

# VINEYARDS AT LAKE WYLIE - PHASES 2, 3, & 5

City of Charlotte ETJ, Mecklenburg County, North Carolina

## SUBDIVISION PLANS

CHARLOTTE, NC 28217



The Vineyards at Lake Wylie - Phases 2, 3, & 5  
City of Charlotte, Mecklenburg County, North Carolina  
Turnstone Group, LLC  
COVER SHEET

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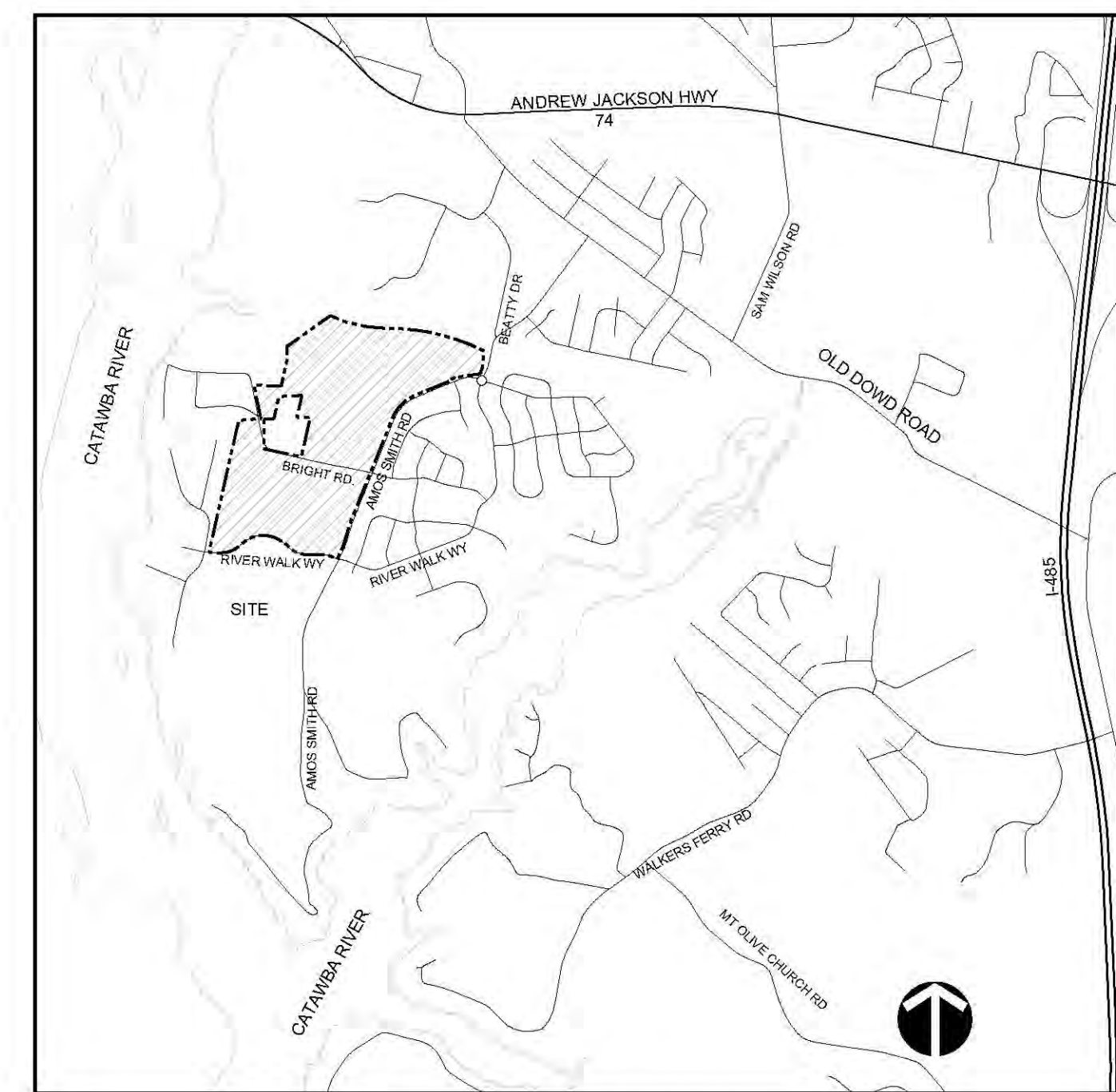
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VICINITY MAP  
SCALE: 1" = 2000'

1ST RTAP SUBMITTAL:  
CITY OF CHARLOTTE - 12/12/2016



FINAL APPROVAL

PROJECT NUMBER: [SDRSFR-2018-00001](#)

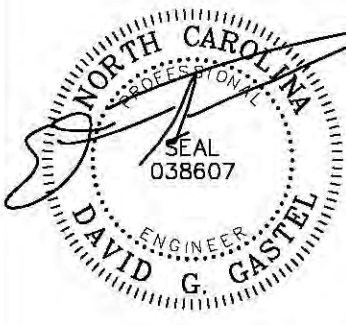
<b>ENGINEERING</b> PCSO / DETENTION / DRAINAGE PLAN	<b>APPROVED</b> By Emily Chien at 4:19 pm, Mar 22, 2018
<b>EROSION CONTROL</b>	<b>APPROVED</b>
<b>URBAN FORESTRY</b> TREE ORDINANCE	<b>APPROVED</b> <a href="#">Henry Kunzig</a>
<b>CDOT</b>	<b>APPROVED</b> <a href="#">Carlos Alzate</a>
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <a href="http://charlottenc.gov/ld">http://charlottenc.gov/ld</a>	



SITE, GRADING AND STORM WATER NOTES:

1. ALL CONSTRUCTION, MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH NCDOT, CDOT AND THE CITY OF CHARLOTTE STANDARDS AND SPECIFICATIONS AND ALL OTHER CITY, STATE AND FEDERAL REGULATIONS AND/OR STANDARDS.
2. ALL INSPECTORS SHALL BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE OWNER AND ENGINEER AND SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING.
4. APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF SITE GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
5. LANDDESIGN SHALL NOT BE IN CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR ACTUAL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, OR SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK, OR FOR THE ACTS OR OMISSIONS OF CONTRACTORS OR ANY OTHER PERSONS NOT UNDER THE EMPLOYMENT OF LANDDESIGN.
6. ALL DIMENSIONS ARE GIVEN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
7. ALL SHORING SHALL BE IN ACCORDANCE TO OSHA TRENCHING STANDARDS, PART 1926 SUBPART P, AS AMENDED.
8. EXISTING UTILITIES ARE ILLUSTRATED FOR INFORMATION PURPOSES ONLY. LANDDESIGN WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF UTILITY LOCATIONS, SIZES, DEPTHS, OR FOR COMPLETENESS OF UTILITY INFORMATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND MEET WITH ALL UTILITY OWNERS WHOSE FACILITIES WILL BE AFFECTED TO DETERMINE UTILITY LOCATIONS. THE CONTRACTOR SHALL PROTECT ALL UTILITIES FROM DAMAGE CAUSED BY HIS OPERATIONS OR THOSE OF HIS AGENTS. THE CONTRACTOR SHALL HOLD LANDDESIGN HARMLESS FOR ANY THIRD-PARTY INCONVENIENCE CREATED BY WORK OF HIS OWN FORCES OR THAT OF HIS AGENTS. ANY DAMAGES INCURRED SHALL BE THE CONTRACTORS FINANCIAL RESPONSIBILITY.
9. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS WITH EXISTING UTILITIES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY.
10. IF PROPOSED UTILITIES ARE INSTALLED WITHIN 12 INCHES, HORIZONTAL OR VERTICAL, FROM A GAS MAIN, THE CONTRACTOR SHALL INFORM PIEDMONT NATURAL GAS COMPANY. (704) 525-5585. ALL WATERMAINS THAT ARE DIP WITHIN 'X' DISTANCE OF GAS MAIN SHALL BE POLYWRAPPED TO PREVENT CORROSION.
11. RESPONSIBILITY FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SAFETY DEVICES FOR THE PROTECTION OF THE PUBLIC, THE WORKERS, AND GENERAL PROTECTION OF THE WORK SHALL REST WITH THE CONTRACTOR DOING THE WORK.
12. NEW FINISHED CONTOURS SHOWN ARE TOP OF PAVING IN AREAS TO RECEIVE PAVEMENT AND TOP OF TOPSOIL IN AREAS TO BE SEEDED.
13. THE PROPOSED CONTOURS SHOWN IN DRIVES, PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS-SECTION DATA TO ESTABLISH CORRECT SUB-BASE OR AGGREGATE BASE COURSE ELEVATIONS.
14. DIMENSIONS AND ELEVATIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT.
15. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES.
16. THE CONTRACTOR SHALL ADJUST EXISTING STRUCTURES BOTH HORIZONTALLY AND VERTICALLY AS REQUIRED TO MATCH FINISHED LOCATION/GRADE AT THEIR EXPENSE.
17. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
18. CONTRACTOR TO COORDINATE ALL WORK WITH OTHER UTILITY INSTALLATIONS NOT COVERED IN THESE PLANS (ELECTRIC, TELEPHONE, GAS, CABLE, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED.
19. FOR ANY WORK ON THE STATE OR CITY RIGHT-OF-WAY, THE GRADING CONTRACTOR SHALL:
- 19.1. NOT STORE MATERIAL, EXCESS DIRT OR EQUIPMENT IN THE RIGHT-OF-WAY IN CASE OF MULTILANE HIGHWAYS. THE PAVEMENT SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT. ON COMPLETION OF THE WORK ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE RIGHT-OF-WAY.
- 19.2. PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE GRADING CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE CITY OF CHARLOTTE, THE STATE OF NORTH CAROLINA, THE ARCHITECT/ENGINEER, AND THE OWNER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES, OR TO THE TRAVELING PUBLIC.
- 19.3. COMPLETE WORK TO THE SATISFACTION OF THE CHARLOTTE (CLT) WATER (FORMERLY CMUD) AND OBTAIN A LETTER FROM THE DEPARTMENT STATING THAT THE WORK IS ACCEPTABLE.
20. CONTRACTOR SHALL IMPORT SUFFICIENT MATERIAL TO COMPLETE WORK AT NO ADDITIONAL COST, IN THE EVENT OF A SHORTAGE OF STRUCTURAL FILL.
21. CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.
22. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
23. BEFORE ANY MACHINE WORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE SITE PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNER'S SATISFACTION.
24. CONTRACTOR TO GRADE SITE TO A TOLERANCE OF +/- 0.10 FOOT (BALANCED) OF SUBGRADE.
25. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
26. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
27. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCH MARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO BREAKING GROUND.
28. ALL FILL/SUBGRADE MATERIAL TO BE COMPACTED TO 95% STANDARD COMPACTION UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT (BY ECS, DATED APRIL 30, 2015) TO DETERMINE SOIL/ROCK CONDITIONS OF THE SITE AND ANY SITE SPECIFIC REQUIREMENTS OR RECOMMENDATIONS.
30. CONTRACTOR SHALL OBTAIN AND REVIEW ANY 2ND PARTY (D.R. HORTON) SPECIFICATIONS AND REQUIREMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INTEGRATE ANY 2ND PARTY SPECIFICATIONS AND REQUIREMENTS INTO THE SITE CONSTRUCTION (BUILDING PAD REQUIREMENTS, PAVEMENT AREA REQUIREMENTS, ETC.). ANY DISCREPANCIES BETWEEN THESE PLANS AND ANY 2ND PARTY SPECIFICATIONS AND REQUIREMENTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION.
31. PAVEMENT THICKNESS SHOWN ON THESE PLANS ARE CITY OF CHARLOTTE AND NCDOT STANDARD THICKNESS. CONTRACTOR SHALL REVIEW GEOTECHNICAL REPORT FOR PAVEMENT RECOMMENDATIONS AND MAKE ADJUSTMENTS AS NEEDED. ANY CHANGES IN PAVEMENT THICKNESS REQUIRE APPROVAL PRIOR TO CONSTRUCTION.
32. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
33. ALL SLOPES NOT OTHERWISE NOTED SHALL BE 2:1 OR FLATTER. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (CLDSM #30.16).
34. PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHOULD BE CONSTRUCTED AT 2:1 (HORIZONTAL TO VERTICAL) OR FLATTER. PERMANENT SLOPES OF 3:1 SHOULD BE CONSTRUCTED WHERE MOWING IS DESIRABLE AND AS INDICATED. IF FILL MATERIAL IS BROUGHT ONTO THE PROPERTY OR IF WASTE MATERIAL IS HAULED FROM THE PROPERTY THEN THE CONTRACTOR SHALL DISCLOSE THE LOCATION OF ANY ON-SITE AND/OR OFF-SITE BARROW LOCATION AND/OR WASTE BURIAL LOCATION TO THE EROSION CONTROL INSPECTOR.
35. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
36. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
37. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITIES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT SHALL BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR UNLESS PREVIOUS ARRANGEMENTS HAVE BEEN MADE WITH OWNER.
38. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
39. THE CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION SEDIMENT AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE ALL AREAS DRAINING INTO THESE STRUCTURES ARE SUFFICIENTLY STABILIZED.
40. CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.
41. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL SEDIMENT CONTROL AND AIR POLLUTION ORDINANCES OR RULES.
42. LIMITS OF CLEARING SHOWN ON EROSION CONTROL PLANS ARE BASED ON CUT AND FILL SLOPES OR OTHER GRADING REQUIREMENTS.
43. GRADING 1 ACRE OR MORE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND SUBJECT TO A FINE.
44. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THE GRADING PLAN IS SUBJECT TO A FINE.
45. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT. ALL AREAS ARE TO BE SEEDED OR LANDSCAPE PER THE FOLLOWING.
- 45.1. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 (CRITICAL WATERSHED) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- 45.2. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
46. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, AND THE CHARLOTTE EROSION CONTROL ORDINANCE.
47. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS INDICATED ON EROSION CONTROL PLANS. NO EROSION CONTROL DEVICE MEASURE MAY BE REMOVED UNTIL THE SITE IS STABILIZED.
48. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
49. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH NCDOT AND THE CITY OF CHARLOTTE STANDARDS AND SPECIFICATIONS AND ALL OTHER CITY, STATE AND FEDERAL REGULATIONS AND/OR STANDARDS.
50. CATCH BASIN RIM ELEVATIONS ARE GIVEN TO CENTER OF GRATE, YARD INLETS TO CENTER OF GRATE AS WELL.
51. RIM ELEVATIONS/LOCATIONS GIVEN ON THESE PLANS ARE APPROXIMATE AND ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL RIM ELEVATION/LOCATIONS SHALL BE DETERMINED BY CONTRACTOR AND ADJUSTED TO MATCH FIELD CONDITIONS.
52. THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORMWATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
53. THE PURPOSE OF THE POST CONSTRUCTION CONTROLS EASEMENT (PCCE) IS TO PROVIDE STORM WATER CONVEYANCE AND FOR THE CONTROL AND TREATMENT OF STORM WATER RUNOFF. BUILDINGS OR ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW, SYSTEM PERFORMANCE, OR SYSTEM MAINTENANCE ARE PROHIBITED. THIS EASEMENT ALSO PROVIDES FOR UNLIMITED ACCESS FOR INSPECTION AND MAINTENANCE PURPOSES TO BE PERFORMED ON THE BMP AS REQUIRED BY THE CITY OF CHARLOTTE STORM WATER ORDINANCE POST CONSTRUCTION CONTROL REGULATIONS.
54. ALL LINEAR FOOTAGE FOR ALL UTILITY PIPES ARE APPROXIMATE, ACTUAL INSTALLED QUANTITIES MAY VARY.
55. STORM SEWER LEAD-INS TO BUILDINGS SHALL NOT BE INSTALLED UNTIL BUILDING PLANS ARE COMPLETED AND LOCATIONS ESTABLISHED ON THE ARCHITECTURAL PLANS. LEAD-INS MAY CHANGE 15' HORIZONTALLY AND 3' VERTICALLY PRIOR TO INSTALLATION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM PRIME CONTRACTOR PRIOR TO INSTALLATION OF LEAD-INS. CONTRACTOR SHALL COORDINATE LOCATIONS, SIZE AND INVERT ELEVATIONS OF STORM SEWERS WITH APPROVED BUILDING PLUMBING PLANS. STORM SEWER LEAD-INS SHALL HAVE A MINIMUM OF 1.0% SLOPE.
56. MINIMUM COVER ON ALL STORM PIPES SHALL BE 3 FEET FOR HDPE AND CLASS III RCP. CLASS IV RCP SHALL BE USED WHERE COVER WILL BE LESS THAN 3'.
57. ALL NON-STANDARD DRAINAGE STRUCTURES (CB'S, HWS, FES'S, BOTTOMLESS CULVERTS, ETC.) WILL REQUIRE SEALED CONSTRUCTION DRAWINGS.
58. ALL DI (DROP INLETS) SHALL BE NCDOT DROP INLET (STD. #840.14) WITH FRAME AND GRATE (STD. #840.16), UNLESS NOTED OTHERWISE ON PLANS.
59. ALL CI (CATCH INLETS) AND DCI (DOUBLE CATCH INLETS) SHALL BE NCDOT CATCH BASIN (STD. #840.02) WITH FRAME GRATE AND HOOD (STD. #840.03).

60. STORM DRAIN PIPE TO FOLLOW THE APPROVED NCDOT AND CITY OF CHARLOTTE STANDARDS AND SPECIFICATIONS. HDPE AND RCP STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC RIGHT-OF-WAY MUST BE APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- 60.1. ALL RCP PIPE INSTALLED MUST BE INSPECTED AND APPROVED BY THE INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. THE INSPECTOR MUST BE PRESENT DURING THE BACKFILLING OPERATION AS WELL.
- 60.2. BACKFILL MATERIAL USED TO INSTALL RCP PIPE WITHIN THE STREET RIGHT-OF-WAY SHALL BE SELECT MATERIAL, CLASS II-IV, AS DEFINED BY SECTION 1016-3 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES. UPON SUBMITTAL OF WRITTEN CERTIFICATION OF MATERIAL SUITABILITY BY A LICENSED GEOTECHNICAL ENGINEER, NCDOT CLASS I SELECT MATERIAL MAY BE USED. ALL BACKFILL MATERIAL SHALL BE APPROVED BY THE INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE STREET RIGHT-OF-WAY.
61. ALL BMPS THAT ARE NOT LOCATED ADJACENT TO A PUBLIC RIGHT OF WAY WILL REQUIRE THE OWNER TO PROVIDE A TWENTY (20) FOOT WIDE ACCESS EASEMENT IN FAVOR OF THE CITY THAT CONNECTS THE BMP TO THE PUBLIC RIGHT OF WAY.
62. BMP, STORM SEWER, SANITARY SEWER AND ANY OTHER AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR.
63. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO BMP CONSTRUCTION TO DETERMINE AS-BUILT REQUIREMENTS.
64. BMP AS-BUILTS MUST BE APPROVED AND PCCE AND MAINTENANCE AGREEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF C.O.
65. CONTRACTOR SHALL BE RESPONSIBLE FOR GETTING PUBLIC ROADS AND UNDERGROUND UTILITIES APPROVED AND ACCEPTED BY THE APPROPRIATE AGENCY.
66. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, MUST BE SUBMITTED PRIOR TO FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.
67. COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
68. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.50% SLOPE ON THE CURB.
69. ROAD AND ROAD IMPROVEMENTS
- 69.1. CONTRACTOR SHALL MILL A 1' WIDE STRIP ALONG EX. EDGE OF ASPHALT TO A DEPTH EQUAL TO THE FINAL LIFT OF ASPHALT TO PROVIDE A SMOOTH TRANSITION AT THE TIE-IN TO EXISTING EDGES OF PAVEMENT (WHEN APPLICABLE).
- 69.2. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING.
- 69.3. DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE PROJECT MANAGER OR INSPECTOR AS APPLICABLE.
- 69.4. CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AND SIDEWALKS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE. (TYP. ALL INTERSECTIONS)
- 69.5. WHERE ASPHALT MEETS CONCRETE PAVING SUCH AS AT CONCRETE CURBING, THE ASPHALT SHOULD BE FINISHED 1/4" TO 1/2" ABOVE THE CONCRETE SURFACE TO ALLOW FOR FURTHER TRAFFIC COMPACTION OF THE ASPHALT.
- 69.6. DURING PREPARATION OF THE SUB-GRADE AND UNTIL THE PAVING IS IN PLACE, THE CONTRACTOR SHALL PROMPTLY TAKE REASONABLE ACTION TO OBTAIN AND MAINTAIN A DRY SITE CONDITION. SUCH MEASURES SHALL INCLUDE PUMPING OF FREE SURFACE WATER, MINOR MACHINE OR HAND SHAPING TO FACILITATE WATER REMOVAL AND OTHER OPERATIONS TO SPEED DRYING.
- 69.7. CONTRACTOR SHALL TRIM, TACK, AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
70. CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD STAKING BY ENGINEER. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
71. ALL PERSONS OR AGENCIES DOING WORK IN THE PUBLIC STREETS, HIGHWAYS, OR PUBLIC RIGHTS-OF-WAY ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. COORDINATING THE WORK WITH ALL AFFECTED GOVERNMENT AGENCIES AND UTILITIES AND INFORMING OCCUPANT OF ADJACENT PROPERTIES OF ACCESS IMPACTS DUE TO THE WORK.
72. ALL LANE CLOSURES THAT ARE REQUIRED SHALL FOLLOW NCDOT AND CDOT STANDARDS AND SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
73. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
74. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
75. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
76. PRIOR TO PLAT RECORDATION, OFF SITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFF SITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
77. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND/OR NCDOT TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR.
78. DEVELOPER WILL PROVIDE STREET SIGNS PER CITY AND STATE STANDARDS.
79. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED PRIOR TO REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW.
80. ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (>5' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17 – SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE CITY OF CHARLOTTE SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN RESPONSIBLE CHARGE (DPIRC) LETTERS.
81. RETAINING WALLS INVOLVING A CULVERT OR LOCATED WITHIN THE INFLUENCE OF A ROAD MUST BE REVIEWED AND APPROVED BY CITY ENGINEERING DEPARTMENT. CULVERTS MUST HAVE HEADWALLS OR BE COLLARED.
82. CONSTRUCTION OF RETAINING WALL(S) CANNOT BEGIN UNTIL ALL NECESSARY PERMITS ARE ACQUIRED.
83. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS OF 80,000 POUNDS.



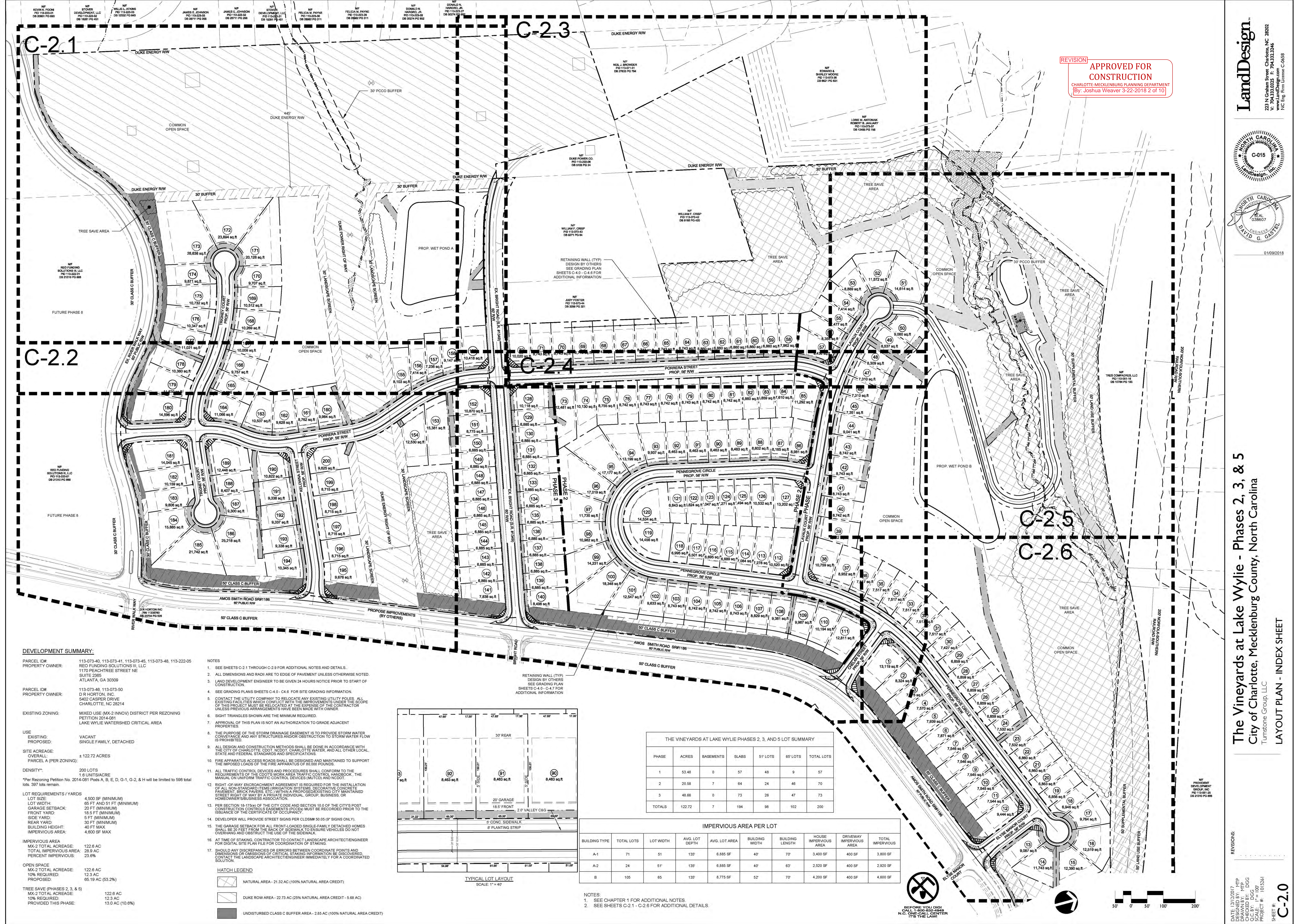
01/09/2018

REVISIONS:

DATE: 12/23/17  
DESIGNED BY: DGG  
CHECKED BY: DGG  
PROJECT #:  
SHEET #:

C-1.1





DEVELOPMENT SUMMARY:

PARCEL ID# 113-073-40, 113-073-41, 113-073-45, 113-073-48, 113-222-05  
PROPERTY OWNER: REO FUNDING SOLUTIONS III, LLC  
1170 PEACHTREE STREET NE  
SUITE 2365  
ATLANTA, GA 30309

PARCEL ID# 113-073-40, 113-073-50  
PROPERTY OWNER: D R HORTON, INC.  
5402 CASPER DRIVE  
CHARLOTTE, NC 28214

EXISTING ZONING: MIXED USE (MX-2 INNOV) DISTRICT PER REZONING PETITION 2014-081  
LAKE WYLIE WATERSHED CRITICAL AREA

USE:  
EXISTING: VACANT  
PROPOSED: SINGLE FAMILY, DETACHED

SITE ACREAGE:  
OVERALL: ± 122.72 ACRES  
PARCEL A (PER ZONING): 1.6 UNITS/ACRE

DENSITY\*: 200 LOTS  
1.6 UNITS/ACRE

\*Per Rezoning Petition No. 2014-081 Pkds A, B, E, D, G-1, G-2, & H will be limited to 598 total lots. 397 lots remain.

LOT REQUIREMENTS / YARDS

LOT SIZE: 4,500 SF (MINIMUM)  
65 FT AND 51 FT (MINIMUM)

LOT WIDTH: 20 FT (MINIMUM)  
FRONT YARD: 18.5 FT (MINIMUM)  
SIDE YARD: 5 FT (MINIMUM)  
REAR YARD: 30 FT (MINIMUM)  
BUILDING HEIGHT: 40 FT MAX  
IMPERVIOUS AREA: 4,500 SF MAX

IMPERVIOUS AREA

MX-2 TOTAL ACREAGE: 122.6 AC  
TOTAL IMPERVIOUS AREA: 28.9 AC  
PERCENT IMPERVIOUS: 23.6%

OPEN SPACE

MX-2 TOTAL ACREAGE: 122.6 AC  
10% REQUIRED: 12.3 AC  
PROVIDED THIS PHASE: 65.19 AC (53.2%)

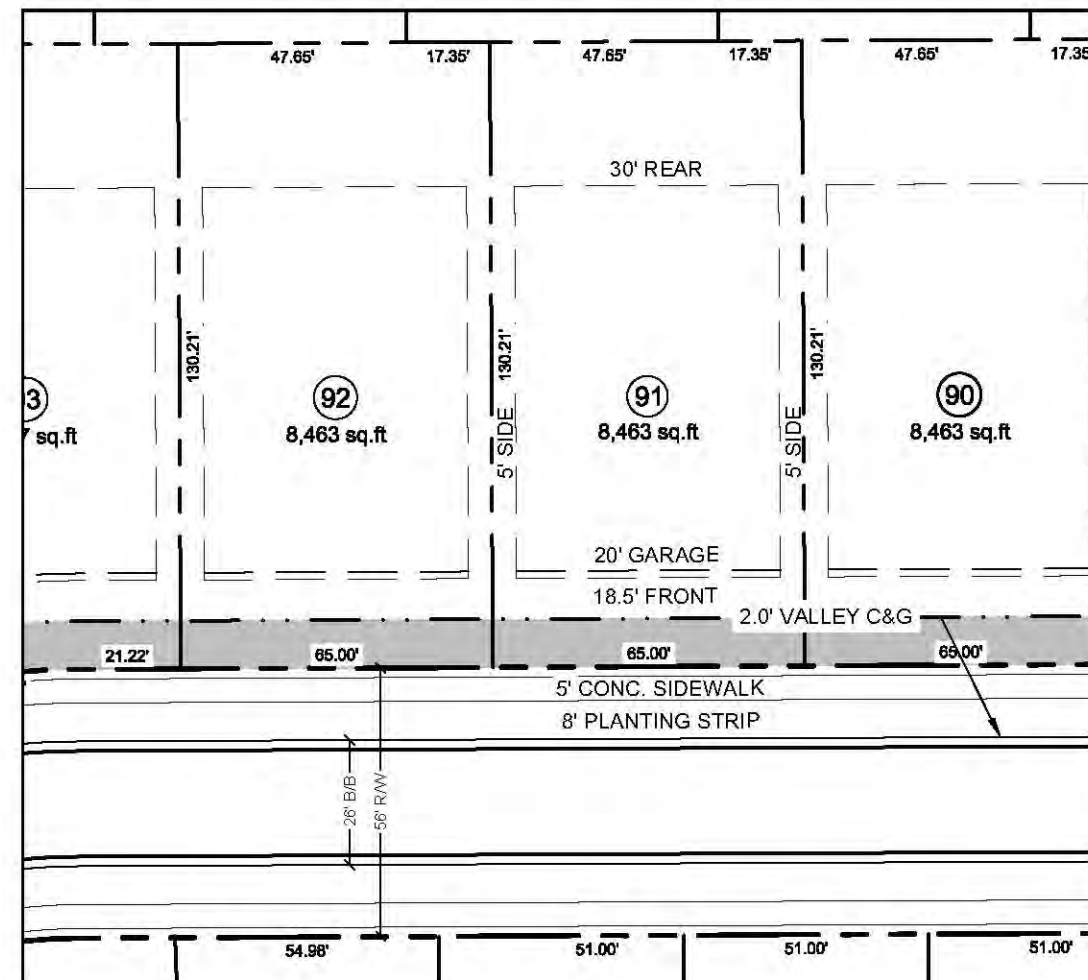
TREE SAVE (PHASES 2, 3, & 5)

MX-2 TOTAL ACREAGE: 122.6 AC  
10% REQUIRED: 12.3 AC  
PROVIDED THIS PHASE: 13.0 AC (10.6%)

- NOTES
- SEE SHEETS C-2.1 THROUGH C-2.9 FOR ADDITIONAL NOTES AND DETAILS.
  - ALL DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
  - SEE GRADING PLANS SHEETS C-4.0 - C-4.8 FOR SITE GRADING INFORMATION.
  - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE CONTRACTOR UNLESS PREVIOUS ARRANGEMENTS HAVE BEEN MADE WITH OWNER.
  - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
  - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES.
  - THE PURPOSE OF THE STORM DRAINAGE EASEMENT IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
  - ALL DESIGN AND CONSTRUCTION METHODS SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHARLOTTE, 2007, NCDD, CHARLOTTE WATER, AND ALL OTHER LOCAL, STATE AND FEDERAL STANDARDS AND SPECIFICATIONS.
  - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS OF 80,000 POUNDS.
  - ALL TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE CITIES WORK AREA TRAFFIC CONTROL HANDBOOK, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDD.
  - RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER/BUSINESS ASSOCIATION.
  - PER SECTION 18-176(a) OF THE CITY CODE AND SECTION 18.0.8 OF THE CITY'S POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
  - DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSING 50.05 (9" SIGNS ONLY).
  - THE GARAGE SETBACK FOR ALL FRONT-LOADED SINGLE-FAMILY DETACHED HOMES SHALL BE 20 FEET FROM THE BACK OF SIDEWALK TO ENSURE VEHICLES DO NOT OVERHANG AND OBSTRUCT THE USE OF THE SIDEWALK.
  - AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT/ENGINEER FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
  - SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT/ENGINEER IMMEDIATELY FOR A COORDINATED SOLUTION.

HATCH LEGEND

- NATURAL AREA - 21.32 AC (100% NATURAL AREA CREDIT)
- DUKE ROW AREA - 22.73 AC (25% NATURAL AREA CREDIT - 5.66 AC)
- UNDISTURBED CLASS C BUFFER AREA - 2.85 AC (100% NATURAL AREA CREDIT)



THE VINEYARDS AT LAKE WYLIE PHASES 2, 3, AND 5 LOT SUMMARY						
PHASE	ACRES	BASEMENTS	SLABS	51' LOTS	65' LOTS	TOTAL LOTS
1	53.48	0	57	48	9	57
2	20.58	7	64	24	48	70
3	48.66	0	73	26	47	73
TOTALS	122.72	7	194	98	102	200

IMPERVIOUS AREA PER LOT							
BUILDING TYPE	TOTAL LOTS	LOT WIDTH	AVG. LOT DEPTH	AVG. LOT AREA	BUILDING WIDTH	BUILDING LENGTH	TOTAL IMPERVIOUS AREA
A-1	71	51	135'	6,885 SF	40'	70'	3,400 SF
A-2	24	51'	135'	6,885 SF	40'	63'	2,520 SF
B	105	85	135'	8,775 SF	52'	70'	4,200 SF

NOTES:

- SEE CHAPTER 1 FOR ADDITIONAL NOTES.
- SEE SHEETS C-2.1 - C-2.9 FOR ADDITIONAL DETAILS.

The Vineyards at Lake Wylie - Phases 2, 3, & 5  
City of Charlotte, Mecklenburg County, North Carolina  
Turnstone Group, LLC  
LAYOUT PLAN - INDEX SHEET

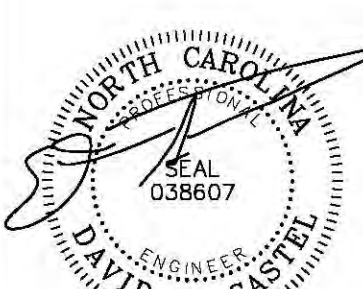
REVISIONS:

DATE: 12/12/2017	DESIGNED BY: HTP
CHECKED BY: DGG	PROJECT #: 101261
DATE: 12/12/2017	DESIGNED BY: HTP
CHECKED BY: DGG	PROJECT #: 101261

SHEET #:

C-2.0

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NC Eng. Firm License C-0638



01/09/2018