



Know what's below.
Call before you dig.

THOMAS ROAD SITE

CHARLOTTE, NORTH CAROLINA

HOPPER COMMUNITIES

229 E KINGSTON AVENUE, CHARLOTTE, NC 28203

P: 704.805.4800

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY CAROLINA SURVEYORS
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS AT THOMAS ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER CMLDS# 50.05 (9" SIGNS ONLY)
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. CURB AND GUTTER SHOWN ON PLANS ALONG THOMAS ROAD AND INTERNAL TO THE SITE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
13. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
14. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
15. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
16. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
17. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
18. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOTS SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)
19. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
20. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
21. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
22. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
23. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
24. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
25. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
26. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
27. ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
28. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.
29. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
30. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER
31. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

ENGINEER'S NOTES:

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
3. CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY
5. THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
6. CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
8. THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
9. PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
10. EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
12. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
13. SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
14. IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
15. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
16. FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
17. FDC LOCATIONS SHALL BE IN ACCORDANCE W/ CFD REQUIREMENTS.
18. FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.
20. CONTRACTOR SHALL FLUSH ALL ONSITE STORM DRAINAGE AND HAUL OFF ALL ACCUMULATED MATERIAL AT COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROTECT DOWN STREAM PROPERTIES AND BMP INSTALLATIONS FROM EXCESSIVE SEDIMENT ACCUMULATION. UPON COMPLETION OF CLEANING, CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION TO OWNER AND REQUEST INSPECTION OF PROJECT BY ENGINEER FOR FINAL INSPECTION.

SWIM BUFFER NOTES:

1. THE STREAM SIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE MANAGED USE ZONE, AT A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6-INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF REMAINING TREES.
2. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET.)
3. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE, HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH AS MANNER AS TO PREVENT DAMAGED TO THE ROOTS OF REMAINING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
4. THE OUTSIDE BOUNDARY OF THE BUFFER MUST BE CLEARLY MARKED WITH ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE AND THIS FENCING MUST BE CALLED OUT ON PLANS.
5. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS AND THIS MARKER MUST BE CALLED OUT ON THE PLANS.

SITE DATA

TAX MAP NO:	21703155 AND PORTION OF 21703102
MUNICIPALITY:	CHARLOTTE
SITE AREA (EXISTING TOTAL):	±38.7 ACRES (1,685,855 SF)
	AREA 1 = ±30.07 ACRES (1,310,018 SF) (AFTER ROW DEDICATION) AREA 2 = ±8.60 ACRES (374,768 SF)
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3 CLUSTER DEVELOPMENT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
TOTAL LOTS PROVIDED:	73 LOTS (AREA A)
PROPOSED DENSITY:	2.43 D.U.A.
MINIMUM LOT SIZE:	8,000 SF
TREE SAVE REQUIRED:	10% MIN = 3.87 ACRES (168,585 SF)
TREE SAVE PROPOSED:	14.3% = 5.53 ACRES (240,728 SF)
COMMON OPEN SPACE REQUIRED:	10% MIN = 3.87 ACRES (168,585 SF)
COMMON OPEN SPACE PROPOSED:	14.3% = 5.53 ACRES (240,728 SF)
SETBACKS: (PER CD REDUCTIONS)	
MINIMUM LOT WIDTH	60'
SETBACK:	15' (TREE SAVE INCENTIVE) 20' TO GARAGE
PERIMETER REAR YARD:	45'
INTERIOR REAR YARD:	30'
PERIMETER SIDE YARD:	6'
INTERIOR SIDE YARD:	5'

CONSULTANTS:

DEVELOPER:	HOPPER COMMUNITIES 229 E KINGSTON AVENUE CHARLOTTE, NC 28203 704.805.4800
LANDSCAPE ARCH.:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608
CIVIL ENGINEER:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608
SURVEYOR:	CAROLINA SURVEYORS P.O. BOX 267 PINEVILLE, NORTH CAROLINA 704.889.7601



FINAL APPROVAL

PROJECT NUMBER:

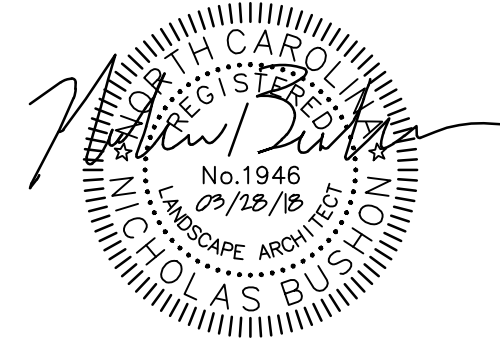
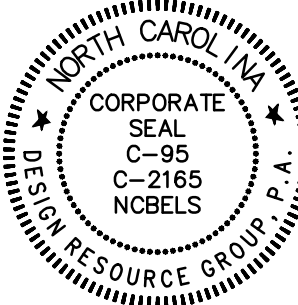
ENGINEERING PCSO / DETENTION / DRAINAGE PLAN	APPROVED By Robert Zink at 11:05 am, Apr 05, 2018
EROSION CONTROL	APPROVED
URBAN FORESTRY TREE ORDINANCE	APPROVED
CDOT	APPROVED
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT http://charlottenc.gov/ld	

SHEET SCHEDULE	
C0.00	COVER SHEET
C1.00	SURVEY
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C2.02	TRUCK TURNING PLAN
C3.00	OVERALL EROSION CONTROL PLAN
C3.01	EROSION CONTROL PHASE I
C3.02	EROSION CONTROL PHASE I
C3.03	EROSION CONTROL PHASE II
C3.04	EROSION CONTROL PHASE II
C3.05	EROSION CONTROL PHASE III
C3.06	EROSION CONTROL NOTES
C4.00	GRADING PLAN
C4.10	STORM DRAINAGE PLAN
C4.11	STORM DRAINAGE PLAN
C4.12	STORM DRAINAGE AREAS
C4.13	WETPOND DETAILS
C4.14	STORMWATER MANAGEMENT PLAN
C5.00	OVERALL UTILITY PLAN
C6.00	REQUIRED PLANTING PLAN
C6.01	REQUIRED PLANTING PLAN
C7.00	AUTUMN SAGE DR PLAN & PROFILE
C7.01	AUTUMN SAGE DR & PROFILE
C7.02	FLAME AZALEA CT PLAN & PROFILE
C7.03	FLAME AZALEA CT PLAN & PROFILE
C7.04	SERVICEBERRY DR PLAN & PROFILE
C7.05	FLAME AZALEA ISD PLAN & PROFILE
C7.06	FLAME AZALEA ISD PLAN & PROFILE
C7.07	AUTUMN SAGE ISD PLAN & PROFILE
C7.08	THOMAS ROAD IMPROVEMENT PLAN
C7.09	THOMAS ROAD CROSS-SECTIONS
C9.00	CIVIL DETAILS
C9.01	CIVIL DETAILS
C9.02	CIVIL DETAILS
C9.03	CIVIL DETAILS
C9.04	CIVIL DETAILS
C9.05	CIVIL DETAILS



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgroup.com



CONSTRUCTION DOCUMENTS

THOMAS ROAD SITE

CHARLOTTE, NORTH CAROLINA (ETJ)

HOPPER COMMUNITIES

229 E KINGSTON AVENUE

CHARLOTTE, NORTH CAROLINA 28203

704.805.4800

COVER SHEET

SCALE: NTS

PROJECT #: 598-005
DRAWN BY: KL
CHECKED BY: MM

March 19, 2018

REVISIONS:

C0.00

SITE NOTES:

ALL PROPOSED UTILITIES WILL BE UNDERGROUND.
ALL STREETS PROPOSED ON PLAN TO BE MEET NCDOT STANDARDS.
ALL ROAD IMPROVEMENTS ALONG THOMAS ROAD TO BE COORDINATED WITH NCDOT AND MEET ORDINANCE REQUIREMENTS.
BUILDING PAD AND DRIVEWAY LOCATION SHOWN FOR REFERENCE ONLY.

SITE DATA

TAX MAP NO: 21703155 AND PORTION OF 21703102
MUNICIPALITY: CHARLOTTE

SITE AREA (EXISTING TOTAL): ±38.7 ACRES (1,685,855 SF)

AREA 1 = ±30.07 ACRES (1,310,018 SF)
(AFTER ROW DEDICATION)
AREA 2 = ±8.60 ACRES (374,768 SF)

EXISTING ZONING: R-3
PROPOSED ZONING: R-3 CLUSTER DEVELOPMENT
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

TOTAL LOTS PROVIDED: 73 LOTS (AREA A)
PROPOSED DENSITY: 2.43 D.U.A.

MINIMUM LOT SIZE: 8,000 SF

TREE SAVE REQUIRED: 10% MIN = 3.87 ACRES (168,585 SF)
TREE SAVE PROPOSED: 14.3% = 5.53 ACRES (240,728 SF)

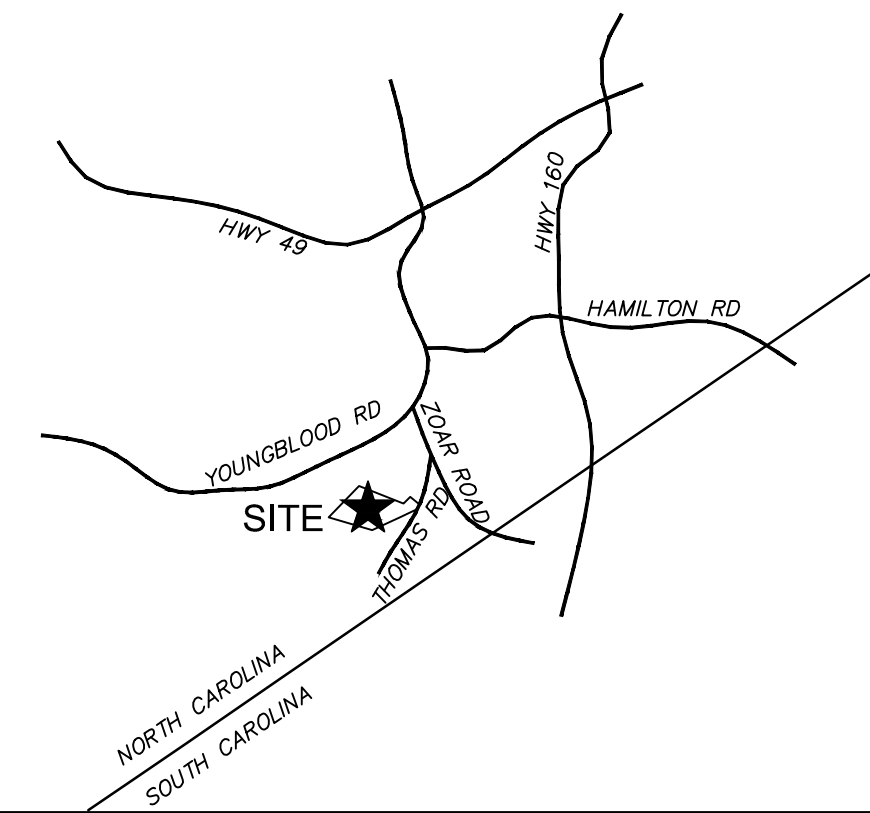
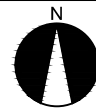
COMMON OPEN SPACE REQUIRED: 10% MIN = 3.87 ACRES (168,585 SF)
COMMON OPEN SPACE PROPOSED: 14.3% = 5.53 ACRES (240,728 SF)

SETBACKS: (PER CD REDUCTIONS)
MINIMUM LOT WIDTH: 60'
SETBACK: 15' (TREE SAVE INCENTIVE)
20' TO GARAGE

PERIMETER REAR YARD: 45'
INTERIOR REAR YARD: 30'
PERIMETER SIDE YARD: 6'
INTERIOR SIDE YARD: 5'

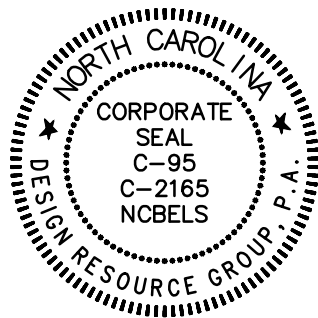
VICINITY MAP

N.T.S.



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

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CONSTRUCTION DOCUMENTS

THOMAS ROAD SITE
CHARLOTTE, NORTH CAROLINA (ETJ)

HOPPER COMMUNITIES
229 E KINGSTON AVENUE
CHARLOTTE, NORTH CAROLINA 28203
704.805.4800

OVERALL
SITE PLAN

50 0 50 100
SCALE: 1" = 100'

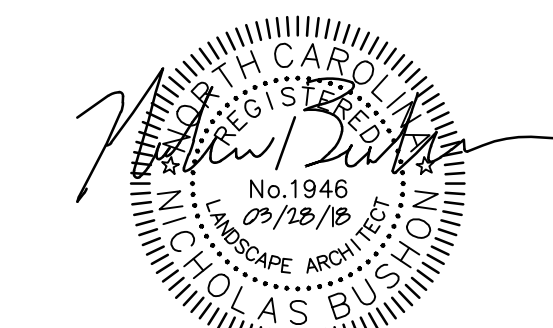
PROJECT #: 598-005
DRAWN BY: SK
CHECKED BY: NB

JANUARY 25, 2018

REVISIONS:



O 2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
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W www.drgrp.com



CONSTRUCTION
DOCUMENTS

THOMAS ROAD SITE

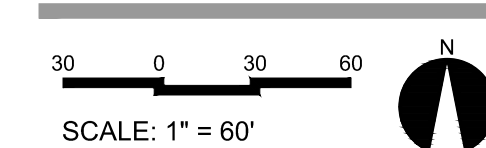
CHARLOTTE, NORTH CAROLINA (ETJ)

HOPPER COMMUNITIES

229 E KINGSTON AVENUE
CHARLOTTE, NORTH CAROLINA 28203

NORTH CAR
704 805 4800

SITE PLAN



PROJECT #: 598-005
DRAWN BY: SK
CHECKED BY: NB

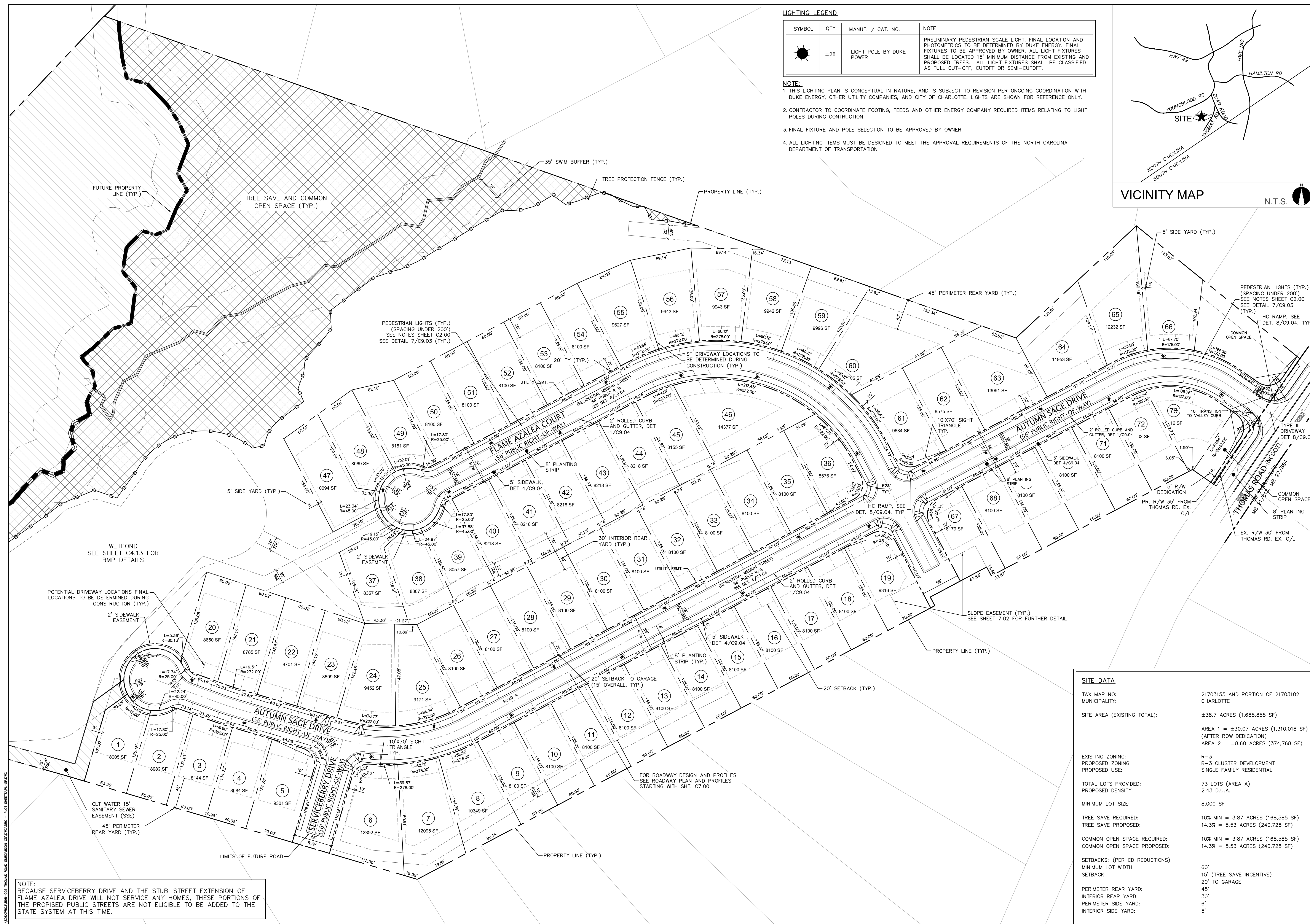
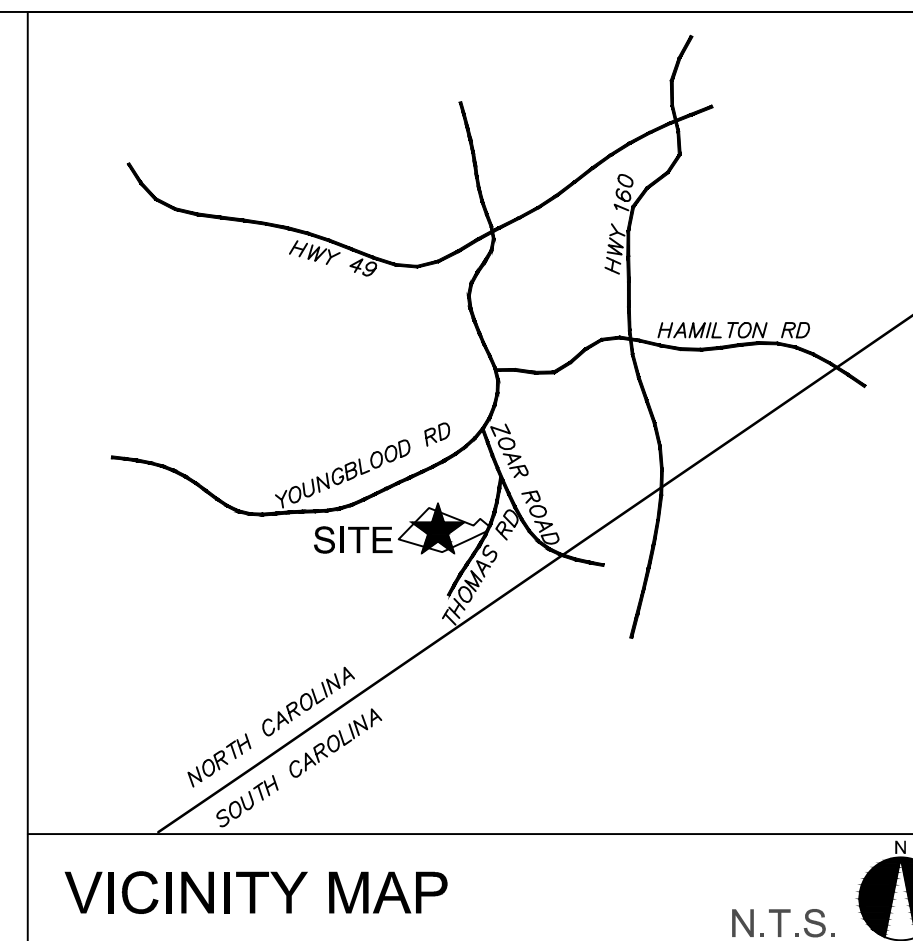
JANUARY 25, 2018

REVISIONS:

C2.01

NOTE:

1. THIS LIGHTING PLAN IS CONCEPTUAL IN NATURE, AND IS SUBJECT TO REVISION PER ONGOING COORDINATION WITH DUKE ENERGY, OTHER UTILITY COMPANIES, AND CITY OF CHARLOTTE. LIGHTS ARE SHOWN FOR REFERENCE ONLY.
2. CONTRACTOR TO COORDINATE FOOTING, FEEDS AND OTHER ENERGY COMPANY REQUIRED ITEMS RELATING TO LIGHT POLES DURING CONSTRUCTION.
3. FINAL FIXTURE AND POLE SELECTION TO BE APPROVED BY OWNER.
4. ALL LIGHTING ITEMS MUST BE DESIGNED TO MEET THE APPROVAL REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

[illegible]

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