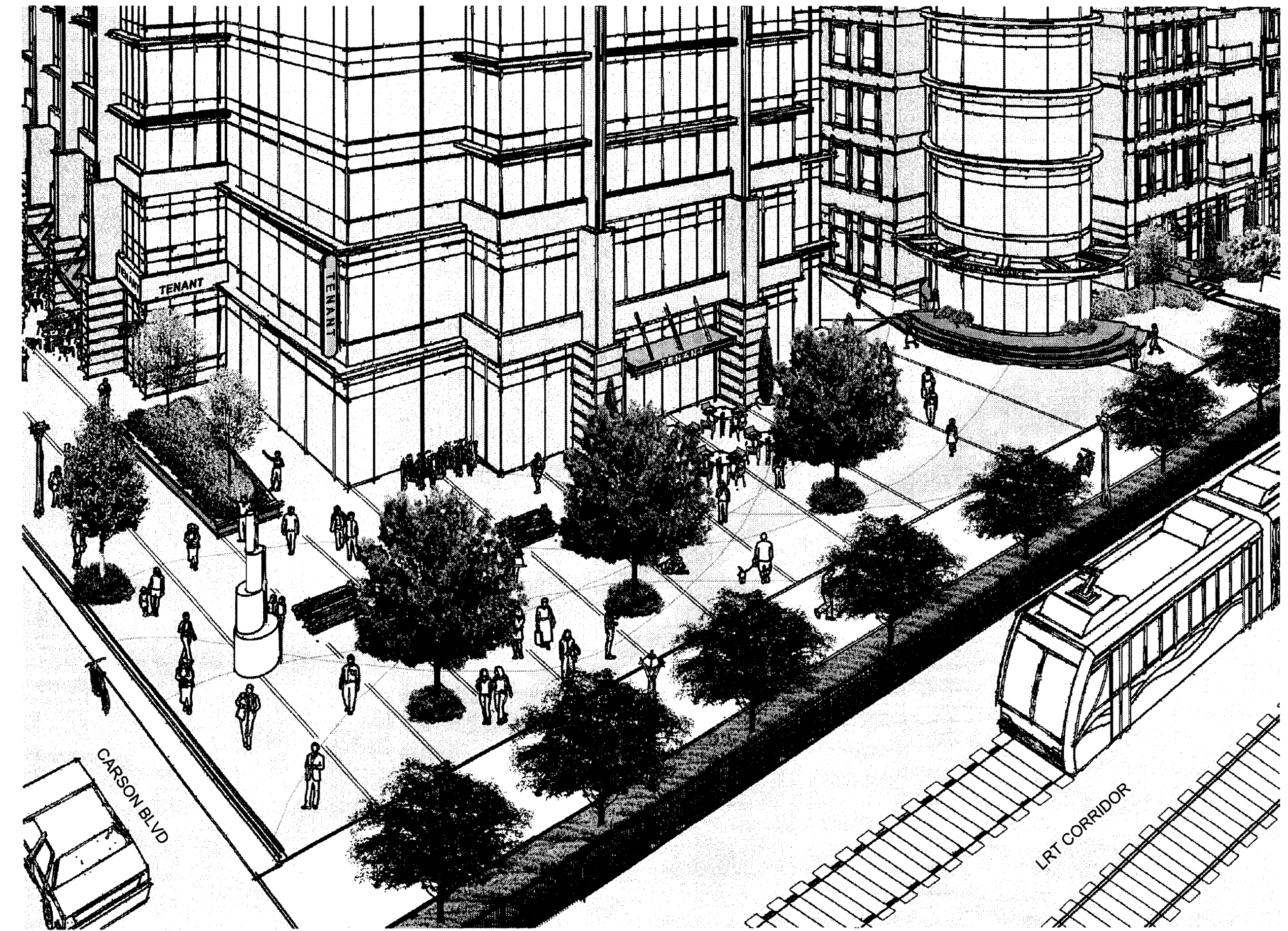
REVISIONS:
05/16/08 REVISIONS PER CITY COMMENTS
06/20/08 REVISIONS PER CITY COMMENTS

DATE: 03/24/08
DESIGNED BY: RJP
DRAWN BY: CHK
CHECKED BY: RJP
SCALE: 1/8"=1'-0"
PROJECT #: 1007332
SHEET #:

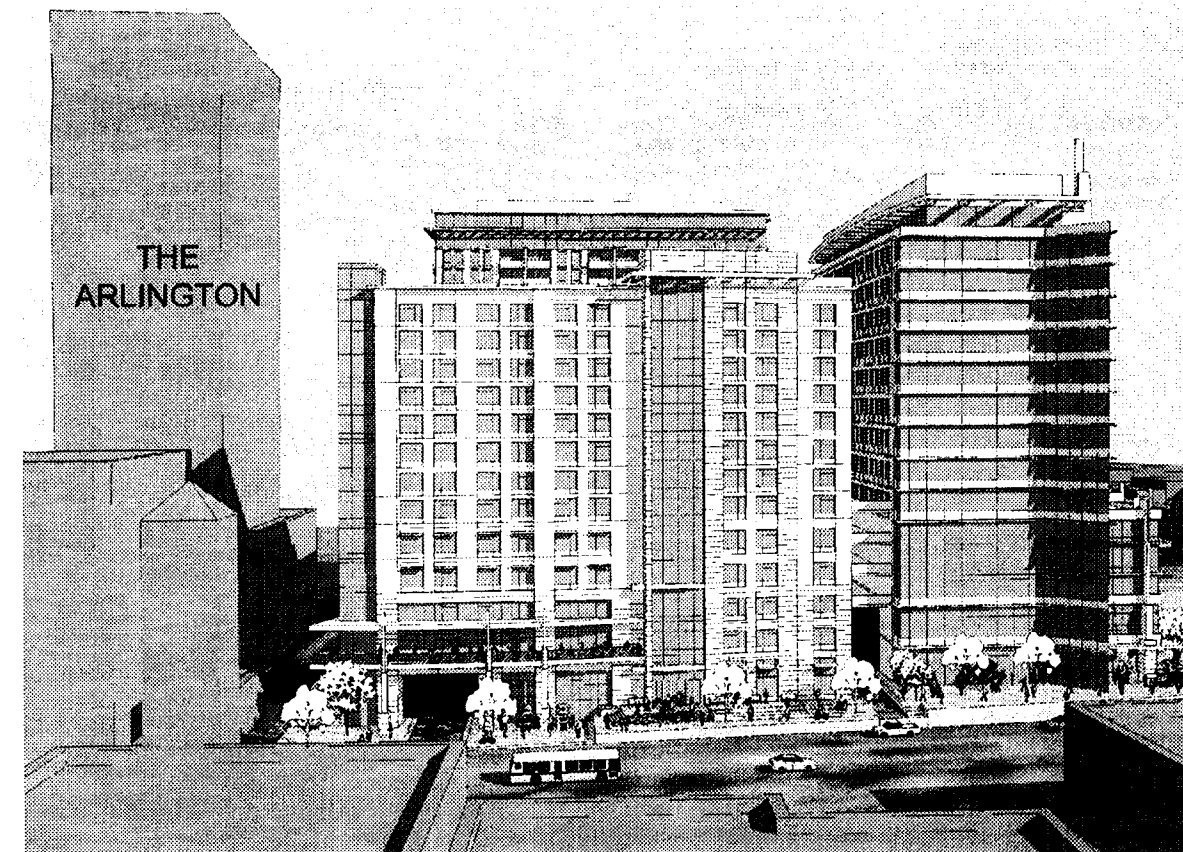
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URBAN PLAZA LOCATED ALONG THE LIGHT RAIL CORRIDOR



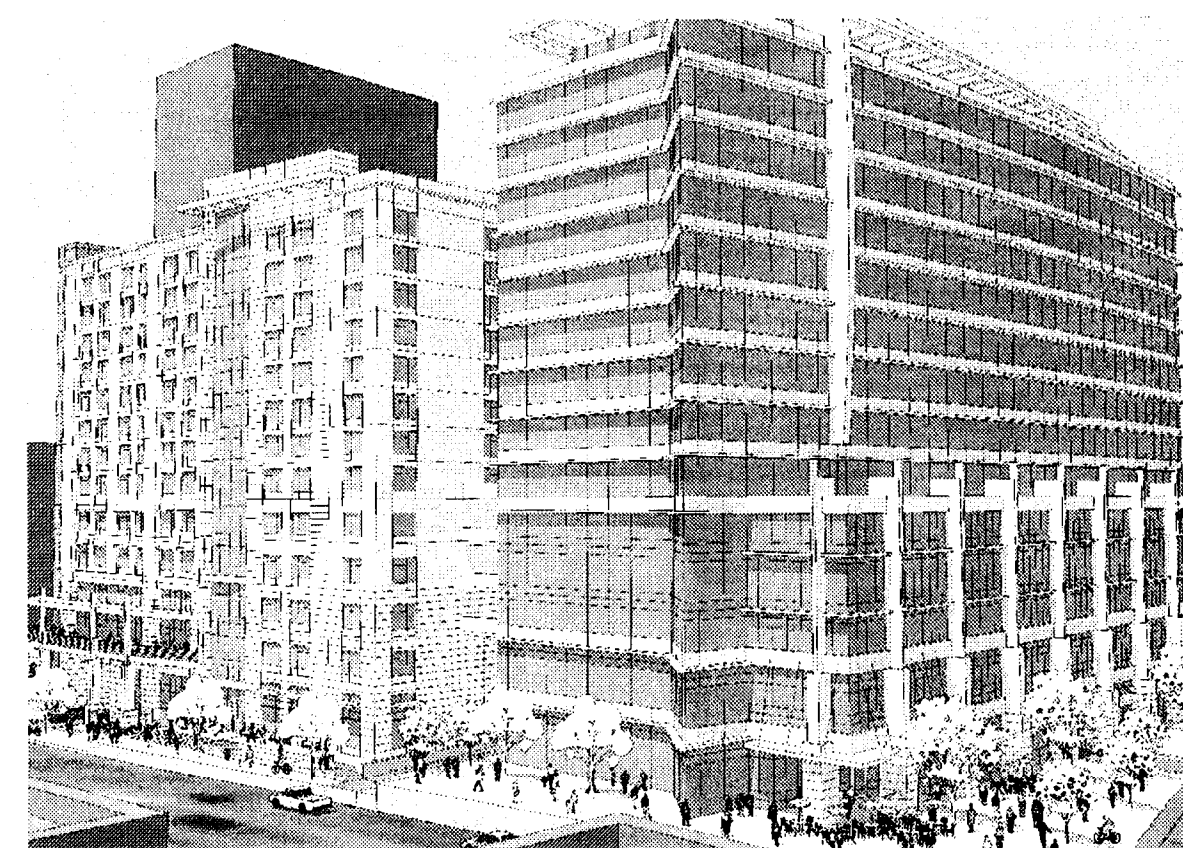
URBAN OPEN SPACE LOCATED AT THE INTERSECTION OF THE LIGHT RAIL CORRIDOR AND CARSON BOULEVARD



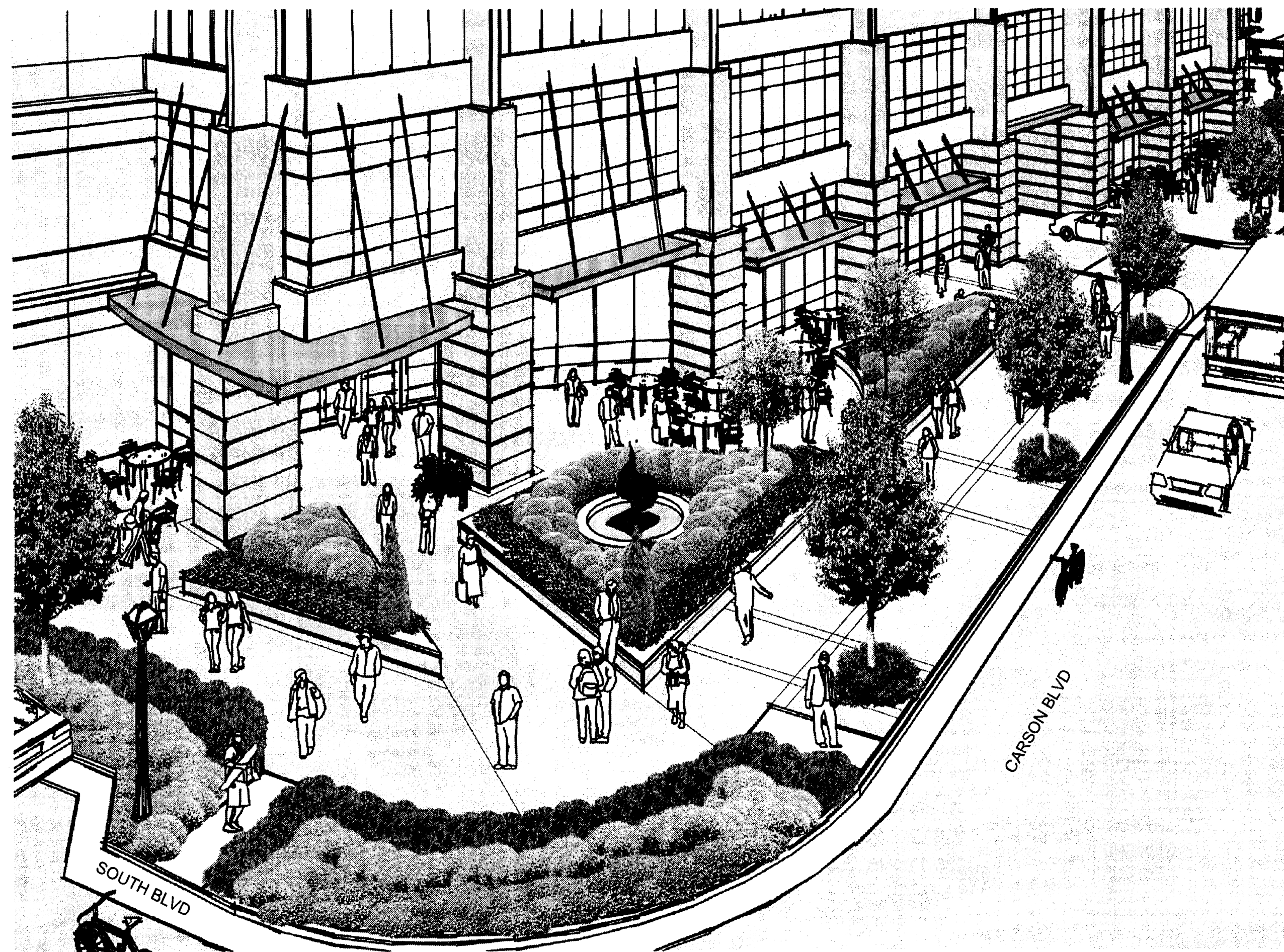
SOUTH BOULEVARD PERSPECTIVE SHOWING ARLINGTON DEVELOPMENT AND STREET LEVEL ACTIVITY



STREET LEVEL ACTIVITIES AND BUILDING ARTICULATION ILLUSTRATED ALONG SOUTH BOULEVARD

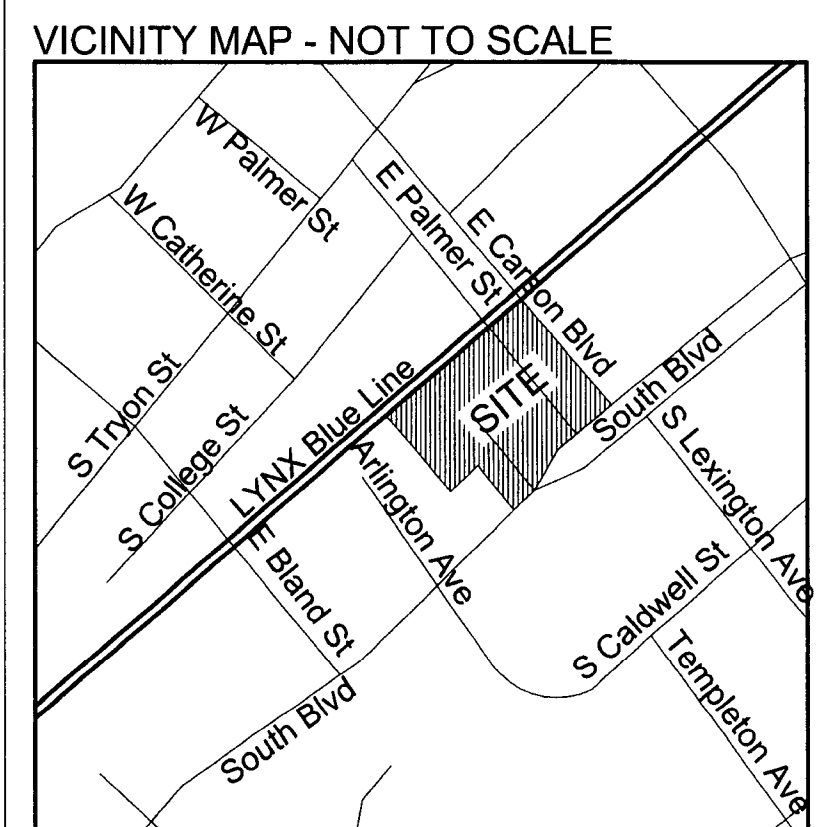


SOUTH BOULEVARD PERSPECTIVE SHOWING TOWER ALONG CARSON BOULEVARD AND VEHICULAR ACCESS INTO DEVELOPMENT



URBAN OPEN SPACE LOCATED AT THE INTERSECTION OF CARSON BOULEVARD AND SOUTH BOULEVARD

NOTE: THE ILLUSTRATIVE PERSPECTIVES ARE SCHEMATIC IN NATURE AND ARE INTENDED TO DEPICT BUILDING, OPEN SPACE AND CIRCULATION RELATIONSHIPS.

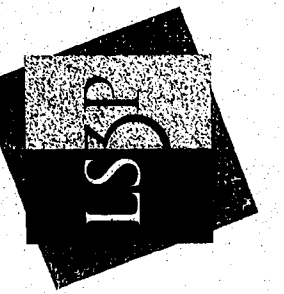


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PROJECT #: 1007332
SHEET #:
Z-3.1