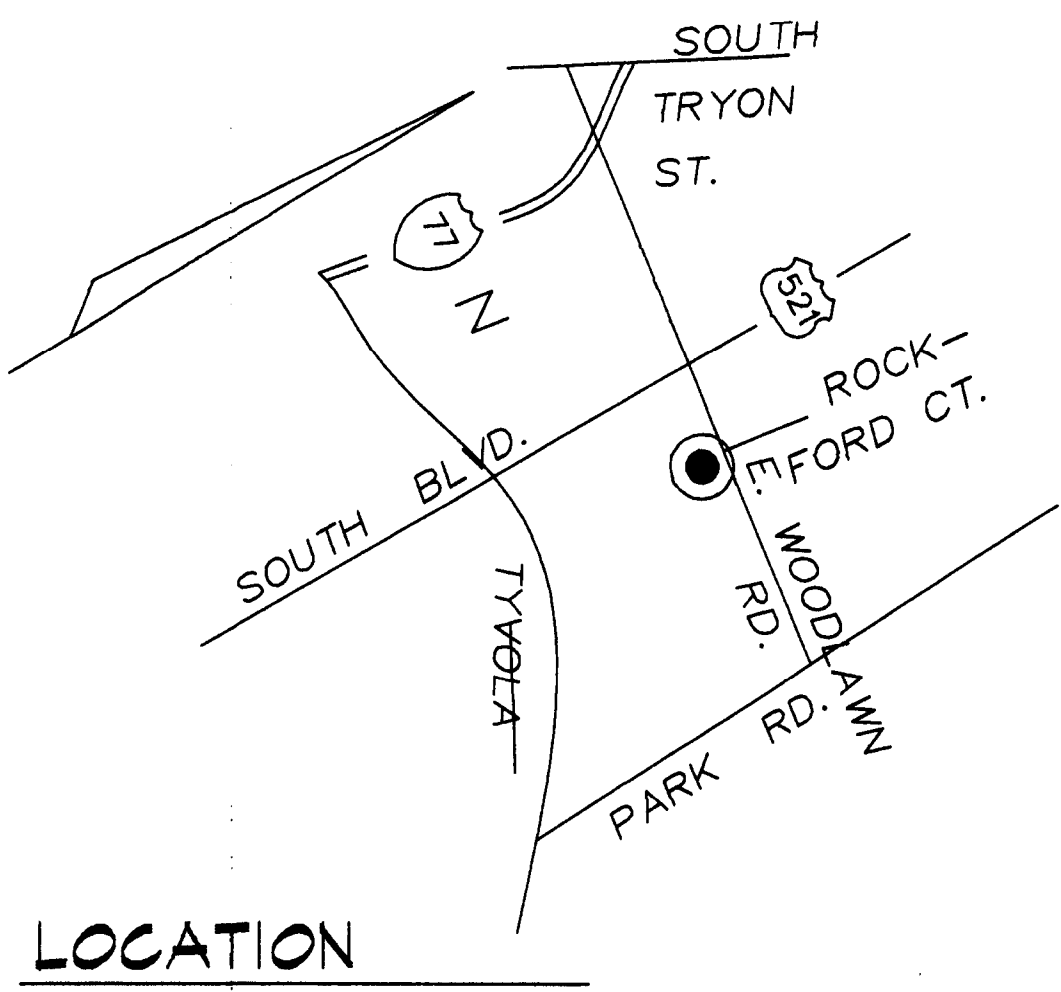


CONDITIONAL DEVELOPMENT NOTES

- 1. DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CITY OF CHARLOTTE, ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT AND APPROXIMATE CONFIGURATION OF USES ON THE SITE. THE EXACT CONFIGURATION, PLACEMENT AND SIZE OF INDIVIDUAL ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN LIMITS OF THE ORDINANCE AND THE RESTRICTIONS NOTED ON THIS PLAN.
- 2. STREET LIGHTING SHALL NOT BE ANY HIGHER THAN 16'.
- 3. SIGNAGE WILL BE LIMITED TO ONE SIGN ON THE WALL ALONG WOODLAWN. SIGN SHALL NOT BE BACKLIT AND WILL CONFORM TO SIGN ORDINANCE. SIGN, IF INSTALLED, SHALL BE MOUNTED ON PROPOSED WALL OR MONUMENT.
- 4. PARKING PROVIDED SHALL MEET OR EXCEED REQUIREMENTS OF THE ORDINANCE.
- 5. HOMES SHALL NOT EXCEED TWO AND A HALF STORIES OR FORTY FEET IN HEIGHT.
- 6. ALL HOMES SHALL BE WITHIN 750 FEET OF A FIRE HYDRANT PER CHARLOTTE FIRE DEPT.
- 7. THE PETITIONER WILL INSTALL A SIDEWALK ON ONE SIDE OF PRIVATE STREET AND CONNECT TO EXISTING PUBLIC WALKS ON THE PROPERTY. ADDITIONAL SIDEWALK WILL BE ADDED ON WOODLAWN, WHERE NONE EXISTS. FINAL DETAILS, DIMENSIONS AND RIGHT OF WAY TO BE DETERMINED AS ALLOWED BY ORDINANCE.
- 8. STORM WATER DETENTION WILL BE PROVIDED THROUGH A COMBINATION OF SURFACE AND UNDERGROUND MEANS AS SHOWN.
- 9. DETENTION CRITERIA SHALL BE BASED ON 2 AND TEN YEAR STORMS FOR PREDEVELOPMENT CONDITIONS AS WELL AS 25, 50 AND 100 YEAR STORMS FOR LAND DEVELOPED AS R-3 MF LAND COVER. IN LIEU OF THE INCREASE DETENTION, THE PETITIONER MAY PROVIDE A DETAILED ENGINEERING STUDY, COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN NORTH CAROLINA WHICH SHOWS THAT THE DOWNSTREAM DRAINAGE SYSTEM IS SUFFICIENT TO CONVEY THE INCREASED FLOW GENERATED BY THE DEVELOPMENT AND WILL REMAIN IN COMPLIANCE WITH CURRENT STANDARDS.
- 10. THE SITE SHALL BE DEVELOPED TO COMPLY WITH CHAPTER 21 OF THE CITY CODE. PROPOSED PLANTING IS CONCEPTUAL ONLY AND WILL BE SUBJECT TO CHANGE DUE TO ACTUAL SITE CONDITIONS, UTILITIES AND URBAN FORESTRY STAFF REVIEW AND APPROVAL.
- 11. THE PROPERTY WILL BE DEVELOPED WITH ATTACHED TOWN HOMES.
- 12. A HOMEOWNERS ASSOCIATION WILL BE CREATED TO MAINTAIN THE LANDSCAPING AND SITE.
- 13. A BRICK AND CAST ALUMINUM SCREEN WALL MAY BE INSTALLED ALONG SELECTED AREAS AT STREET EDGES FOR PRIVACY AND SCREENING OF UNITS FROM STREET. FINAL DESIGN WILL INCORPORATE DETAILS FROM BUILDING ARCHITECTURE. STONE OR MASONRY MAY ALSO BE USED AS INDICATED.



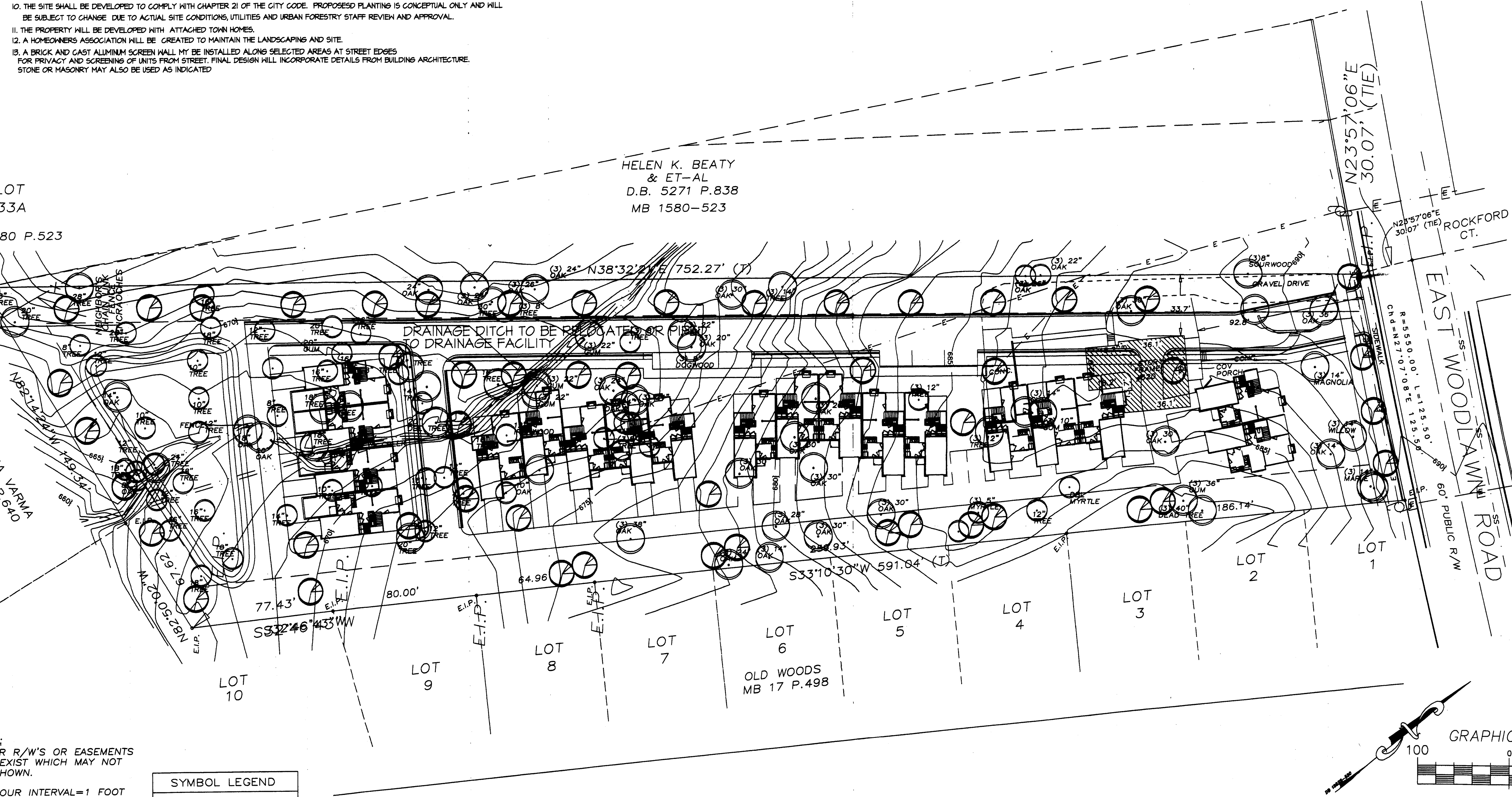
WOODLAWN OAKS
SITE TABULATION

TAX ID 1701155
ACERAGE 2.54 ACRES
CURRENT USE - SINGLE FAMILY
PROPOSED USE - 20 TOWNHOUSES
CURRENT ZONING - R-3
PROPOSED ZONING - UR2 CD
PARKING REQUIRED 2 SPACES PER UNIT
PARKING PROVIDED 40 IN GARAGES OR SURFACE PARKING

STATE OF NORTH CAROLINA
BRUCE R. KEITH
CHARLOTTE, NC 5440
REGISTERED ARCHITECT

BKD
BRUCE KEITH DESIGN
ARCHITECTURE
PLANNING
DEVELOPMENT CONSULTING

THE VILLAS AT
WOODLAWN OAKS



SYMBOL LEGEND	
POWER POLE (P.P.)	
CLEAN OUT (SEWER)	
MONITORING WELL	
—E—E— ELECTRIC LINE	
E.I.P. EXISTING IRON PIN	
—SS—SS— SEWER LINE	
CLEAN OUT (SEWER)	
SEWER MANHOLE	
FIRE HYDRANT	

SITE PLAN
1:30

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—SURVEYING—
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SITE PLAN
FEBRUARY 10, 2006
JULY 28, 2006

S=1