

Survey By:
 RB-PHARR & ASSOCIATES, P.A.
 DATE: 6-13-17
 704-376-2186
 "CHARLES BELL"

Water By:
 Charlotte Water

Sewer By:
 Charlotte Water

Site Inspector:
 CHRIS JOHNSON 704-517-7781

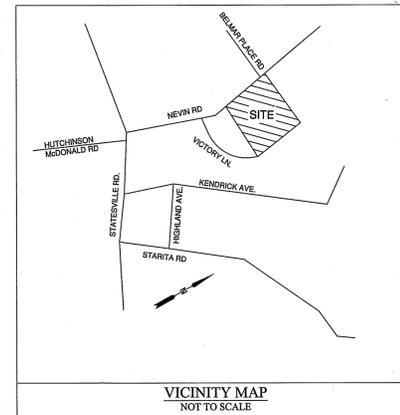
Urban Forester:
 STAN ARMSTRONG 704-517-7922

Erosion Control:
 JEFF BOCK 704-560-9798

Engineering:
 Mark Chapman 704-432-0409

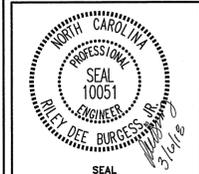
Final Site Plan Approval Application

Proposed



Woodbine Design, P.C.
 Land planning & civil engineering
 blending nature & man

www.woodbinedesign.com
 pwburgess@woodbinedesign.com
 980.722.2669 20816 N. Main Street, Suite 204
 704.315.8367 Cornelius, NC 28031
 pwbody@woodbinedesign.com



HAVEN RIDGE SUBDIVISION

Charlotte, Mecklenburg County, North Carolina

PCCO SUMMARY		
Original Parcel ID Number(s):		
Development Type:	Single-Family	
Subject to PCCO? Y/N	N	
If NO, why?	Below BUA/Disturbance Thresholds	
Watershed:	Central Catawba	
Disturbed Area (ac):	5.48	
Site Area (ac):	8.01	
	DA#1	DA#2
Total on-site Drainage Area (ac):	8.01	
Existing Built-upon-area (SF):	0	
Existing BUA to be removed (SF):	0	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	83635	
Proposed % BUA:	24	
Density (High / Low)	Low	
Total Post-Project BUA for site:	83635	
Development or Redevelopment?	Development	
Natural Area Required (ac):		0.8
Natural Area provided, total (ac):		1.09
Undisturbed Treed Natural Area Preserved (ac):		1.09
Total stream buffer protected on-site (ac):	0.62	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	Y	
Mitigation Type (if applicable)	N/A	
Natural Area mitigation? Y/N	N	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	



Applicant / Developer:

JSN CAPITAL, LLC
 304 PECAN RIDGE CT.
 MATTHEWS, NC 28269

OCTOBER 4TH, 2017

Plans Prepared By:

Woodbine Design, P.C.
 Land planning & civil engineering

blending nature & man



FINAL APPROVAL
 PROJECT NUMBER: SDRSF-2017-00092

- ENGINEERING**
PCSO / DETENTION / DRAINAGE PLAN
- EROSION CONTROL**
- URBAN FORESTRY**
TREE ORDINANCE
- CDOT**

- APPROVED**
By mark chapman at 4:17 pm, May 21, 2018
- APPROVED**
- APPROVED**
- APPROVED**

APPROVED FOR CONSTRUCTION
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 By: Joshua Weaver 5-21-2018

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

SHEET LEGEND

C1	COVER SHEET
C2	SITE PLAN
C3	EXISTING CONDITIONS & DEMOLITION PLAN
C4	EROSION CONTROL PHASE-1
C5	EROSION CONTROL PHASE-2
C6	GRADING
C7	ROAD PROFILE - VICTORY LANE EXTENSION
C8	ROAD PROFILE - NEVIN RD. "SIGHT DISTANCE"
C9	DETAILS
C10	DETAILS
C11	NOTES
C12	NOTES & LEGEND

HAVEN RIDGE SUBDIVISION
 3534 NEVIN RD., CHARLOTTE, NC
 MECKLENBURG, Co.

Project Location Sheet Title

COVER SHEET

DEVELOPER/OWNER
 JSN CAPITAL, LLC
 304 PECAN RIDGE CT
 MATTHEWS, NC 28269
 201-247-0509

Designed By Woodbine Design
Drawn By PW
Date 10/4/17
Revisions
 3/6/18: PCCO Summary

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IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

SYMBOL	COMMON NAME	#	BOTANICAL NAME	SIZE	ROOT	SPAC'G	NOTES
	EASTERN REDBUD	38	CERIS ODORATA	2 1/2" 8" TALL	B&B	40"/0"	SMALL MATURING UNDER POWER LINE
	LIVE OAK	20	QUERCUS LAURIFOLIA	2 1/2" 8" TALL	B&B	40"/0"	LARGE MATURING

IMPERVIOUS AREA DATA

EXIST IMPERV. COVERAGE:	0	SQ. FT./ACRES	
LOT SIZE:	348,915.6/8.01	SQ. FT./ACRES	
SIDEWALK IMPERVIOUS:	10,993/0.25	"PROPOSED" SQ. FT./ACRES	
ROADWAY IMPERVIOUS:	23,400/0.54	"PROPOSED" SQ. FT./ACRES	
TOTAL:	34,393/0.79	"PROPOSED" SQ. FT./ACRES	
PERCENT IMPERVIOUS:	24% MAX (LOW DENSITY)	8.01x24=1.92ac	MAX ALLOWED
	1.92ac-0.79ac = 1.13ac	ALLOWED FOR ALL LOTS OR 0.62ac	PER LOT = 2700-SF

TREE DATA

TOTAL SITE AREA:	8.01-AC
TREE SAVE AREA REQUIRED:	10% X 8.01ac = 0.80-ACRES
TREE SAVE AREA PROVIDED:	1.09-ACRE = 13.6%
STREET TREES REQUIRED:	NEVIN RD.=602-LF/40 = 15-TREES (PROVIDED=15) VICTORY LN.=850-LF/40 = 21.25-TREES (PROVIDED=44)
INTERNAL TREES REQUIRED:	NONE FOR SINGLE FAMILY

ROADWAY INTERMEDIATE AND SURFACE COURSE

- All public roadways shall be constructed with an intermediate and surface course as described on the appropriate City of Charlotte Land Development Standard Detail Drawing.
- Plant mixed asphalt shall conform in all respects to Section 610 of the North Carolina Department of Transportation Standard Specifications for Roads and Structures.
- The final (1) one inch lift of asphalt surface course for Residential Subdivision Streets shall be withheld until a minimum of (75%) Seventy-Five Percent of the Development is occupied (occupied means a certificate of occupancy has been issued) or at least (1) one year has lapsed from the application of the intermediate course layer (All documentation to be provided by the developer and approved by the City Inspector). All known base failures shall be repaired prior to application of the final one inch lift of asphalt surface course.
- The City Inspector shall be given a (24) Twenty-four hour notification to inspect the intermediate course deficiencies. All deficiency repairs are to be monitored by a City Inspector and accepted prior to application of final layer.
- City Inspectors shall be notified prior to using recycled plant mixes.
- Failure to meet the above requirements may result in the delay or prevention of street acceptance by the City of Charlotte or NCDOT.

ZONING CODE SUMMARY

PROJECT NAME:	THE HAVEN SUBDIVISION
OWNER:	JSM CAPITAL, LLC
PHONE #:	201-247-0509
PLANS PREPARED BY:	Woodbine Design, PC
PHONE #:	(980) 722-2669
ZONING:	R-4
JURISDICTION:	CHARLOTTE
PROPOSED USE:	RESIDENTIAL
BUILDING HEIGHT:	40-FT MAX. FEET
STORIES:	N/A
BUILDING COVERAGE:	40%-DETACHED, SQ. FT.
LOT SIZE:	348,915.6/8.01 SQ. FT./ACRES
TAX PARCEL ID:	045-27-102
GROSS FLOOR AREA:	SQ. FT.
PORTION OF 045-26-132	NUMBER OF UNITS OR SUITES: 25
YARD REQUIREMENTS:	SETBACK (FRONT): 27 FT. FROM R/W, (30' ALONG NEVIN RD) SIDE YARD (R): 5 FT. SIDE YARD (L): 5 FT. REAR YARD: 40 FT. WATERSHED: IRWIN PCO = CENTRAL CATAWBA
REQUIRED SCREENING:	FRONT: (NO) / YES REAR: (NO) / YES SIDE (R): (NO) / YES SIDE (L): (NO) / YES PARKING ONLY: (NO) / YES REQUIRED BUFFERS: FRONT: (NO) / YES FT. REAR: (NO) / YES SIDE (R): (NO) / YES FT. SIDE (L): (NO) / YES
GENERAL NOTES:	-ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY -SITE SHALL BE SERVED WITH ROLLOUT GARBAGE COLLECTION MIN. LOT SIZE: 8,000-SF MIN. LOT WIDTH: 60-FT NOTE: THE PROPOSED SITE IS A RECOMBINATION OF PARCELS 04527102, 04527101, 04526199 AND A PORTION OF 04526132.

Woodbine Design, P.C.
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8801 Woodbine Drive, Suite 204
Charlotte, NC 28211
980-722-2669
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LOW DENSITY: LESS THAN 24% IMPERVIOUS
(NO WATER QUALITY OR DETENTION REQUIRED)

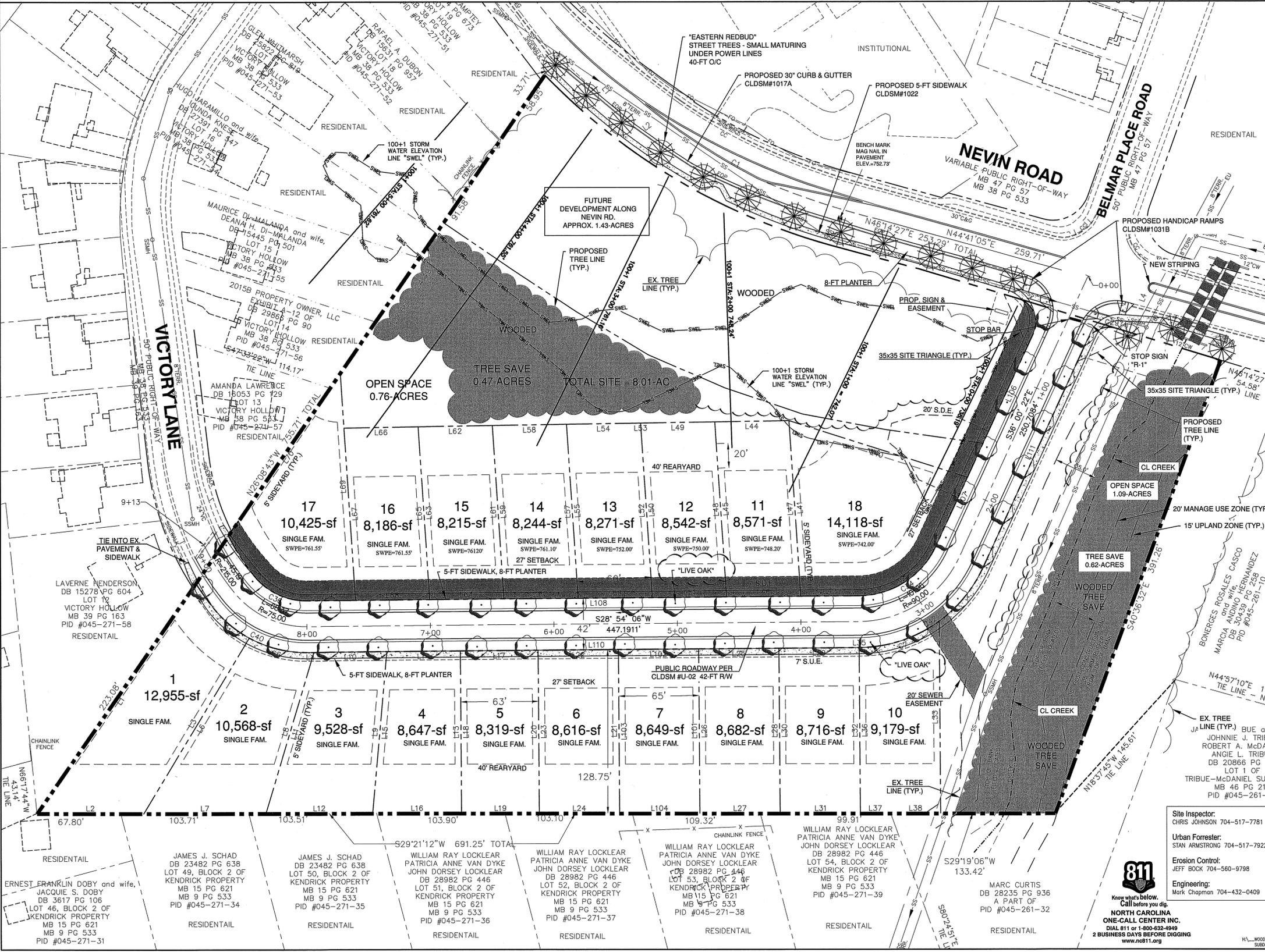
APPROXIMATE PROJECT SCHEDULE:
START DATE: MARCH 15, 2018
COMPLETION DATE: JUNE 15, 2018

THERE SHALL BE NO DEMOLITION LANDFILL ON SITE. ALL CONSTRUCTION DEBRIS SHALL BE DEPOSED OF IN A PERMITTED LANDFILL.

TRAFFIC CONTROL

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH NCDOT STANDARDS AND POLICIES. SEE DETAIL SHEET FOR STANDARD DETAILS. SPECIFICALLY FOR THIS PROJECT SEE DETAILS #1101.02 & #1101.11 SHEET 1 THRU 4.

STREAM DELINEATION AND REQUIRED FORMS HAVE BEEN SUBMITTED TO ENGINEERING SERVICES FOR REVIEW OF THE 30-FT PC BUFFER THAT BISECTS THE PROPERTY, BASED ON EXISTING CONDITIONS AND DELINEATION, THE 30-FT BUFFER IS PROPOSED TO BE REMOVED. JORDAN MILLER HAS APPROVED THE STREAM DELINEATION FORMS AND AGREES TO REMOVE THE PCO BUFFER. CONTACT JORDAN MILLER FOR ADDITIONAL INFORMATION.



REQUIRED SCREENING:
FRONT: (NO) / YES REAR: (NO) / YES
SIDE (R): (NO) / YES SIDE (L): (NO) / YES
PARKING ONLY: (NO) / YES
REQUIRED BUFFERS:
FRONT: (NO) / YES FT. REAR: (NO) / YES
SIDE (R): (NO) / YES FT. SIDE (L): (NO) / YES

MIN. LOT SIZE: 8,000-SF
MIN. LOT WIDTH: 60-FT
NOTE: THE PROPOSED SITE IS A RECOMBINATION OF PARCELS 04527102, 04527101, 04526199 AND A PORTION OF 04526132.

- ### GENERAL NOTES:
- Coordinate all curb and street grades in intersection with inspector.
 - All road improvements are to be coordinated with the CITY OF CHARLOTTE prior to construction.
 - Sight Triangles shown are the minimum required.
 - Approval of this plan is not Authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
 - Handrails may be required by a representative of the county, if warranted by field conditions. (MCLDS 50.04A,B)
 - In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
 - Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
 - The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited. Property owner is responsible for any onsite SDE.
 - High Density polyethylene (HDPE) storm drainage pipe installed within the existing or proposed public street right-of-way must:
 - Be approved by the public works representative from the town prior to getting plan approval.
 - Be approved by the CITY Inspector prior to any backfill being placed.
 - Backfill material must be approved by the CITY Inspector prior to any placement of the material within the public street right-of-way.
 - If the CITY agrees to have the pipe installed there shall be an approved bedding detail and a third party written evidence of compaction results.
 - The Developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and the banks all debris, logs, timber, junk and other accumulations.
 - Retaining Walls > 4-ft (residential) or 5-ft (commercial) in height requires a permit from Code Enforcement prior to construction. The Engineer of record for the retaining walls must certify that the walls are constructed to specifications prior to issuance of C.O.
 - Retaining walls involving a culvert or located within the influence of a road must be reviewed and approved by land development. Culverts must have headwalls or be collared.
 - Construction of retaining walls cannot begin until all necessary permits are obtained.
 - As-builts for applicable structures and BMP measures are required. As-builts are to include latitude and longitude for the center of the measure and inlets and outlets of all structures. Elevations are required for all measures as well as dimensions of all measures.
 - Non Standard Items (i.e. power, irrigation system, etc.) in the right-of-way require a Right-Of-Way Encroachment agreement with the CITY/North Carolina Department of Transportation before installation.

TREE SAVE & PRESERVATION NOTES:

Tree Planting and Preservation Requirements (updated 10/10/16)
Plant Material
1. Minimum tree size at planting is 2" caliper and 8' tall for single-stem trees. All multi-stem plants must be tree form, maximum 3 to 5 trunks, and minimum 10' tall. Where 3" single-stem caliper trees are specified, required minimum height shall be 10' tall. If multi-stem trees are specified then they shall be a minimum of 12' tall.
2. All trees must have strong central leaders intact to the top of the crown unless multi-stem trees are specified. All required trees shall be typical of their species and variety, have normal growth habits, have well-developed branches, be vigorous and have fibrous root systems. Trees with co-dominant branching will NOT be accepted. Trees that have been sheared, topped, or cut back to multiply the branching structure will NOT be accepted. Trees shall be free of abrasions, damage, disease, pests and cracks. All pruning cuts greater than 1/2 inch diameter shall show clean, smooth formed pruning cuts. Pruning cuts on the trunk shall be more than one-half the diameter of the central leader at the height where the cut was made. Root flares shall be located at grade. Trees with more than 2' of soil covering the root ball/furrows will NOT be accepted (CLOS-40.00).
3. Size of required plants, spread of roots and size of balls shall be in accordance with ANSI Z60.1 (latest edition) as published by the American Nursery & Landscape Association, except where specified/authorized by Urban Forestry.
4. All required trees of a particular species and variety shall be uniform in size and configuration.
5. 8" minimum trees in urban areas shall be 7' in height and 1/2" in diameter at 4' from the top of root crown (ball).
6. A minimum of 50% of new trees must be large mature species, and sites with more than 20 trees required will have to install multiple (3 or more) species pursuant to the Tree Ordinance Guidelines.
7. 75% of required trees must be large mature species except in situations with overhead power line conflicts. Planting Requirements
8. See CLOS 40.01 & 40.09 (on plan) for detailed tree planting requirements.
9. Plastic hose parts will NOT be accepted for tree staking. See CLOS 40.01 for approved staking method/materials.
10. All staking and top 1/3 of site basket and burlap must be cut away and removed from root ball when planting.
11. For new planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 18" topsoil, or fill and amend the top 18" of existing soil to meet topsoil/planting mix standards for trees (within entire minimum area of 274 square feet).
12. Trees planted on public property will need approval from the City Arborist and/or NCDOT.
13. Review soil requirements in the Tree Ordinance Guidelines at: <http://charlottenc.gov/ia> then click Trees.

DEVELOPER/OWNER
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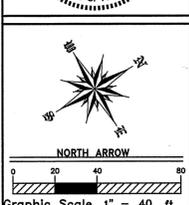
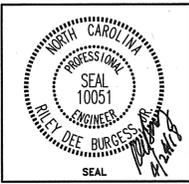
Designed By
Woodbine Design

Drawn By
PW

Date
10/4/17

Revisions
2/1/18-1st Review
3/6/18:100+1, HC RAMP
4/24/18:100+1 ELEV.

Sheet C2 of 12
Project Number 15020



HAVEN RIDGE SUBDIVISION
3534 NEVIN RD., CHARLOTTE, NC
MECKLENBURG, Co.

SITE - LANDSCAPE PLAN

Project Location Sheet Title

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