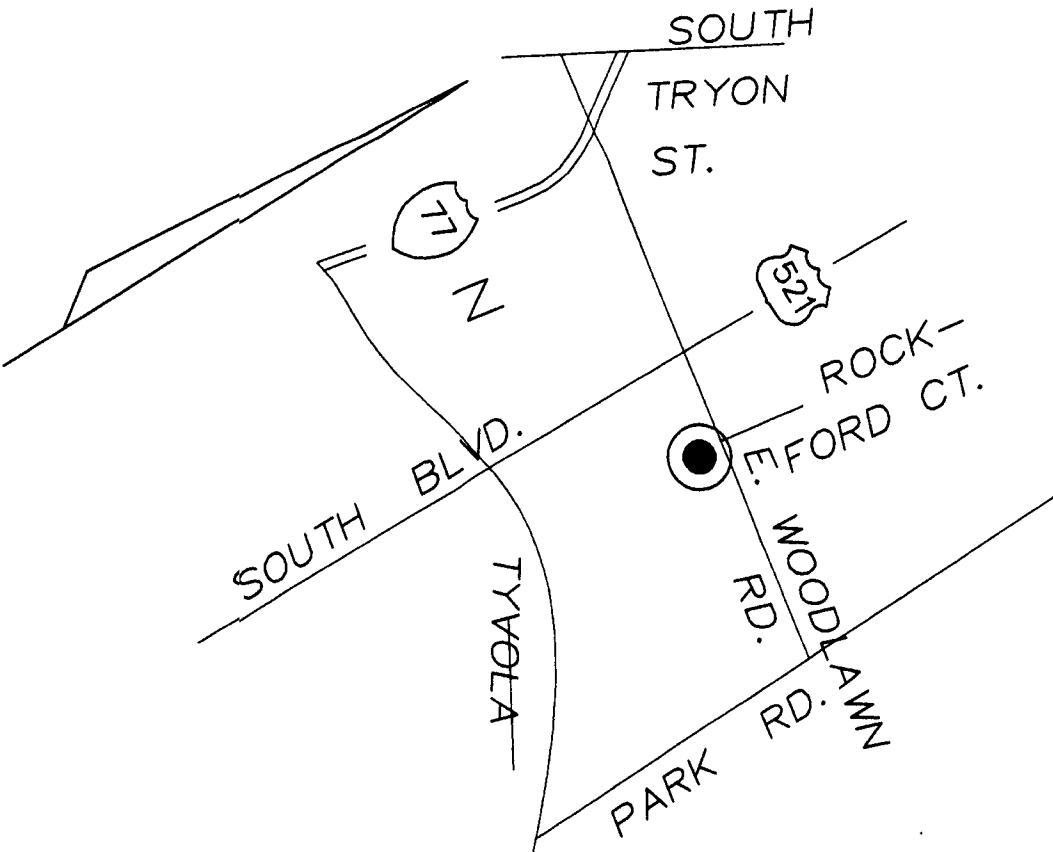


CONDITIONAL DEVELOPMENT NOTES

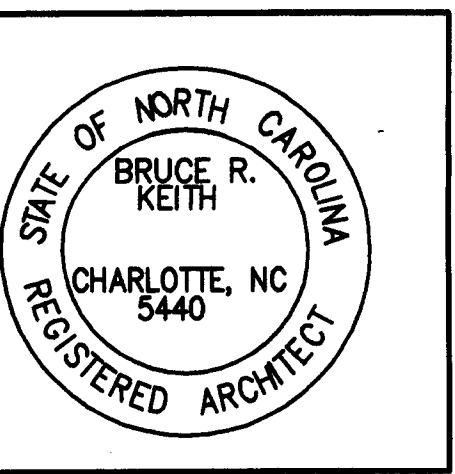
- 1. DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CITY OF CHARLOTTE, ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT AND APPROXIMATE CONFIGURATION OF USES ON THE SITE. THE EXACT CONFIGURATION, PLACEMENT AND SIZE OF INDIVIDUAL ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN LIMITS OF THE ORDINANCE AND THE RESTRICTIONS NOTED ON THIS PLAN.
- 2. STREET LIGHTING SHALL NOT BE ANY HIGHER THAN 16'. ALL LIGHTING SHALL BE FULLY SHIELDED.
- 3. SIGNAGE WILL BE LIMITED TO ONE SIGN ON THE WALL ALONG WOODLAWN. SIGN SHALL NOT BE BACKLIT AND WILL CONFORM TO SIGN ORDINANCE. SIGN, IF INSTALLED, SHALL BE MOUNTED ON PROPOSED WALL OR MONUMENT.
- 4. PARKING PROVIDED SHALL MEET OR EXCEED REQUIREMENTS OF THE ORDINANCE.
- 5. HOMES SHALL NOT EXCEED TWO AND 1/2 STORIES OR FORTY FEET IN HEIGHT.
- 6. ALL HOMES SHALL BE WITHIN 750 FEET OF A FIRE HYDRANT PER CHARLOTTE FIRE DEPT.
- 7. THE PETITIONER WILL INSTALL A SIDEWALK ON ONE SIDE OF PRIVATE STREET AND CONNECT TO EXISTING PUBLIC WALKS ON THE PROPERTY. ADDITIONAL SIDEWALK WILL BE ADDED ON WOODLAWN, WHERE NONE EXISTS.
- 8. FINAL DETAILS, DIMENSIONS AND RIGHT OF WAY TO BE DETERMINED AS ALLOWED BY ORDINANCE.
- 9. SEE SHEET 2 FOR STORM WATER AND SWM BUFFER REQUIREMENTS.
- 10. DELETED - SEE SHEET TWO FOR ADDITIONAL NOTES FOR STORMWATER NOTES.
- 11. 25-, 50 AND 100 YEAR STORMS FOR LAND DEVELOPED AS R-8 MF LAND COVER. IN LIEU OF THE INCREASE DETENTION, THE PETITIONER MAY PROVIDE A DETAILED ENGINEERING STUDY, COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN NORTH CAROLINA, WHICH SHOWS THAT THE DOWNSTREAM DRAINAGE SYSTEM, IS SUFFICIENT TO CARRY THE INCREASED FLOW GENERATED BY THE DEVELOPMENT AND WILL REMAIN IN COMPLIANCE WITH CURRENT STANDARDS.
- 12. THE SITE SHALL BE DEVELOPED TO COMPLY WITH CHAPTER 21 OF THE CITY CODE. PROPOSED PLANTING IS CONCEPTUAL ONLY AND WILL BE SUBJECT TO CHANGE DUE TO ACTUAL SITE CONDITIONS, UTILITIES AND URBAN FORESTRY STAFF REVIEW AND APPROVAL.
- 13. THE PROPERTY WILL BE DEVELOPED WITH ATTACHED TOWN HOMES.
- 14. A HOMEOWNERS ASSOCIATION WILL BE CREATED TO MAINTAIN THE LANDSCAPING AND SITE.
- 15. A BRICK AND CAST ALUMINUM SCREEN WALL MAY BE INSTALLED ALONG SELECTED AREAS AT STREET EDGES FOR PRIVACY AND SCREENING OF UNITS FROM STREET. FINAL DESIGN WILL INCORPORATE DETAILS FROM BUILDING ARCHITECTURE. STONE OR MASONRY MAY ALSO BE USED AS INDICATED SEE SHEET 2 FOR DETAIL.
- 16. 17.5% MINIMUM TREE SAVE AREA.
- 17. A BUS SHELTER PAD MAY BE PROVIDED SUBJECT TO OWNER APPROVAL, SUBJECT TO LOCATIONS OF OTHER SHELTERS ALONG WOODLAWN ROAD.
- 18. FINAL DRIVE SIZE, TYPE AND LOCATION TO BE APPROVED BY CDOT. TYPE II AS SHOWN WITH 8' RADIUS, TYPE III IF ALIGNED WITH ROCKFORD ROAD.
- 19. ANY JURISDICTIONAL WETLAND OR STREAMS, IF PRESENT, NEED TO BE PROTECTED OR PROPER ENVIRONMENTAL PERMITS OBTAINED PRIOR TO THEIR DISTURBANCE.
- 20. THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICES AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER AND SITE DEVELOPMENT, ETC) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6,9,12,17,18,19,29 & 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED UPON THIS DEVELOPMENT IN ADDITION TO OTHER STANDARDS. WHERE CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICES AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRICTER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY.
- 21. LOCATION, SIZE AND TYPE OF ANY STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THIS PLAN IS SUBJECT TO REVIEW AND APPROVAL WITH FULL PLAN DEVELOPMENT PLAN SUBMITTAL AND IS NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORMWATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.



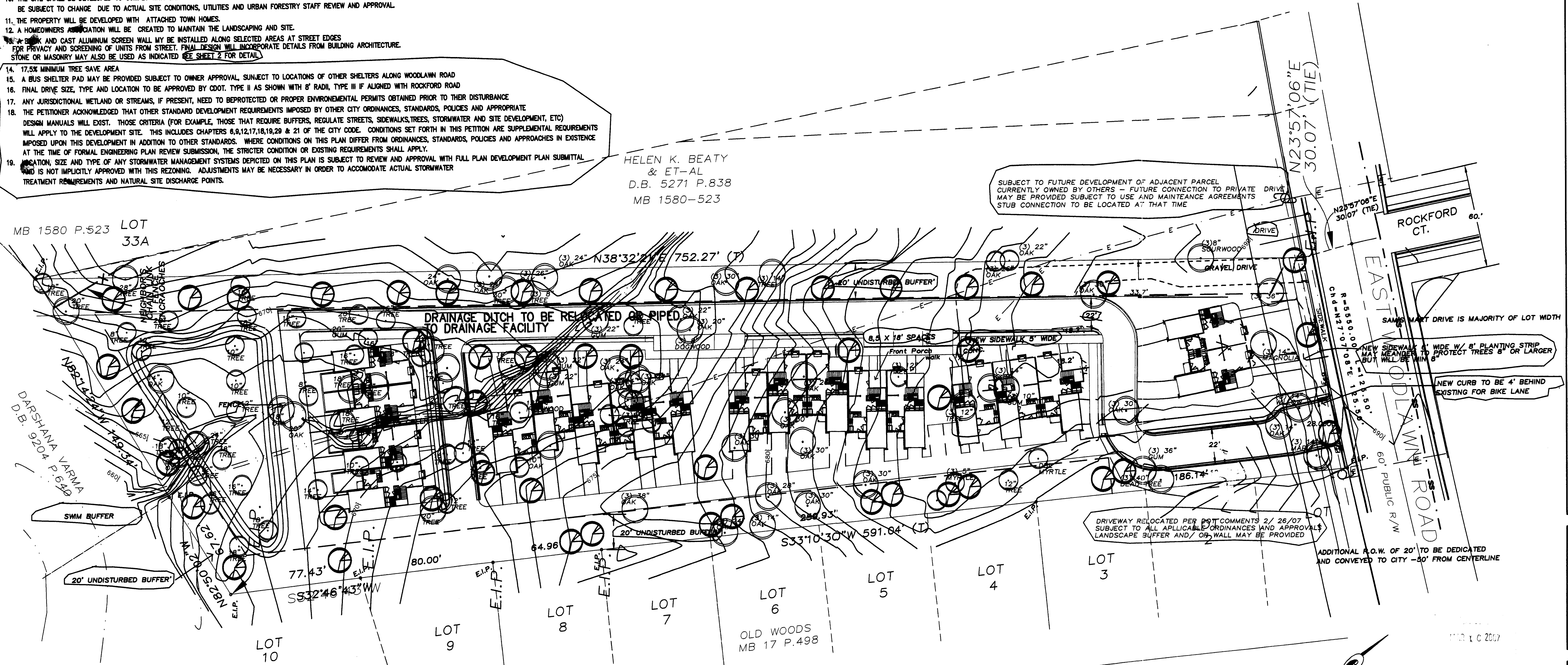
LOCATION

WOODLAWN OAKS  
SITE TABULATION

TAX ID 1701155  
ACERAGE 2.59 ACRES  
CURRENT USE - SINGLE FAMILY  
PROPOSED USE - 20 TOWNHOUSES  
F.A.R. MAX OF 1.0  
CURRENT ZONING - R-4  
PROPOSED ZONING - UR2 CD  
PARKING REQUIRED 1 SPACE MIN/ 3 SPACE MAX PER UNIT  
PARKING PROVIDED 20 IN GARAGES, 17 SURFACE PARKING  
BEHIND GARAGES AND 8 ON/OFF STREET SUBJECT TO FINAL PLAN  
NOTE: DRIVES SHALL BE LESS THAN 5' LONG OR OVER 20' LONG



THE VILLAS AT  
WOODLAWN OAKS



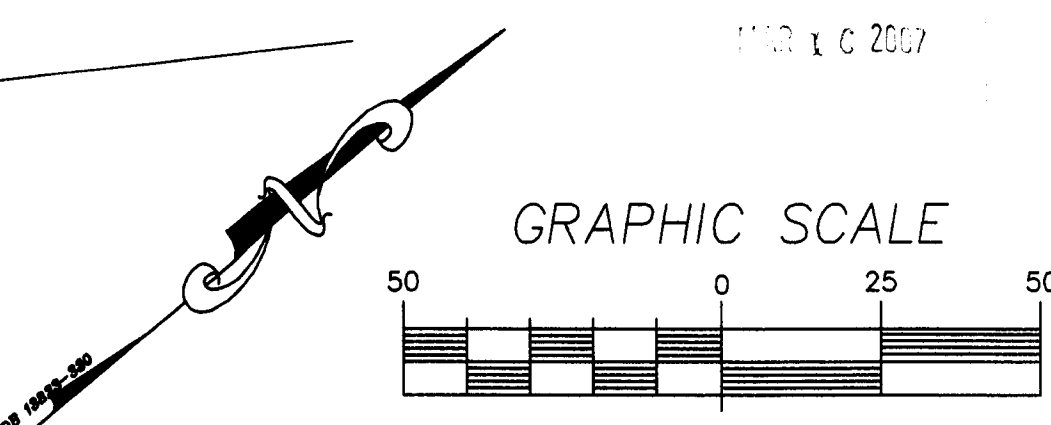
NOTE:  
OTHER R/W'S OR EASEMENTS  
MAY EXIST WHICH MAY NOT  
BE SHOWN.

CONTOUR INTERVAL=1 FOOT

OTHER UNDERGROUND  
UTILITIES MAY EXIST WHICH  
MAY NOT BE SHOWN.

SYMBOL LEGEND	
	POWER POLE (P.P.)
	CLEAN OUT (SEWER)
	MONITORING WELL
	ELECTRIC LINE
	EXISTING IRON PIN
	SEWER LINE
	CLEAN OUT (SEWER)
	SEWER MANHOLE
	FIRE HYDRANT

SITE PLAN  
1:30



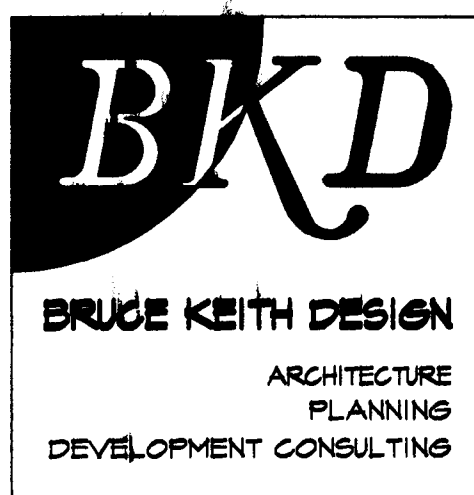
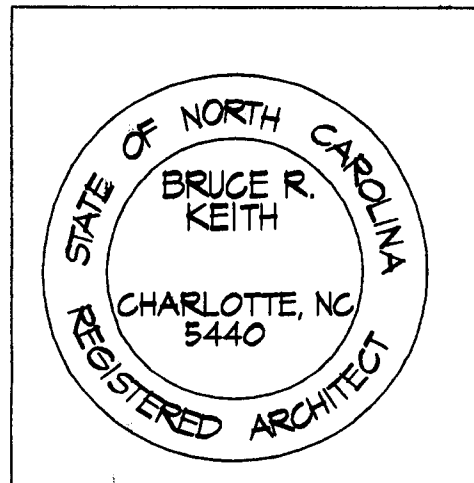
JACK R. CHRISTIAN & ASSOCIATES  
-SURVEYING-  
PHONE (704) 596-2214 FAX (704) 596-2338  
7811 OLD CONCORD RD. CHARLOTTE, NORTH CAROLINA 28213

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PETITION# 2007-05  
FOR PUBLIC HEARING

SITE PLAN  
FEBRUARY 10, 2006  
JULY 28, 2006  
DECEMBER 15, 2006  
FEBRUARY 26, 2007



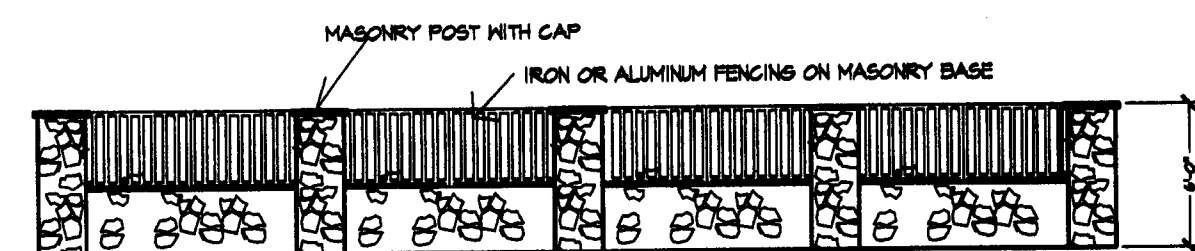
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PETITION #2007-05  
FOR PUBLIC HEARING  
ELEVATION & NOTES  
DECEMBER 15, 2006

PLOT SCALE=1/8"=1'

ADDITIONAL NOTES



PROPOSED FENCING (OPTIONAL-LOCATION TO BE DETERMINED)

1/8"=1'-0"



CONCEPTUAL FRONT ELEVATION

1/8"=1'-0"