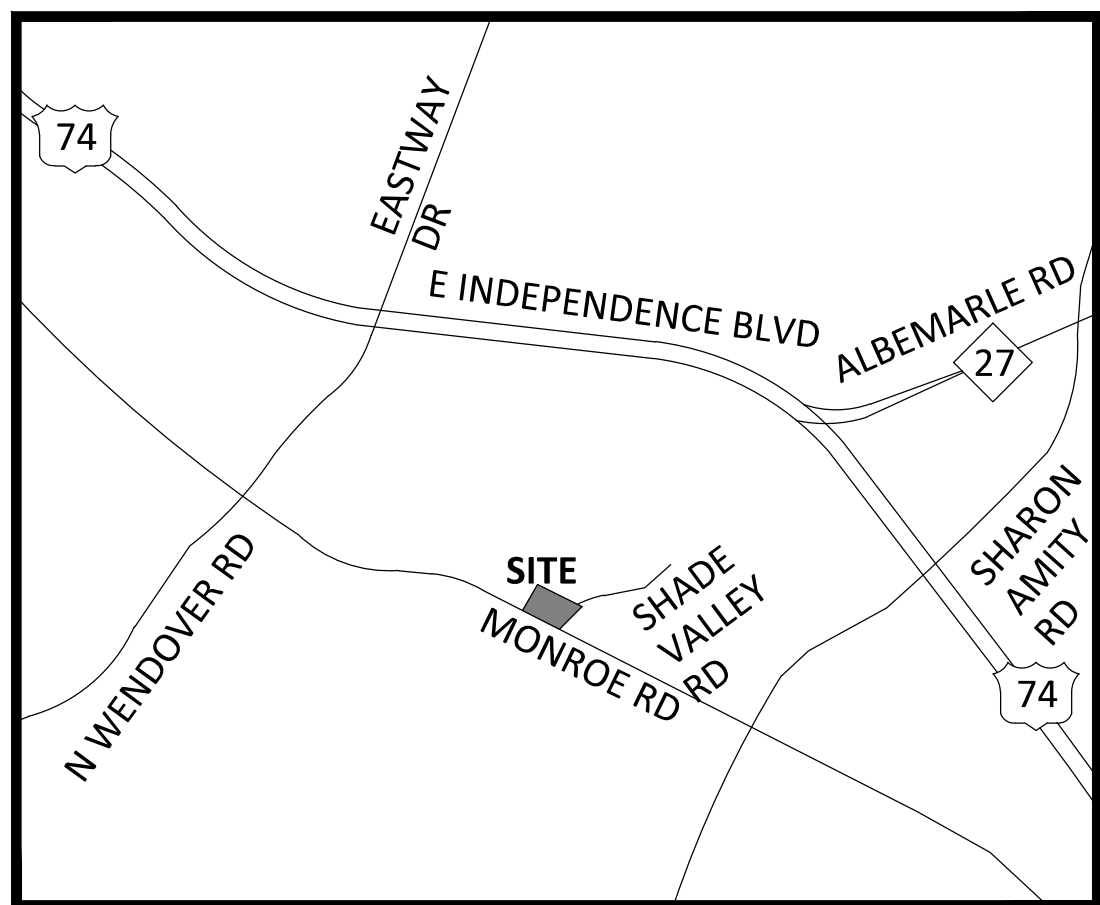
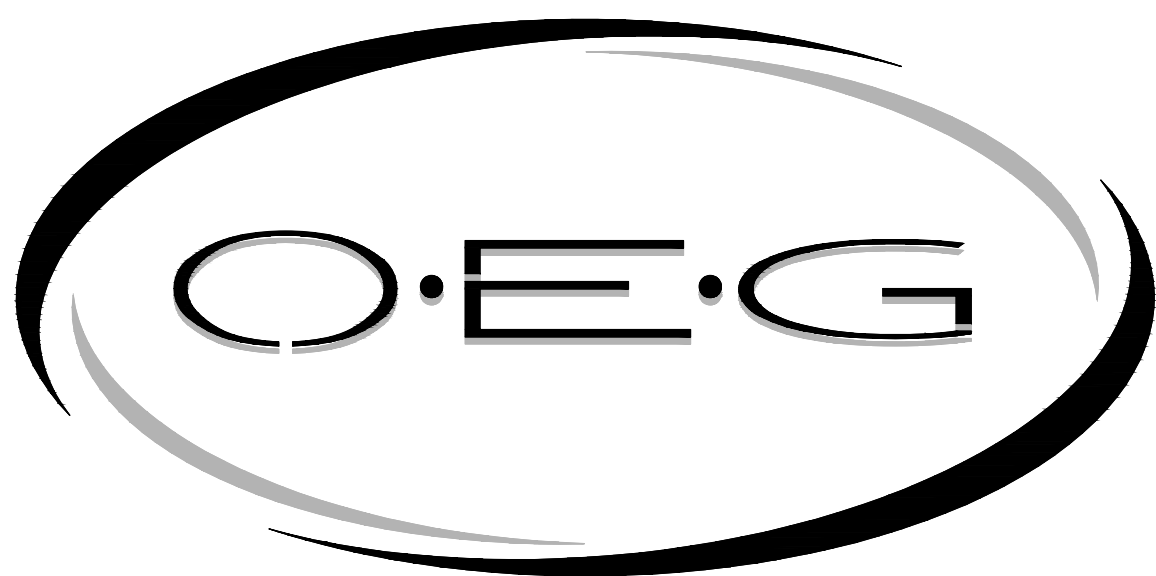


OAKHURST SQUARE

CHARLOTTE, NORTH CAROLINA



VICINITY MAP
NOT TO SCALE



ORSBORN ENGINEERING GROUP
610 EAST MOREHEAD STREET, SUITE 106
CHARLOTTE, NC 28202
P) 704-749-1432 • F) 704-749-1433

SHEET INDEX

- C0.1 REZONING PLAN - FOR INFORMATION ONLY
- C0.2 REZONING PLAN - FOR INFORMATION ONLY
- C0.3 REZONING PLAN - FOR INFORMATION ONLY
- C0.4 REZONING PLAN - FOR INFORMATION ONLY
- C1.1 EXISTING CONDITIONS
- C1.2 DEMOLITION PLAN
- C2.0 OVERALL SUBDIVISION PLAN
- C2.1 ENLARGED SITE PLAN
- C2.2 PUBLIC ROAD PROFILE
- C2.3 OAKHURST COMMONS DRIVE CROSS SECTIONS
- C2.4 OAKHURST COMMONS DRIVE CROSS SECTIONS
- C2.5 OAKHURST COMMONS DRIVE CROSS SECTIONS
- C2.6 WOONSOCKET LANE CROSS SECTIONS
- C2.7 WOONSOCKET LANE CROSS SECTIONS
- C2.8 SIGHT DISTANCE PLAN - MONROE RD
- C2.8A SIGHT DISTANCE PLAN - CHIPPENDALE RD
- C2.9 TRAFFIC CONTROL PLAN
- C2.10 SITE DETAILS
- C2.11 SITE DETAILS

- C3.0 OVERALL GRADING & DRAINAGE PLAN
- C3.1 ENLARGED GRADING & DRAINAGE PLAN
- C3.2 GRADING & DRAINAGE DETAILS
- C3.3 STORM PROFILES
- C3.4 STORM PROFILES
- C4.0 OVERALL UTILITY PLAN
- C4.1 ENLARGED UTILITY PLAN
- C4.2 UTILITY DETAILS
- C4.3 UTILITY DETAILS
- C4.4 SANITARY SEWER PROFILES
- C5.1 EROSION CONTROL PLAN - PHASE 1
- C5.2 EROSION CONTROL PLAN - PHASE 2
- C5.3 EROSION CONTROL DETAILS
- L1.1 PLAZA PLAN
- L3.1 PLAZA DETAILS
- L3.2 PLAZA DETAILS
- L3.3 PLAZA DETAILS
- L4.1 LANDSCAPE PLAN
- L4.2 LANDSCAPE DETAILS



FINAL APPROVAL

PROJECT NUMBER: SDRC-2018-00011

ENGINEERING
PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

Isaiah Washington

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED
By Jack Fulghum at 11:11 am, May 16, 2018

APPROVED

APPROVED

APPROVED

APPROVED FOR
CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 5-16-2018

ABBREVIATIONS

AC	ACRES
AC/FT	ACRE FOOT/FEET
ALT	ALTERNATE
APPROX	APPROXIMATE
ASPH	ASPHALT
AVE	AVENUE
AVG	AVERAGE
BFP	BACKFLOW PREVENTER
BL	BASIN
BLDG	BUILDING
BLVD	BOULEVARD
BM	BENCHMARK
BO	BLOWOFF
BOC	BACK OF CURB
BOT	BOTTOM
CATV	CABLE TELEVISION
CB	CATCH BASIN
CDOT	CHARLOTTE DEPARTMENT OF TRANSPORTATION
CF	CUBIC FEET
C&G	CURB AND GUTTER
CJ	CONSTRUCTION JOINT
CLDSM	CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCT(ON)
CY	CUBIC YARD
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DI	DROP INLET
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
DWG	DRAWING
E	EAST
ELEC	ELECTRIC
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EQUIP	EQUIPMENT
EW	EACH WAY
EXIST	EXISTING
EJ	EXPANSION JOINT
FG	FINISHED GRADE
FH	FIRE HYDRANT
FM	FORCE MAIN
FT	FOOT/FEET
GALV	GALVANIZED
OV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HW	HEADWALL
HWY	HIGHWAY
HORIZ	HORIZONTAL
ID	INSIDE DIAMETER
IN	INCHES
INV	INVERT
JB	JUNCTION BOX
JCT	JUNCTION
L	LENGTH
LB	POUND
LF	LINEAR FOOT/FEET
LP	LIGHT POLE
LT	LEFT
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
MPH	MILES PER HOUR
N	NORTH
NIC	NOT IN CONTRACT
NO OR #	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OCS	OUTLET CONTROL STRUCTURE
OD	OUTSIDE DIAMETER
OEG	ORSBORN ENGINEERING GROUP
OVHD	OVERHEAD
PED	PEDESTAL
PI	POINT OF INTERSECTION
P/L	PROPERTY LINE
POB	POINT OF BEGINNING
PP	POWER POLE
PROJ	PROJECT
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
REQD	REQUIRED
REV	REVISION
RJP	RESTRAINED JOINT PIPE
RR	RAILROAD
RT	RIGHT
R/W	RIGHT-OF-WAY
S	SOUTH
SAN	SANITARY SEWER
SCH	SCHEDULE
SECT	SECTION
SPEC	SPECIFICATION
STD	STANDARD
STS	STORM SEWER
TC	TIME OF CONCENTRATION
TCE	TEMPORARY CONSTRUCTION EASEMENT
TDH	TOTAL DYNAMIC HEAD
TEMP	TEMPORARY
TOB	TOP OF BANK
TOC	TOP OF CURB
TYP	TYPICAL
UD	UNDERDRAIN
UG	UNDERGROUND
VERT	VERTICAL
YR	YEAR
&	AND
@	AT
Δ	DELTA



03/15/18 03/22/18

JOB # 17019 DATE: 02/02/18

COVER C0.0

ZONING CODE SUMMARY

PROJECT NAME: OAKHURST SHOPPING CENTER
PROJECT ADDRESS: 4731 MONROE ROAD CHARLOTTE NC 28205 TAX PARCEL: 16104344 & 16105221
OWNER: LAKE CITY TRACTOR SUPPLY LLC PHONE # (704)-376-8000
OWNER ADDRESS: 122 CHEROKEE RD, SUITE 2, CHARLOTTE, NC 28207
PLANS PREPARED BY: ORSBORN ENGINEERING GROUP PHONE # (704) 749-1432
ZONING: NS (PETITION #2010-042) JURISDICTION: CITY OF CHARLOTTE
PROPOSED USE: RETAIL
AVERAGE BUILDING HEIGHT: — FEET STORIES: 1
BUILDING COVERAGE: 26,400 SQ. FT. GROSS FLOOR AREA: 26,400 SQ.FT. RATIO: 0.18:1
LOT SIZE: 2.03 SQ. FT./ACRES NUMBER OF BUILDINGS: 4
YARD REQUIREMENTS: REQUIRED BUFFERS:
SETBACK (FRONT): 16 FT. FROM B.O.C. FRONT: (NO) / YES — FT.
SETBACK (SIDE): — FT. REAR: (NO) / YES — FT.
SIDE YARD: — FT. SIDE (L): (NO) / YES — FT.
REAR YARD: — FT. SIDE (R): (NO) / YES — FT.

REQUIRED SCREENING:
FRONT: (NO) / YES
REAR: (NO) / YES
SIDE (L): (NO) / YES
SIDE (R): (NO) / YES
PARKING ONLY: NO / (YES)
IMPERVIOUS COVERAGE: 75,748 (SQ. FT) / ACRES
INTERIOR LANDSCAPING:
REQUIRED: 7,575 SQ. FT.,
PROVIDED: 12,600 SQ. FT.
PARKING DATA:
AUTOMOBILE:
REQUIRED: 1 SPACE/ 150SF (RESTAURANT) & 1 SPACE/ 600SF (ALL OTHER)
PROVIDED: 10,000SF RESTAURANT x 1 SPACE/150SF = 67 SPACES
16,400SF OTHER USE x 1 SPACE/600SF = 27 SPACES
93 TOTAL SPACES PROVIDED (INCLUDING 4 HANDICAP, 2 VAN ACCESSIBLE)
BICYCLE:
SHORT TERM: 5 REQUIRED, 6 PROVIDED
LONG TERM: 4 REQUIRED, 4 PROVIDED
LOADING: (2) 10'x50' SPACES REQUIRED, (2) 10'x50' SPACES PROVIDED
SOLID WASTE:
NO ON-SITE SOLID WASTE FACILITIES PROPOSED. OFFICE WASTE
WILL BE REMOVED BY CLEANING CONTRACTOR.

SITE LIGHTING:
POLE MOUNTED SITE LIGHTING IS NOT PROPOSED.
REFER TO ELECTRICAL PLANS FOR BUILDING MOUNTED LIGHTING.
SITE NOTES
1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A SURVEY PREPARED BY A.G. ZOUTWELLE
2. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY)
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
4. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
5. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
6. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
7. ANY BUILDING WITHIN THE 100+1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
8. ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
9. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
10. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
11. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
12. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT <http://www.charmeck.org/Departments/Transportation/Street+Maintenance/home.htm>
13. SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
14. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRED A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
15. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.
16. RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348.
17. PER SECTION 18-175(a) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENT (PCE) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
18. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING BENCHMARKS AND OTHER REFERENCE POINTS THROUGHOUT THE CONSTRUCTION PERIOD.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL CONSTRUCTION ELEMENTS. ALL DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY.
20. DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE SHOWN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
21. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
22. ALL IMPROVEMENTS AND WORK SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE STATE AND LOCAL STANDARDS. IN THE ABSENCE OF SPECIFIC PRODUCT SPECIFICATIONS OR CONSTRUCTION PROCEDURE, CONTRACTOR SHALL REFER TO THE 2012 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND SHALL SUBMIT THE DETAIL/SPECIFICATIONS TO THE ENGINEER FOR APPROVAL.
23. IF A CONFLICT EXISTS BETWEEN SPECIFICATIONS ON THESE PLANS, SPECIFICATIONS REFERENCED ON THESE PLANS, DETAILS ON THESE PLANS, AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR WILL BE HELD TO THE STRICTER SPECIFICATION.

24. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERMIT FENCING AS APPROVED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
25. ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY NCDOT AND CDOT.
26. UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS SHALL BE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1205.
27. UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
28. CONTRACTOR SHALL VERIFY THAT ALL REQUIRED ENCROACHMENT PERMITS ARE IN PLACE BEFORE WORKING IN ANY EASEMENTS AND RIGHT-OF-WAYS. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE ENCROACHMENT DOCUMENTS. CONTRACTOR SHALL CONTACT BOB STALEY WITH CDOT AT 704-432-1562 PRIOR TO CONSTRUCTION TO OBTAIN THE NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.
29. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO DRIVEWAY PERMITS AND "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND CONSTRUCTION DOCUMENTS TO ENGINEER AND OWNER.
30. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
31. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
32. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
33. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
34. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
35. CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITY AND IRRIGATION BEING INSTALLED AFTER PAYING OPERATIONS COMMENCE. COORDINATE WITH EACH UTILITY AND IRRIGATION INSTALLER FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED.
36. CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. PRIOR TO CONSTRUCTION.
37. ALL WALKS AND OTHER PAVED AREAS SHALL COMPLY WITH ADA CODE FOR LONGITUDINAL SLOPE AND CROSS SLOPE. WALK SLOPES SHALL NOT EXCEED 5%, AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
38. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

24. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE IN A MANNER SUCH THAT WORKERS, OWNER REPRESENTATIVES, AND THE GENERAL PUBLIC IS PROTECTED FROM HARM. CONTRACTOR MAY INSTALL TEMPORARY PERMIT FENCING AS APPROVED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO INSTALLATION OF FENCING.
25. ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY NCDOT AND CDOT.
26. UNLESS OTHERWISE INDICATED, ALL PAVEMENT MARKINGS SHALL BE PAINT INSTALLED PER NCDOT STD. SPEC. SECTION 1205.
27. UNLESS OTHERWISE INDICATED, PARKING STALLS SHALL BE 4" WHITE LINES.
28. CONTRACTOR SHALL VERIFY THAT ALL REQUIRED ENCROACHMENT PERMITS ARE IN PLACE BEFORE WORKING IN ANY EASEMENTS AND RIGHT-OF-WAYS. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE ENCROACHMENT DOCUMENTS. CONTRACTOR SHALL CONTACT BOB STALEY WITH CDOT AT 704-432-1562 PRIOR TO CONSTRUCTION TO OBTAIN THE NECESSARY PERMITS FOR ANY CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.
29. CONTRACTOR SHALL ADHERE TO ALL CONDITIONS AND PROVISIONS OF THE PROJECT PERMITS AND APPROVALS INCLUDING BUT NOT LIMITED TO DRIVEWAY PERMITS AND "APPROVED AS NOTED" COMMENTS. CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN CONDITIONS/PROVISIONS AND CONSTRUCTION DOCUMENTS TO ENGINEER AND OWNER.
30. THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
31. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
32. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
33. TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
34. BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
35. CONTRACTOR SHALL INSTALL PVC SLEEVES UNDER PAVED AREAS FOR UTILITY AND IRRIGATION BEING INSTALLED AFTER PAYING OPERATIONS COMMENCE. COORDINATE WITH EACH UTILITY AND IRRIGATION INSTALLER FOR NUMBER OF SLEEVES, LOCATION, AND SIZE REQUIRED.
36. CONTRACTOR SHALL REVIEW COMPLETE SET OF PLANS FOR COORDINATION BETWEEN CIVIL, ARCHITECTURAL, LANDSCAPE, MEP, ETC. PRIOR TO CONSTRUCTION.
37. ALL WALKS AND OTHER PAVED AREAS SHALL COMPLY WITH ADA CODE FOR LONGITUDINAL SLOPE AND CROSS SLOPE. WALK SLOPES SHALL NOT EXCEED 5%, AND SHALL NOT EXCEED 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
38. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

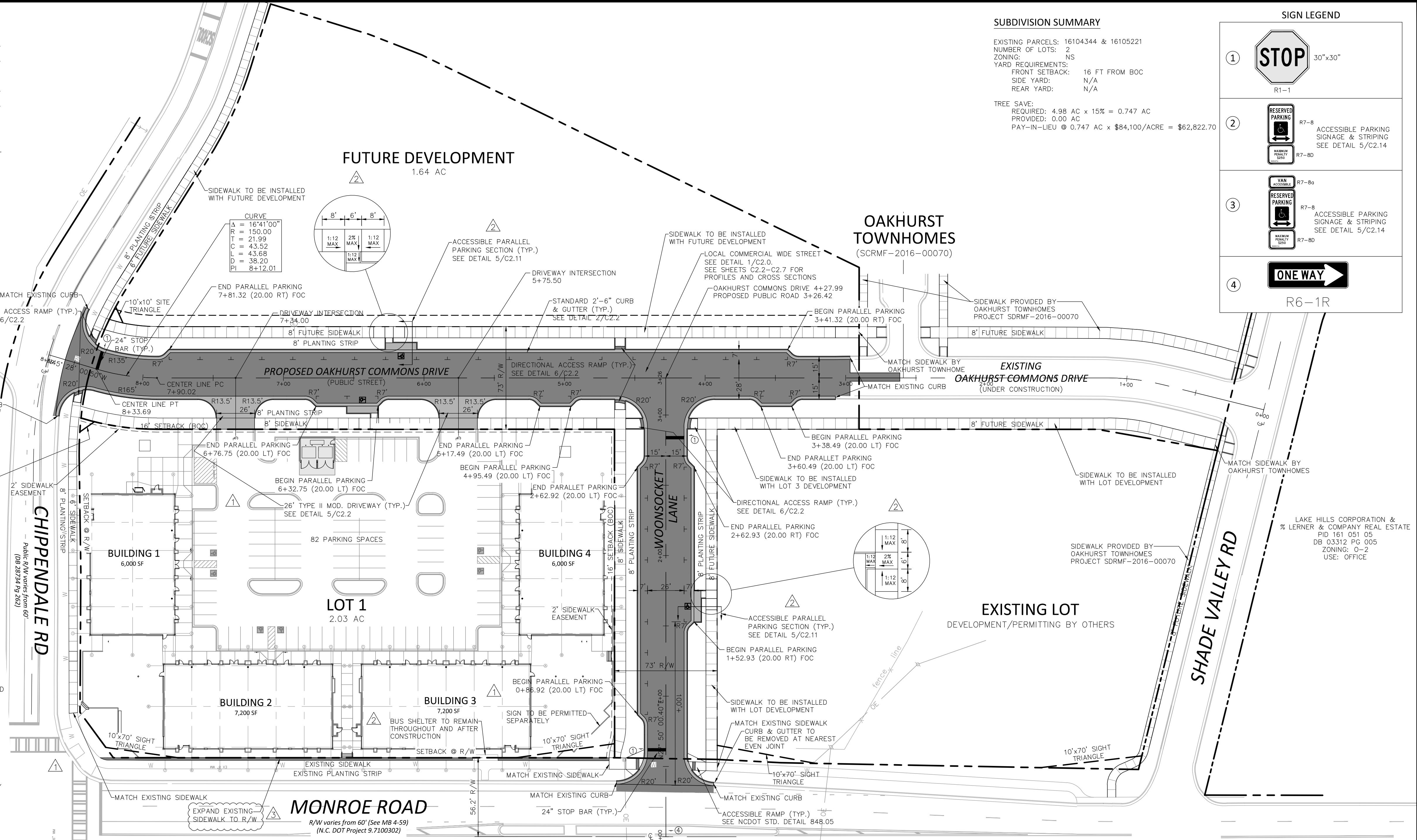
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY ORSBORN ENGINEERING GROUP, PA SHALL BE WITHOUT LIABILITY TO ORSBORN ENGINEERING GROUP, PA.

FUTURE DEVELOPMENT

1.64 AC

OAKHURST TOWNHOMES

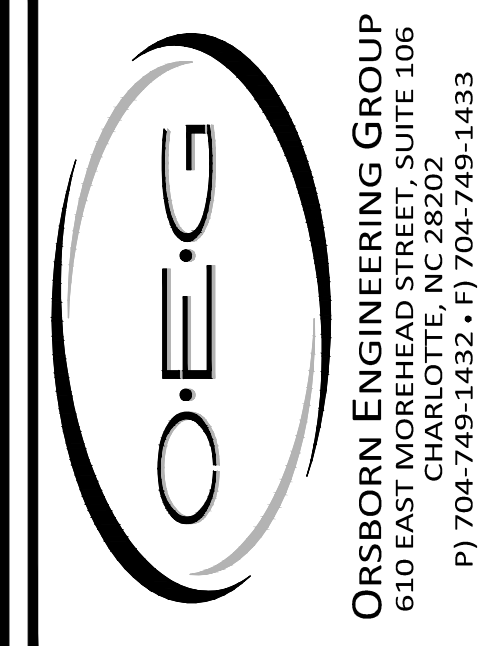
(SCRMF-2016-00070)



PCCO SUMMARY	
ORIGINAL PARCEL ID NUMBER	
DEVELOPMENT TYPE:	RETAIL
SUBJECT TO PCCO? Y/N	YES
IF NO, WHY?	
WATERSHED:	CENTRAL CATAWBA
DISTURBED AREA (AC):	5.32 AC
SITE AREA (AC):	4.98 AC
TOTAL ON-SITE AREA (AC):	4.98 AC *
EXISTING BUILT-UPON-AREA (SF):	0 SF
EXISTING BUA TO BE REMOVED (SF):	0 SF
EXISTING BUA TO REMAIN (SF):	0 SF
PROPOSED NEW BUA (SF):	118,001 SF
PROPOSED % BUA	54.4%
DENSITY (HIGH/LOW)	HIGH
TOTAL POST-PROJECT BUA FOR SITE:	118,001 SF
DEVELOPMENT OR REDEVELOPMENT?	DEVELOPMENT
NATURAL AREA REQUIRED (AC):	0 SF
NATURAL AREA PROVIDED (AC):	0 SF
TOTAL STREAM BUFFER PROTECTED	
ON-SITE (AC):	0
TRANSIT STATION AREA? Y/N	NO
DISTRESSED BUSINESS DISTRICT? Y/N	YES
MITIGATION TYPE (IF APPLICABLE)	N/A
NATURAL AREA MITIGATION? Y/N	1YR VOL/10YR PEAK
BUFFER MITIGATION? Y/N	NO
TOTAL PHOSPHOROUS MITIGATION? Y/N	NO

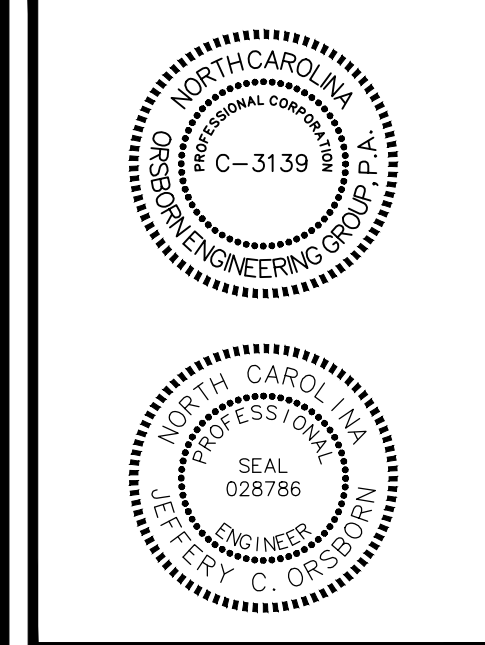
* INCLUDES FUTURE DEVELOPMENT AREA, PROPOSED PUBLIC STREETS, & LOT 1

SIGN LEGEND	
1	STOP 30"x30" R1-1
2	RESERVED PARKING R7-8 ACCESSIBLE PARKING SIGNAGE & STRIPING SEE DETAIL 5/C2.14 R7-80
3	VAN RESERVED PARKING R7-80 R7-8 ACCESSIBLE PARKING SIGNAGE & STRIPING SEE DETAIL 5/C2.14 R7-80
4	ONE WAY R6-1R



OVERALL SUBDIVISION PLAN FOR OAKHURST SQUARE CHARLOTTE, NC 28205

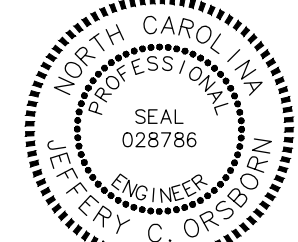
LAKE CITY TRACTOR SUPPLY, LLC. 122 CHEROKEE ROAD, SUITE 2 CHARLOTTE, NC 28207



REVISIONS	DATE	REVISIONS
1	05/07/18	REVISED PER COMMENTS
2	03/22/18	REVISED PER COMMENTS
3	03/15/18	MISCELLANEOUS SITE COORDINATION
4		
5		
6		
7		
8		
9		
10		

JOB #	17019
DATE:	02/02/18
SCALE:	1" = 40'
DRAWN BY:	BAO
APPROVED BY:	JCO
C2.0	

May 08, 2018, 8:14am By: JCO
P:\17019 Oakhurst Shopping Center\DWG\17019 C2.0 SITE.DWG

[illegible]

JOB #	17019
DATE:	02/02/18
SCALE:	1" = 20'
DRAWN BY:	BAO
APPROVED BY:	JCO

C2.1



THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY ORSBORN ENGINEERING GROUP, PA SHALL BE WITHOUT LIABILITY TO ORSBORN ENGINEERING GROUP, PA.