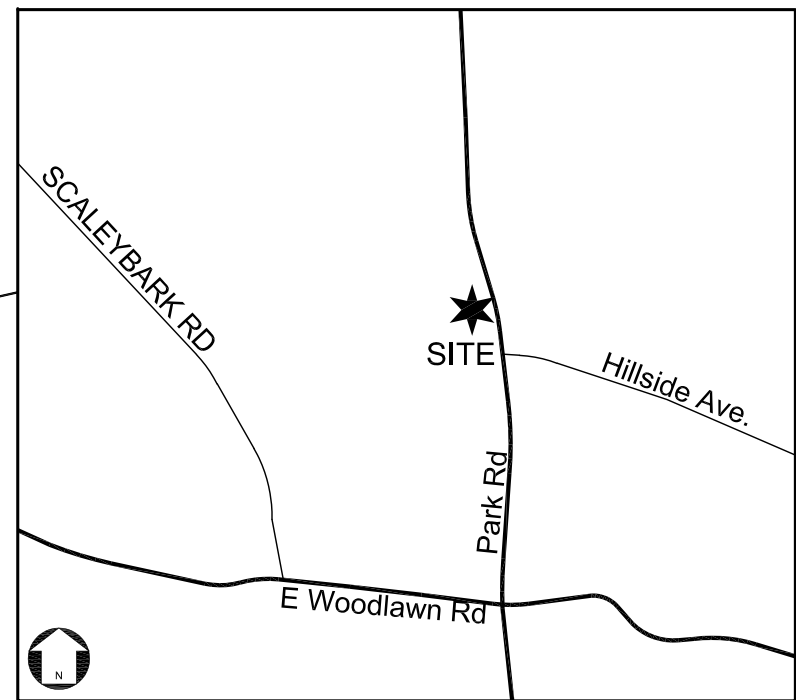
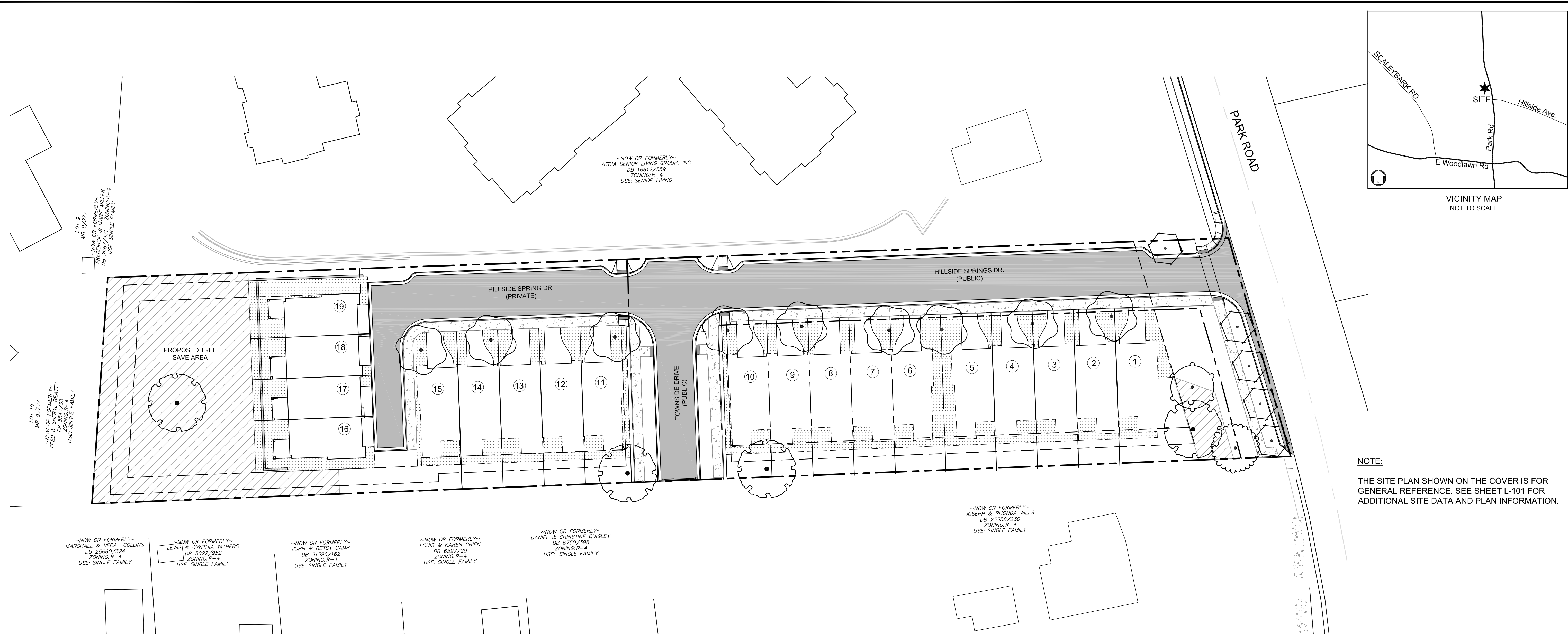


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VICINITY MAP
NOT TO SCALE

NOTE:

THE SITE PLAN SHOWN ON THE COVER IS FOR
GENERAL REFERENCE. SEE SHEET L-101 FOR
ADDITIONAL SITE DATA AND PLAN INFORMATION.



FINAL APPROVAL

PROJECT NUMBER: SDRMF-2017-00108

ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT
INCLUDE CHARLOTTE WATER. FOR MORE
INFORMATION, PLEASE CALL 704-336-5499
OR VISIT <http://charlottewater.org>

NOTE: THIS PLAN APPROVAL DOES NOT
INCLUDE COMMERCIAL ZONING. ALL BUILDING
PERMITS AND ZONING APPROVALS CAN BE
OBTAINED AT MECKLENBURG COUNTY CODE
ENFORCEMENT. PLEASE CALL CTAC AT
704-314-CODE(2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED

By Emily Chien at 4:29 pm, May 22, 2018

APPROVED

APPROVED

Craig Robinson

APPROVED

Isaiah Washington

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

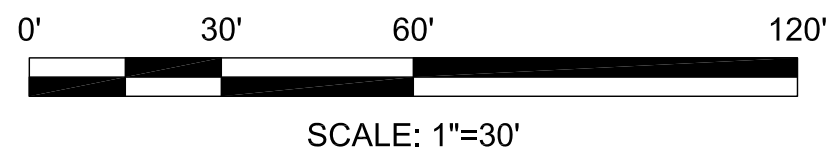
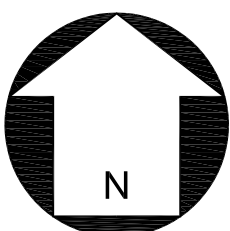
Jennifer Frixen 05/23/2018

Park Road Townhomes

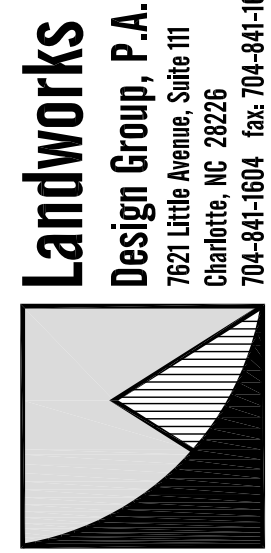
Sheet Number	Sheet Title
C-COV	COVER PAGE
1 OF 1	TOPOGRAPHIC SURVEY
C-100	EXISTING CONDITIONS & DEMOLITION PLAN
C-101	SITE PLAN
C-102	LANDSCAPE PLAN
C-200	GRADING & DRAINAGE PLAN
C-201	ROAD PROFILES
C-300	DRAINAGE AREA MAPS
C-300A	WATER QUALITY PLAN
C-301	SAND FILTER #1 DETAILS
C-400	EROSION CONTROL PLAN- PHASE I
C-401	EROSION CONTROL PLAN- PHASE II
C-500	DETAILS
C-501	DETAILS
C-502	DETAILS
C-503	DETAILS
C-600	TRAFFIC CONTROL PLANS
C-601	ISD PLANS
C-700	SCHEMATIC UTILITY PLAN
C-701	UTILITY DETAILS

Appendix - Park Road Townhomes
Rezoning Petition

Sheet Number	Sheet Title
RZ-1	TECHNICAL DATA SHEET
RZ-2	SCHEMATIC SITE PLAN
RZ-3	BUILDING ELEVATIONS



No.	Date	By	Description



HILLSIDE TOWNS
3620 PARK ROAD
CHARLOTTE, NC
CAROLINA COTTAGE HOMES, LLC

COVER PAGE

seals



Project Manager: MDL

Drawn By: SCJ

Checked By: MDL

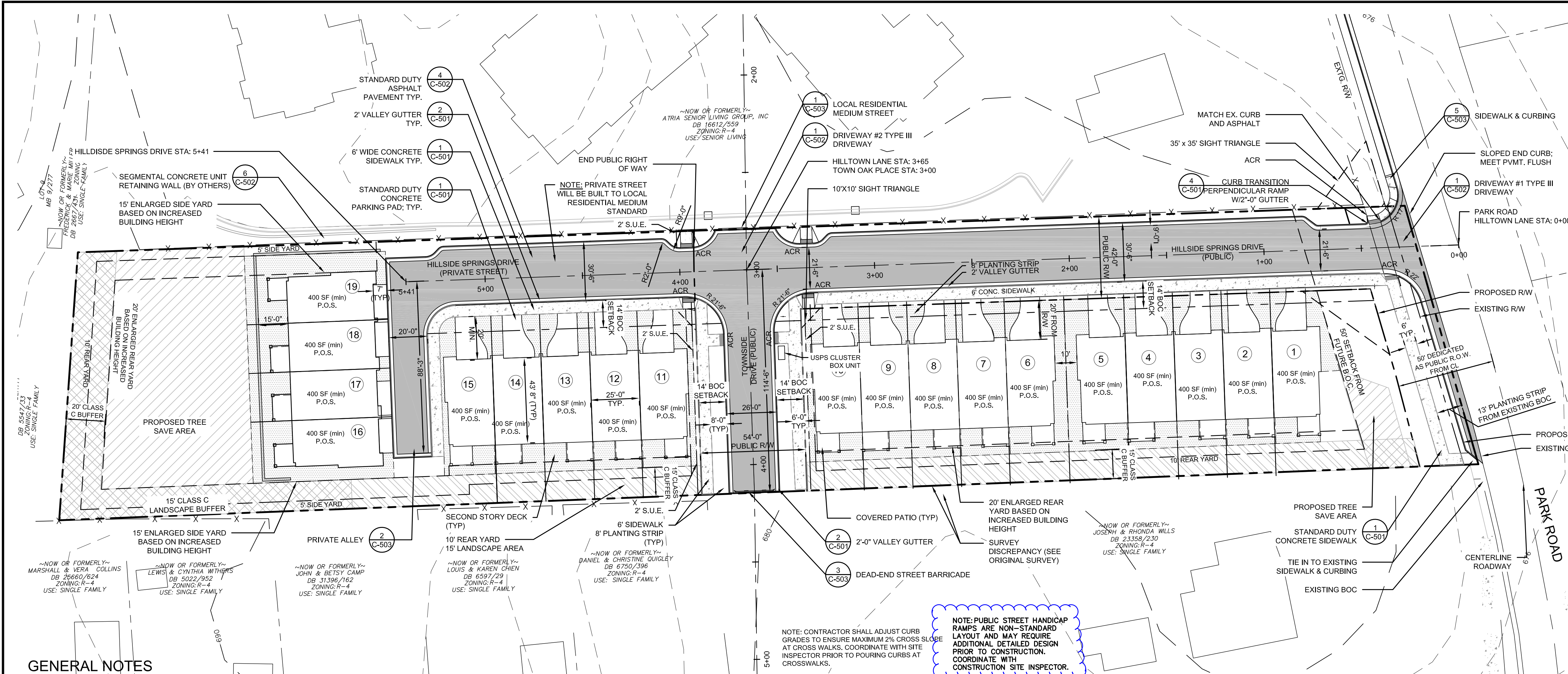
Date: 4/5/18

Project Number: 17062

Sheet Number:

C-COV

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GENERAL NOTES

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS, THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC RIGHT OF WAY.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR
- APPROXIMATE TIME OF ESTIMATED COMPLETION OF INFRASTRUCTURE: 6 MONTHS
- TRASH WILL BE HANDLED WITH ROLLOUT CONTAINERS. TO BE SET IN THE PLANTING STRIP IN PUBLIC R.O.W. FOR DISPOSAL.
- ALL ROAD IMPROVEMENTS AT PARK ROAD AND HILLSIDE SPRINGS DRIVE ARE TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- CURB AND GUTTER SHOWN ON PLANS MAY BE ADJUSTED BASED UPON FIELD CONDITIONS.
- PRIOR TO CO. SURVEYOR SEALED AS BUILT DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL UTILITIES WILL BE UNDERGROUND
- TOWNHOMES WILL BE 3-STORY MAX.
- ALL ALLEYS WILL BE CAPABLE OF SUPPORTING 80,000 POUNDS
- SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE, UNLESS APPROVED OTHERWISE BY THE CITY.
- DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY. FOR THIS PROJECT, COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.
- PARKING SHALL NOT BE PERMITTED ON RESIDENTIAL ALLEYS EXCEPT WHERE INDICATED.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05 (9" SIGNS ONLY).
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND / OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-8348) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60 - 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND / OR ANY REPAIR COST CAUSED BY THE CONTRACTOR / DEVELOPER.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE CONSTRUCT IMPROVMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF R/W CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562.
- DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.

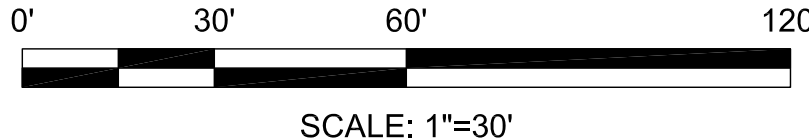
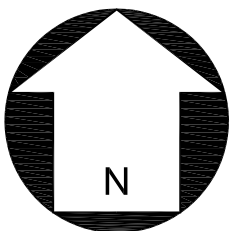
PCCO SUMMARY		
Original Parcel ID Number(s):	14914437	
Development Type:	Multi-Family	
Subject to PCCO? Y/N	Y	
If NO, why?	-- Click for Dropdown --	
Watershed:	Central Catawba	
Disturbed Area (ac):	1.83	
Site Area (ac):	2.19	
	DA#1	
Total on-site Drainage Area (ac):	1.91	
Existing Built-upon-area (SF):	2210	
Existing BUA to be removed (SF):	2210	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	52231	
Proposed % BUA:	54%	
Density (High / Low)	HIGH	
Total Post-Project BUA for site:		
Development or Redevelopment?	Development	
Natural Area Required (ac):	0.33	
Natural Area provided, total (ac):	0.33	
Undisturbed Treed Natural Area Preserved (ac):		
Total stream buffer protected on-site (ac):	0	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	

LEGEND

	PROPOSED STANDARD DUTY ASPHALT PAVEMENT		PROPOSED CONCRETE SEGMENTAL UNIT RETAINING WALL
	PROPOSED PRIVATE OPEN SPACE		PROPOSED TOWNHOME
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT		PROPERTY LINE
	PROPOSED TREE SAVE AREA		RIGHT-OF-WAY
	PROPOSED CLASS C BUFFER		PROPOSED SETBACK
	SUE SIDEWALK UTILITY EASEMENT		SIDEWALK UTILITY EASEMENT
	ACR ACCESSIBLE CURB RAMP		ROAD CENTERLINE
	POS PROPOSED SITE LIGHTING (15' HT. MAX.)		PROPOSED CURB AND GUTTER
			EXISTING ALUMINUM FENCE
			PRIVATE OPEN SPACE
			8' PLANTING STRIP

DEVELOPMENT DATA:

TAX PARCEL ID:	14914437
EXISTING SITE AREA:	±2.194 ACRES
EXISTING ZONING:	UR-2(CD)
ZONING PETITION:	2017-070
JURISDICTION:	City of Charlotte
PROPOSED R/W DEDICATION:	0.51 AC (To be dedicated and conveyed to the City of Charlotte)
PROPOSED USE:	Single-Family attached Townhomes (For Sale)
UNITS ALLOWED:	19 Units
UNITS PROPOSED:	19 Units
DENSITY PROPOSED:	8.66 UNITS / AC
SETBACK:	50' from BOC (PARK RD) 14' from BOC (INTERNAL PUBLIC & PRIVATE STREETS)
SIDE YARD:	5' MIN.
REAR YARD:	10' MIN.
GARAGE SETBACK:	20' FROM R/W AND/OR FROM BACK OF SIDEWALK
MAX. BUILDING HEIGHT:	3 Stories or 50' (PER APPROVED REZONING)
PROPOSED BUILDING HEIGHT:	45' Max. PER TABLE 9.406(2)(A) OF THE ZONING ORDINANCE, ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY ADDITIONAL TWO FEET IN DISTANCE THE PORTION OF THE BUILDING IS FROM THE REQUIRED SETBACK, SIDE, AND REAR YARD LINES LOCATED ALONG ALL BOUNDARY(S) ADJACENT TO A SINGLE FAMILY ZONING DISTRICT.
PARKING REQUIRED:	MIN: 1 Space/unit MAX: 2 Spaces/per unit
PARKING PROVIDED:	2 car attached garage at each unit Total= 38 spaces in garages, plus driveways, & on-street parking
PRIVATE OPEN SPACE REQUIRED:	400 SF PER UNIT MINIMUM
TREE SAVE REQUIRED:	15% = 14336 SF
TREE SAVE PROVIDED:	15% = 14462 SF
MAX. FLOOR RATIO AREA:	1.0
PROP. FLOOR AREA RATIO:	1.0 MAX
WASTE MANAGEMENT:	ROLLOUT CONTAINER ALL CARTS WILL NEED TO BE PLACED ON HILLSIDE SPRINGS DRIVE FOR COLLECTION
BUILDING SEPARATION:	MIN. 10'
PROJECT TIMELINE:	START: FEB 2018
COMPLETE CONSTRUCTION:	FINISH: FEB 2020
NOTE:	SEE C-700 FOR HYDRANT DATA

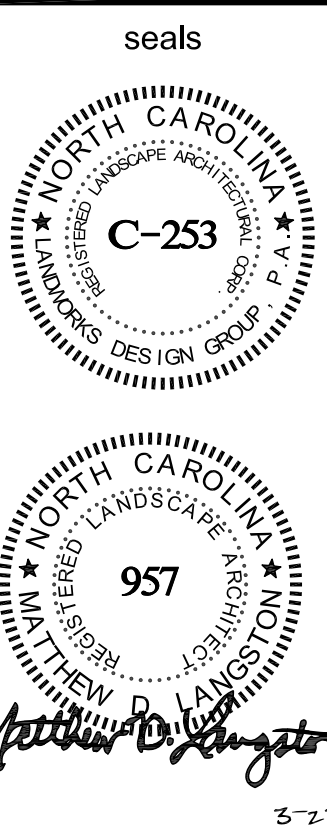


No.	Date	By	Description



HILLSIDE TOWNS
3620 PARK ROAD
CHARLOTTE, NC
CAROLINA COTTAGE HOMES, LLC

SITE PLAN



Project Manager: MDL
Drawn By: SCJ
Checked By: MDL
Date: 4/5/18
Project Number: 17062
Sheet Number:

C-101