



FINAL APPROVAL

PROJECT NUMBER:

SDRMF-2018-00010

ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM FOUND AT <http://charlottenc.gov/ld>

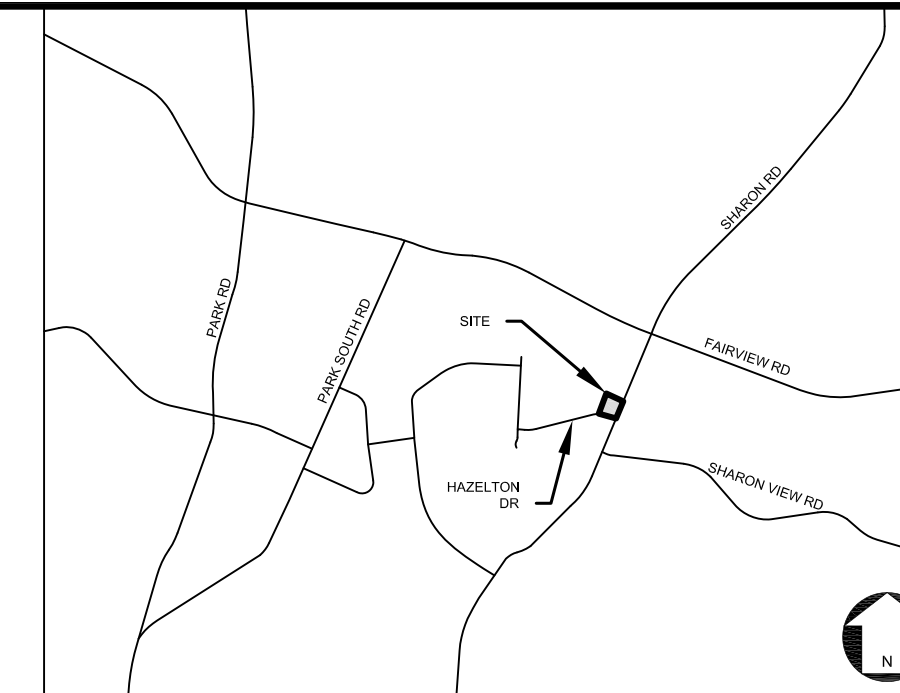
APPROVED

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PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
JENNIFER FRIXEN 05/07/2018



SCALE: NTS

VICINITY
MAP

HAZELTON DRIVE	
Sheet Number	Sheet Title
L-001	COVER PAGE
L-101	EXISTING CONDITIONS & DEMOLITION PLAN
L-102	SITE PLAN
L-103	LANDSCAPE PLAN
L-200	GRADING PLAN
L-300	EROSION CONTROL PLAN
L-400	UTILITY PLAN
L-500	DETAILS
L-501	DETAILS
L-600	ISD PLAN

Appendix - Hazelton Drive
Rezoning Petition

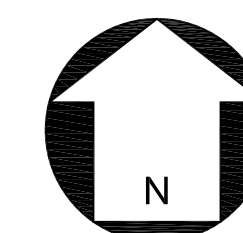
Sheet Number	Sheet Title
RZ-1	TECHNICAL DATA SHEET
RZ-2	SCHEMATIC SITE PLAN
RZ-3	BUILDING ELEVATIONS

NOTE:

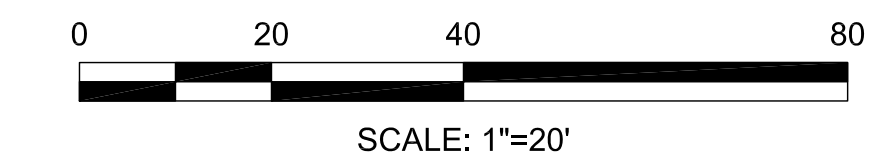
THE SITE PLAN SHOWN ON THE COVER IS FOR
GENERAL REFERENCE. SEE SHEET L-101 FOR
ADDITIONAL SITE DATA AND PLAN INFORMATION.

SHARON ROAD

HAZELTON DRIVE

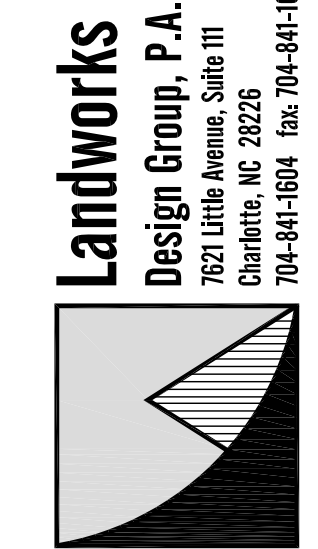


This Plan Is A
Preliminary Design.
NOT Released For
Construction.



REVISIONS:

No.	Date	By	Description



LAURELWOOD TOWNES
6521-6527 HAZELTON DR.
CHARLOTTE, NC
SOP HOLDINGS, LLC

COVER PAGE

seals



Project Manager: MDL

Drawn By: SCJ

Checked By: MDL

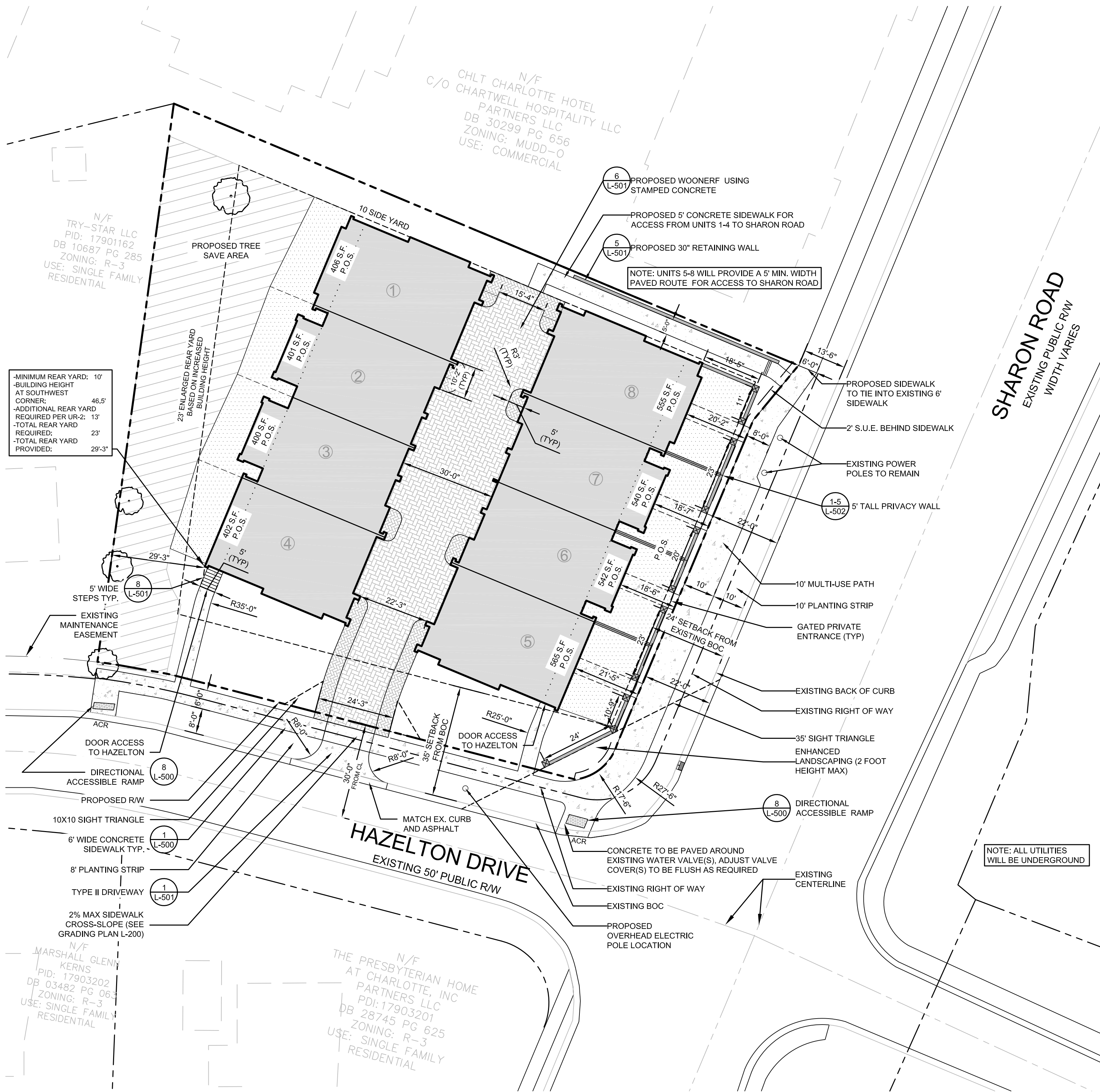
Date: 4/24/18

Project Number: 16037

Sheet Number:

L-001

SHEET # 1 OF 10



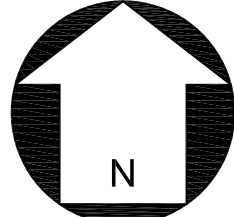
GENERAL NOTES

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT OF WAY.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR
- APPROXIMATE TIME OF ESTIMATED COMPLETION OF INFRASTRUCTURE: 6 MONTHS
- TRASH WILL BE HANDLED WITH ROLLOUT CONTAINERS, TO BE SET IN THE PLANTING STRIP IN PUBLIC R.O.W. FOR DISPOSAL.
- ALL ROAD IMPROVEMENTS AT HAZELTON DRIVE & SHARON ROAD ARE TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD CONDITIONS.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL UTILITIES WILL BE UNDERGROUND
- TOWNHOMES WILL BE 3-STORY MAX.
- WOONERF WILL BE CAPABLE OF SUPPORTING 80,000 POUNDS
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY).
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60 - 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS.
- CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ: 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY, FOR THIS PROJECT. COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.
- NO SITE LIGHTING PROPOSED. DECORATIVE, ARCHITECTURAL LIGHTING ONLY ON BUILDINGS (SCONCES ON WALL, PORCH LIGHTS, ETC.)

PCCO SUMMARY	
Original Parcel ID Number(s):	17901164, 17901163
Development Type:	Multi-Family
Subject to PCCO? Y/N	N
If NO, why?	Below BUA/Disturbance Thresholds
Watershed:	Central Catawba
Disturbed Area (ac):	0.67
Site Area (ac):	0.725
	DA#1
Total on-site Drainage Area (ac):	0.18
Existing Built-upon-area (SF):	6610
Existing BUA to be removed (SF):	6610
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	19,861
Proposed % BUA:	63%
Density (High / Low)	HIGH
Total Post-Project BUA for site:	
Development or Redevelopment?	Development
Natural Area Required (ac):	0.11
Natural Area provided, total (ac):	0.11
Undisturbed Treed Natural Area Preserved (ac):	
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N

LEGEND

PROPOSED RIGHT OF WAY	PROPOSED WALL
EXISTING RIGHT-OF-WAY	PROPOSED BRICK PAVED WOONERF
PROPOSED SETBACK	PROPOSED PERMEABLE MODULAR PAVERS
EXISTING CUR AND GUTTER	PROPOSED PRIVATE OPEN SPACE
2' SIDEWALK UTILITY EASEMENT	PROPOSED CONCRETE SIDEWALK
ROAD CENTERLINE	PROPOSED TOWNHOME
EDGE OF INNER BUILDING	PROPOSED TREE SAVE AREA
PROPOSED POWER POLE RELOCATION	EXISTING TREE TO REMAIN
EXISTING ALUMINUM FENCE	
ACR	
S.U.E.	



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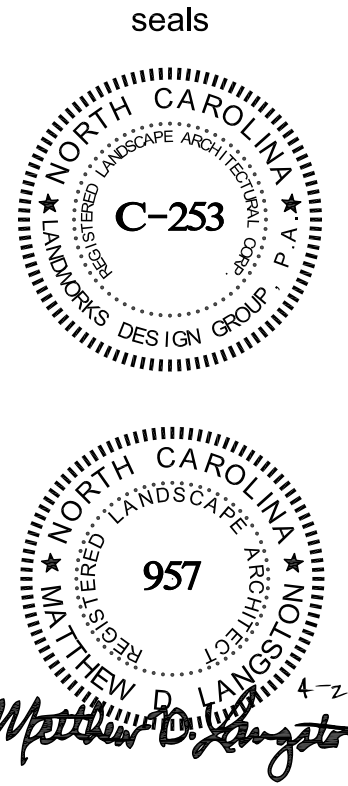
REVISIONS:			
No.	Date	By	Description

DEVELOPMENT DATA:	
TAX PARCEL ID:	17901164, 17901163
EXISTING SITE AREA:	±0.725 ACRES
EXISTING ZONING:	UR-2(CD)
ZONING PETITION:	2017-131
JURISDICTION:	City of Charlotte
EXISTING USE:	Residential
PROPOSED USE:	Single-Family attached Townhomes (For Sale)
UNITS ALLOWED:	Up to 8 Townhome Units
UNITS PROPOSED:	8 Units
DENSITY PROPOSED:	11.11 UNITS / AC
BUILDING FRONT YARD:	PER PLAN
BUILDING SIDE YARD:	10'
BUILDING REAR YARD:	20'
SETBACKS:	35' FROM EXISTING BACK OF CURB ON HAZELTON DRIVE 24' FROM EXISTING BACK OF CURB ON SHARON ROAD
PRIVATE OPEN SPACE:	400' SF MIN PER UNIT (THIS MAY INCLUDE PORTIONS OF TREE SAVE)
MAX. BUILDING HEIGHT:	47'
PROPOSED BUILDING HEIGHT:	47' MAX PER TABLE 9.406(2)(A) OF THE ZONING ORDINANCE, ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY ADDITIONAL TWO FEET IN DISTANCE THE PORTION OF THE BUILDING IS FROM THE REQUIRED SETBACK. SIDE, AND REAR YARD LINES LOCATED ALONG ALL BOUNDARY(S) ADJACENT TO A SINGLE FAMILY ZONING DISTRICT (To accommodate foundation wall height at southwest corner (Unit 4))
PARKING REQUIRED:	1.5 Spaces Per Unit
PARKING PROVIDED:	2 car attached garage at each unit Total= 16 spaces in garages
TREE SAVE REQUIRED:	15% ± 4,738 SF
MAX. FLOOR RATIO AREA:	1.0
PROP. FLOOR AREA RATIO:	1.0 MAX
WASTE MANAGEMENT:	ROLLOUT CONTAINER TO CURBSIDE OF HAZELTON DRIVE
BUILDING SEPARATION:	MIN. 10'
PROJECT TIMELINE:	START: Q1 2018 FINISH: Q2 2019 (SITEWORK)



LAURELWOOD TOWNES
6521-6527 HAZELTON DR.
CHARLOTTE, NC
SOP HOLDINGS, LLC

SITE PLAN



Project Manager: MDL

Drawn By: SCJ

Checked By: MDL

Date: 4/24/18

Project Number: 16037

Sheet Number:

L-102