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**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 1/31/18

PARK AND REECE

CHARLOTTE, NORTH CAROLINA

HOPPER COMMUNITIES
229 KINGSTON AVENUE
CHARLOTTE, NC 29203
P: 704.805.4802



FINAL
APPROVAL

ENGINEERING PCO / DETENTION / DRAINAGE PLAN	APPROVED
EROSION CONTROL	APPROVED
URBAN FORESTRY TREE ORDINANCE	APPROVED
CDOT	APPROVED
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT http://charlottenc.gov/ld	



LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208
704.343.0608
www.drgp.com



CONSTRUCTION
DOCUMENTS

PARK AND REECE
CHARLOTTE, NC



HOPPER COMMUNITIES
229 E. KINGSTON AVENUE
CHARLOTTE, NC 28203
704-805-4802

CONSTRUCTION DRAWINGS

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY ON POINT SURVEYING.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT PARK ROAD AND REECE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT AND CDOT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CMDS# 50.05 (9" SIGNS ONLY)
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG PARK ROAD AND REECE ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- PE SEALED SHOP DRAWINGS FOR ALL RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- NON-STANDARD ITEMS (E: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHAL DURING THE BUILDING PERMIT PROCESS.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704)432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

ENGINEER'S NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
- CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY
- THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
- THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
- PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.Q. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
- EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
- CHARLOTTE WATER WILL INSTALL THE TAPS AND METERS.
- SANITARY YARD HYDRANTS SHALL NOT BE "STOP AND DRAIN", "STOP AND WASTE", OR "WEEP HOLE" TYPE HYDRANTS.
- IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
- FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
- FDC LOCATIONS SHALL BE IN ACCORDANCE W/ CFD REQUIREMENTS.
- FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.
- CONTRACTOR SHALL FLUSH ALL ONSITE STORM DRAINAGE AND HAUL OFF ALL ACCUMULATED MATERIAL AT COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROTECT DOWN STREAM PROPERTIES AND BMP INSTALLATIONS FROM EXCESSIVE SEDIMENT ACCUMULATION. UPON COMPLETION OF CLEANING, CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION TO OWNER AND REQUEST INSPECTION OF PROJECT BY ENGINEER FOR FINAL INSPECTION.

SITE DATA

TAX MAP NO:	175-183-01, 175-183-02, 175-183-36
ZONING:	UR-2 CD (ZONING PETITION 2017-053)
SITE AREA:	0.82 AC (35,573 SF) BEFORE ROW DEDICATION 0.79 AC (34,238 SF) AFTER ROW DEDICATION
TOWNHOME AREA: SINGLE FAMILY LOT:	0.55 AC (23,868 SF) AFTER ROW DEDICATION 0.24 AC (10,370 SF) AFTER ROW DEDICATION
PROPOSED USE:	FOR SALE SINGLE FAMILY ATTACHED TOWNHOMES (SOUTH LOT) FOR SALE SINGLE FAMILY DETACHED HOME (NORTH LOT)
UNITS ALLOWED:	6 FOR SALE SINGLE FAMILY ATTACHED TOWNHOMES 1 FOR SALE SINGLE FAMILY DETACHED HOME
PROPOSED UNITS:	6 FOR SALE SINGLE FAMILY ATTACHED (TOWNHOMES) 1 FOR SALE SINGLE FAMILY DETACHED HOME
PARKING REQUIRED:	12 SPACES (2 SPACES PER DWELLING UNIT FOR TOWNHOMES)
PARKING PROVIDED:	12 INTERNAL GARAGE SPACES 2 STANDARD PARKING SPACES 14 TOTAL PROVIDED SPACES (2.33 SPACES PER UNIT)
BIKE PARKING:	NONE
IMPERVIOUS AREA:	0.35 AC. (15,543 SF)
SETBACK:	14' FROM EXISTING BACK OF CURB (REECE ROAD) 23' FROM EXISTING BACK OF CURB (PARK ROAD, FOR SINGLE FAMILY ATTACHED HOMES) 40' FROM FUTURE BACK OF CURB ALONG PARK ROAD (SINGLE FAMILY DETACHED HOME)
SIDE YARD:	5'
REAR YARD:	15' (ADJACENT TO PARCEL #175-183-03) 10'
BUILDING HEIGHT ALLOWED: TOWNHOMES:	40' TOP OF PARAPET WALLS (46' TOP OF HEADHOUSES) (3 STORIES WITH ROOFTOP TERRACES)
SINGLE FAMILY HOME:	40' (3 STORIES)
BUILDING HEIGHT PROPOSED: TOWNHOMES:	SEE ARCHITECTURAL ELEVATIONS, SHEET A4.0 FOR FURTHER DETAIL (3 STORIES WITH ROOFTOP TERRACES)
SINGLE FAMILY HOME:	40' MAXIMUM (3 STORIES MAX.)
TRASH PICK UP REQUIRED:	INDIVIDUAL UNIT - CURBSIDE PICKUP ALONG PARK AND REECE
RECYCLE PICK UP REQUIRED:	INDIVIDUAL UNIT - CURBSIDE PICKUP ALONG PARK AND REECE
FLOOR AREA RATIO REQUIRED:	1.0 MAXIMUM
FLOOR AREA RATIO PROVIDED:	0.79 (AFTER RIGHT OF WAY DEDICATION)
ESTIMATE TIME OF COMPLETION:	2018

CONSULTANTS:

DEVELOPER:	HOPPER COMMUNITIES 229 E. KINGSTON AVENUE CHARLOTTE, NC 28203 704.805.4802
ARCHITECT:	FMK ARCHITECTS 123 NEW BERN STREET CHARLOTTE, NC 28203 704.375.9950
LANDSCAPE ARCH.:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608
CIVIL ENGINEER:	DESIGN RESOURCE GROUP, PA 2459 WILKINSON BOULEVARD SUITE 200 CHARLOTTE, NC 28208 704.343.0608
SURVEYOR:	ON POINT SURVEYING 2110 STATON ROAD MARSHVILLE, NC 28103 980.328.8500

SHEET SCHEDULE

C0.00	COVER SHEET
R21.0	REZONING PLAN
R22.0	REZONING ELEVATIONS
R22.1	REZONING ELEVATIONS
C1.00	SURVEY
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	EROSION CONTROL PHASE I
C3.01	EROSION CONTROL PHASE II
C3.02	EROSION CONTROL NOTES
C4.00	GRADING PLAN
C4.10	STORM DRAINAGE PLAN
C4.11	DRAINAGE AREA PLAN
C5.00	OVERALL UTILITY PLAN
C6.00	REQUIRED PLANTING PLAN
C7.00	ISD PLAN AND PROFILE
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C9.00	CIVIL DETAILS
C9.01	CIVIL DETAILS
A4.0	ARCHITECTURAL ELEVATIONS

COVER SHEET

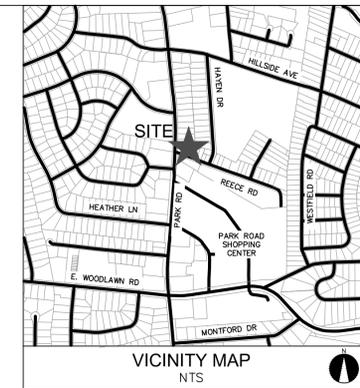
SCALE:

PROJECT #: 598-004
DRAWN BY: NK
CHECKED BY: NB

DECEMBER 15, 2017

REVISIONS:

C0.00

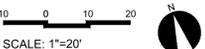


CONSTRUCTION
DOCUMENTS

PARK AND REECE
CHARLOTTE, NC



SITE PLAN



PROJECT #: 598-004
DRAWN BY: NK
CHECKED BY: NB

DECEMBER 15, 2017

REVISIONS:

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ESTIMATE TIME OF COMPLETION:	2018

- GENERAL NOTES:**
- MINIMUM 400 SF OF PRIVATE OPEN SPACE REQUIRED FOR EACH SINGLE FAMILY ATTACHED TOWNHOME.
 - ALL PROPOSED UTILITIES WILL BE UNDERGROUND.
 - IF BUILDING HEIGHT EXCEEDS 40' SITE MUST COMPLY WITH TABLE 9.406(2)(A) OF THE ZONING ORDINANCE.
 - MINIMUM BUILDING SEPARATION SHALL BE NO LESS THAN 10'.

SYMBOL	QTY.	MANUF./CAT. NO.	NOTE
*	2	12" PEDESTRIAN LIGHT POLE BY DUKE ENERGY DELUXE ACORN 100 WATT HPS	PRELIMINARY PEDESTRIAN SCALE LIGHT. FINAL LOCATION AND PHOTOMETRICS TO BE DETERMINED BY DUKE ENERGY. ALL LIGHT SPECIFICATIONS SHALL COMPLY WITH CITY OF CHARLOTTE STANDARDS

- LIGHTING NOTES:**
- LIGHTING TO BE FULLY CAPPED AND SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.
 - THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE, INCLUDING ITS BASE, SHALL NOT EXCEED 16 FEET.
 - CONTRACTOR TO COORDINATE FOOTING, FEEDS AND OTHER DUKE REQUIRED ITEMS RELATING TO LIGHT POLES DURING CONSTRUCTION

