

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM).
2. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERWISE SPECIFIED IN THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
3. ALL PUBLIC STREETS WITHIN THE DEVELOPMENT WILL BE CONSTRUCTED TO THE CITY OF CHARLOTTE STANDARDS IN ORDER TO BE DEDICATED PUBLIC RIGHT OF WAYS.
4. ALL CURBS SHALL HAVE A 4'-6" RADIUS AT THE BACK OF CURB UNLESS OTHERWISE NOTED. ALL R/W SHALL HAVE A 20' RADIUS UNLESS OTHERWISE NOTED.
5. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM #50.05A OR #50.05B. SIGNS SHOULD BE LOCATED PER CLDSM #50.06.
6. LAND DEVELOPMENT ENGINEER SHALL BE GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. FURTHER REQUIREMENTS MAY BE MADE BY THE CITY OF CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).
8. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
9. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE SUBDIVISION ORDINANCE, SECTION 7.200.8.
10. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3600 P.S.I. AT 28 DAYS AND SHALL COMPLY WITH SECTION 1000 OF THE NCDOT STANDARD SPECIFICATIONS.
11. ALL CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS A.S.T.M. SPECIFICATIONS C-309, TYPE 1, APPLIED AT ONE GALLON TO 400 SF WITHIN 24 HOURS OF PLACEMENT OF CONCRETE.
12. ALL CURB AND GUTTER SHALL BE BACKFILLED WITH SOIL APPROVED BY THE INSPECTOR 48 HOURS AFTER CONSTRUCTION TO PREVENT EROSION.
13. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
14. ALL TRENCHES IN THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH SUITABLE MATERIAL IMMEDIATELY AFTER THE PIPE IS LAID.
15. ALL SUBGRADE FOR ROADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST.
16. ALL TESTS SHALL BE PERFORMED BY THE DEVELOPER AT NO COST TO THE CITY.
17. CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC AT ALL TIMES WHEN WORKING WITHIN EXISTING STREETS. THE CONTRACTOR SHALL PLACE AND MAINTAIN SIGNS, DANGER LIGHTS, BARRICADES, AND FURNISH WATCHMEN OR FLAGMEN TO DIRECT TRAFFIC IN ACCORDANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (W.A.T.C.H.).
18. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3600 PSI CONCRETE AND SHALL BE FOUR (4) INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE, EXCEPT WHERE A SIDEWALK CROSSES A DRIVEWAY IT SHALL BE SIX (6) INCHES THICK.
19. SUBGRADE FOR SIDEWALKS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTER TEST. THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH AN ACCEPTABLE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT AN INTERVAL NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS NOT MORE THAN 45 FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF 1/4" PER FOOT.
20. THE ELEVATION OF THE SIDEWALK SHALL BE RELATED TO THE ELEVATION OF THE CROWN OF THE ADJACENT ROADWAY. THE SIDEWALK SHALL BE NO LESS THAN SIX (6) INCHES OR MORE THAN 18 INCHES ABOVE THE ROADWAY CROWN, EXCEPT THAT THE CROSSWALK ELEVATIONS SHALL BE PROPERLY RELATED TO THE EXISTING OR PROPOSED ROADWAY CURB.
21. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR BASED ON FIELD CONDITIONS.
22. UTILITY INSTALLATIONS MAY ONLY CROSS BUFFER AREAS AT INTERIOR ANGLES MEASURED AT PROPERTY LINES WHICH ARE NOT LESS THAN 75 DEGREES AND, TO THE EXTENT POSSIBLE, PATHS CLEARED FOR SUCH UTILITY LINES SHALL BE REPLANTED WITH PLANT MATERIALS FROM THE ORDINANCES APPROVED PLANT LIST.
23. NO BUILDINGS, PARKING SPACES OR MANEUVERING AREAS MAY BE LOCATED WITHIN ANY BUFFER AREAS.
24. THE DEVELOPER SHALL MAKE A DILIGENT EFFORT TO PRESERVE AREAS OF REQUIRED BUFFERS WHERE SIGNIFICANT VEGETATION EXISTS. THESE AREAS SHALL REMAIN UNDISTURBED EXCEPT TO THE EXTENT NECESSARY TO ACCOMMODATE THE ABOVE ITEMS OF THIS SECTION.
25. UNDER DRAINAGE SHALL BE PROVIDED AS DIRECTED BY GEO-TECHNICAL ENGINEER. DETERMINATION SHALL BE MADE IN THE FIELD. DRAINS TO BE INSTALLED PER CMLD STD #50.05.
26. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
27. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
28. CURB AND GUTTER ON THE PLANS MAY BE ADJUSTED BASED ON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
29. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
30. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
31. ALL ROAD IMPROVEMENTS ON SEIGLE AVE., VAN EVERY ST. OR HARRILL ST. ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
32. CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
33. ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
34. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE LANDSCAPE MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT 704-336-6692.
35. ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A R/W USE PERMIT OR R/W LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK. FOR IMPACTS LESS THAN 30 DAYS, CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
36. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
37. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ, 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHT REQUIREMENTS. IF ANY, FOR THIS PROJECT, COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.



FINAL APPROVAL

PROJECT NUMBER: SDRMF-2018-00009

ENGINEERING

PCSO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM FOUND AT <http://charlottenc.gov/ld>

APPROVED

By Emily Chien at 1:12 pm, Jul 10, 2018

APPROVED

APPROVED

Craig Robinson

APPROVED

Carlos Alzate

CityScape Towns

Charlotte, North Carolina

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION

APPROVAL

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By Brent Wilkinson 7/10/18

CONTACT INFORMATION

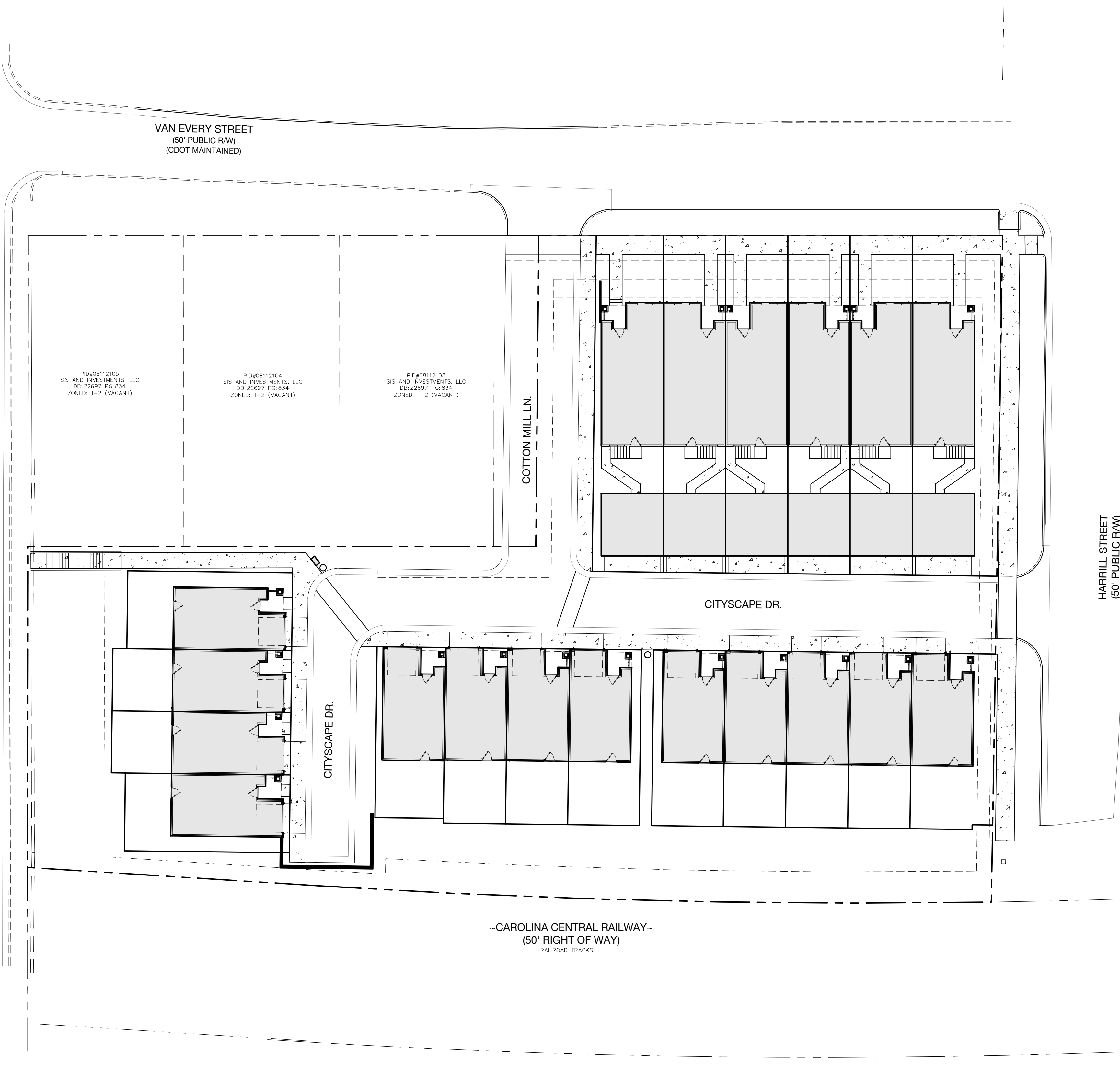
OWNER:
CAPROCK, LLC
CONTACT: KYLE DIPRETORO
ADDRESS: 2410 DUNAVANT ST.
CHARLOTTE, NC 28203
PHONE: 704-816-2203 FAX: (800) 954-0823

ARCHITECT:
ODELL
CONTACT: SHAWN GLERUM
ADDRESS: 2700 E. CARY ST.
RICHMOND, VA 23223
PHONE: 804-287-8229

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS
CONTACT: BRIAN D. SMITH, PE
ADDRESS: 1318-E6 CENTRAL AVENUE
CHARLOTTE, NC 28205
PHONE: 704-334-3303 FAX: 704-334-3305

SHEET INDEX

- | | |
|--------|--|
| C-1.0 | COVER SHEET |
| C-2.0 | EXISTING CONDITIONS |
| C-3.0 | SITE PLAN |
| C-3.1 | OPEN SPACE PLAN |
| C-3.2 | PAVING PLAN |
| C-4.0 | GRADING PLAN |
| C-4.1 | ROAD PROFILES |
| C-5.0 | STORM DRAINAGE PLAN |
| C-5.1 | BMP PLAN & DETAILS |
| C-5.2 | STORM DRAINAGE AREA PLAN |
| C-5.3 | BMP DRAINAGE AREA PLAN |
| C-6.0 | UTILITY PLAN - WATER |
| C-6.1 | SEWER PLAN & PROFILE |
| C-7.0 | EROSION CONTROL PLAN |
| | - PHASE I & DEMO PLAN |
| C-7.1 | EROSION CONTROL PLAN - PHASE II |
| C-8.0 | SITE SPECIFICATIONS & DETAILS |
| C-8.1 | SITE SPECIFICATIONS & DETAILS |
| C-8.2 | SITE SPECIFICATIONS & DETAILS |
| C-8.3 | EROSION CONTROL DETAILS |
| C-9.0 | INTERSECTION SIGHT DISTANCE |
| C-9.1 | INTERSECTION SIGHT DISTANCE |
| C-9.2 | TURNING MOVEMENT |
| LS-1.0 | LANDSCAPE PLAN |
| LS-2.0 | LANDSCAPE DETAILS |
| RZ-1.0 | REZONING SITE PLAN |
| RZ-2.0 | DEVELOPMENT STANDARDS |
| A4.01 | BLDG 01 - EXTERIOR ELEVATIONS |
| A4.02 | BLDG 02 - EXTERIOR ELEVATIONS |
| A4.03 | BLDG 03 - EXTERIOR ELEVATIONS |
| A4.04 | BLDG 04 - EXTERIOR ELEVATIONS |
| A4.05 | GARAGES - EXTERIOR ELEVATIONS |
| A4.10 | UNIT 01 - FRONT ELEV. & WALL SECTIONS |
| A4.11 | UNIT 01 - REAR ELEV. & WALL SECTIONS |
| A4.12 | UNIT 01 - LEFT SIDE ELEV. & WALL SECTIONS |
| A4.13 | UNIT 01 - RIGHT SIDE ELEV. & WALL SECTIONS |
| A4.20 | UNIT 02 - FRONT & REAR ELEV. & WALL SECTIONS |
| A4.21 | UNIT 02 - SIDE ELEV. & WALL SECTIONS |



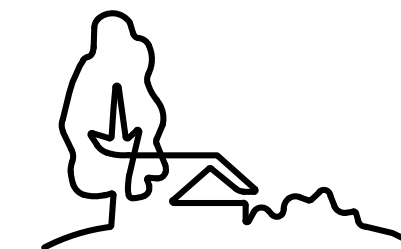
CapRock, LLC
241 Dunavant Street
Charlotte, NC 28203

CityScape Towns
Cover Sheet
Charlotte, NC

NO.	DATE	BY	REVISIONS:
1	04.13.18	UDP	PER CITY COMMENTS
2	05.25.18	UDP	PER CITY COMMENTS
3	06.08.18	UDP	PER CITY COMMENTS

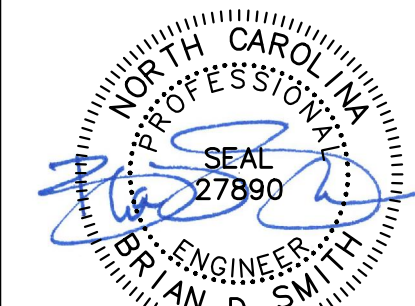
Project No: 17-025
Date: 01.22.18
Designed by: UDP
Drawn By: UDP
Sheet No:

C-1.0



URBAN DESIGN PARTNERS

1318-e6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbanpartners.com
nc firm no: P-0418
sc coa no: C-03044



06.08.18

CapRock, LLC

241 Dunavent Street
Charlotte, NC 28203

CityScape Towns

Site Plan
Charlotte, NC

SITE SUMMARY

TAX PARCEL ID #'S:	081-121-01, 081-121-06
SITE AREA:	49,373 SF (1.13 AC)
EXISTING ZONING:	UR-2 (CD)
REZONING PETITION #:	2017-083
PRIVATE OPEN SPACE:	
MINIMUM:	400 SF/LOT
PROPOSED:	SEE OPEN SPACE PLAN
OPEN SPACE:	
COMMON OPEN SPACE:	7,755 SF
PRIVATE OPEN SPACE:	10,822 SF
TOTAL:	18,577 SF (38%)
FLOOR AREA RATIO (FAR)	
ALLOWED:	1.0 MAX.
PROPOSED:	17,329 / 49,142 = 0.353
SETBACKS:	
** FRONT SETBACKS ARE MEASURED FROM BACK OF CURB	
FRONT:	28 FT (VAN EVERY STREET) 22 FT (PORCH SETBACK) 20 FT (HARRILL STREET) 30 FT (SEIGLE AVENUE) 5 FT 10 FT
SIDE YARD:	5 FT
REAR YARD:	≤ 7 FT (FROM BACK OF S/W OR B.O.C.)
GARAGES:	
BUILDING SEPARATION:	10 FT MINIMUM
BUILDING HEIGHT:	TWO-STORY UNITS: 40 FT (MAX. ALONG VAN EVERY) THREE-STORY UNITS: 40 FT (MAX. REMAINING UNITS) * ROOF TOP TERRACES AND THEIR RELATED ACCESS WILL BE ALLOWED AND WILL NOT BE TREATED AS AN ADDITIONAL FLOOR
NUMBER OF UNITS ALLOWED:	19
PROPOSED USE:	
SINGLE FAMILY ATTACHED (TOWNHOMES) FOR SALE:	19 TOWNHOMES
PARKING SPACES:	
REQUIRED:	1 MIN./2 MAX. (PER UNIT)
PROPOSED:	38 SPACES (GARAGES/CARPORTS)
SOLID WASTE:	ROLL OUT * GARBAGE AND RECYCLE CARTS MUST BE ROLLED OUT AND PLACED ON VAN EVERY ST. AND HARRILL ST. FOR COLLECTION.
PROJECT TIMELINE:	START - MAY 2018 FINISH - JUNE 2019

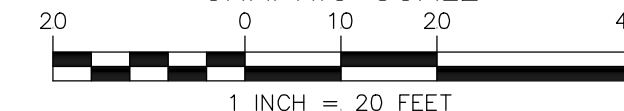
NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
ON POINT SURVEYING PLLC
2110 STATON ROAD
MARSHVILLE, NC 28103
(704) 912-1532
- SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS
PREPARED BY:
ODELL ASSOCIATES INC.
212 S. TRYON STREET, SUITE 980
CHARLOTTE, NC 28281
(704) 414-1000
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING
UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE
IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE
RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL 20,000 SQUARE FEET OF
IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM
DRAINAGE DETENTION.
- TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW.
PERMIT REQUIRED FOR REMOVAL BY CITY OF CHARLOTTE. LANDSCAPE
MANAGEMENT AT 704-336-4262. ALL TREES OVER 8-INCHES IN
DIAMETER (4.5-FT ABOVE GROUND) IN SETBACK AREA ARE PROTECTED
BY LAW. PERMIT REQUIRED FOR REMOVAL BY CITY ENGINEERING AT
704-336-6692.
- TRASH SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A
PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE
RESPONSIBILITY OF THE APPLICANT.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE
NOTED. CURB RADI SHALL MEASURE 4.5' AT BACK OF CURB UNLESS
OTHERWISE NOTED.
- LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL
NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE
OWNER AND DUKE ENERGY.
- ALL UTILITIES WILL BE PLACED UNDERGROUND.

SUB-LOT NUMBER:	LOT AREA:	ADDRESS:
1	2,407 SF	912 VAN EVERY ST.
2	2,167 SF	916 VAN EVERY ST.
3	2,172 SF	920 VAN EVERY ST.
4	2,176 SF	924 VAN EVERY ST.
5	2,181 SF	928 VAN EVERY ST.
6	3,076 SF	932 VAN EVERY ST.
7	1,500 SF	936 CITYSCAPE DR.
8	1,130 SF	940 CITYSCAPE DR.
9	1,130 SF	944 CITYSCAPE DR.
10	1,130 SF	948 CITYSCAPE DR.
11	1,300 SF	952 CITYSCAPE DR.
12	1,300 SF	956 CITYSCAPE DR.
13	1,130 SF	960 CITYSCAPE DR.
14	1,130 SF	964 CITYSCAPE DR.
15	1,210 SF	968 CITYSCAPE DR.
16	1,325 SF	972 CITYSCAPE DR.
17	1,150 SF	976 CITYSCAPE DR.
18	1,150 SF	980 CITYSCAPE DR.
19	1,325 SF	984 CITYSCAPE DR.



GRAPHIC SCALE



Project No: 17-025

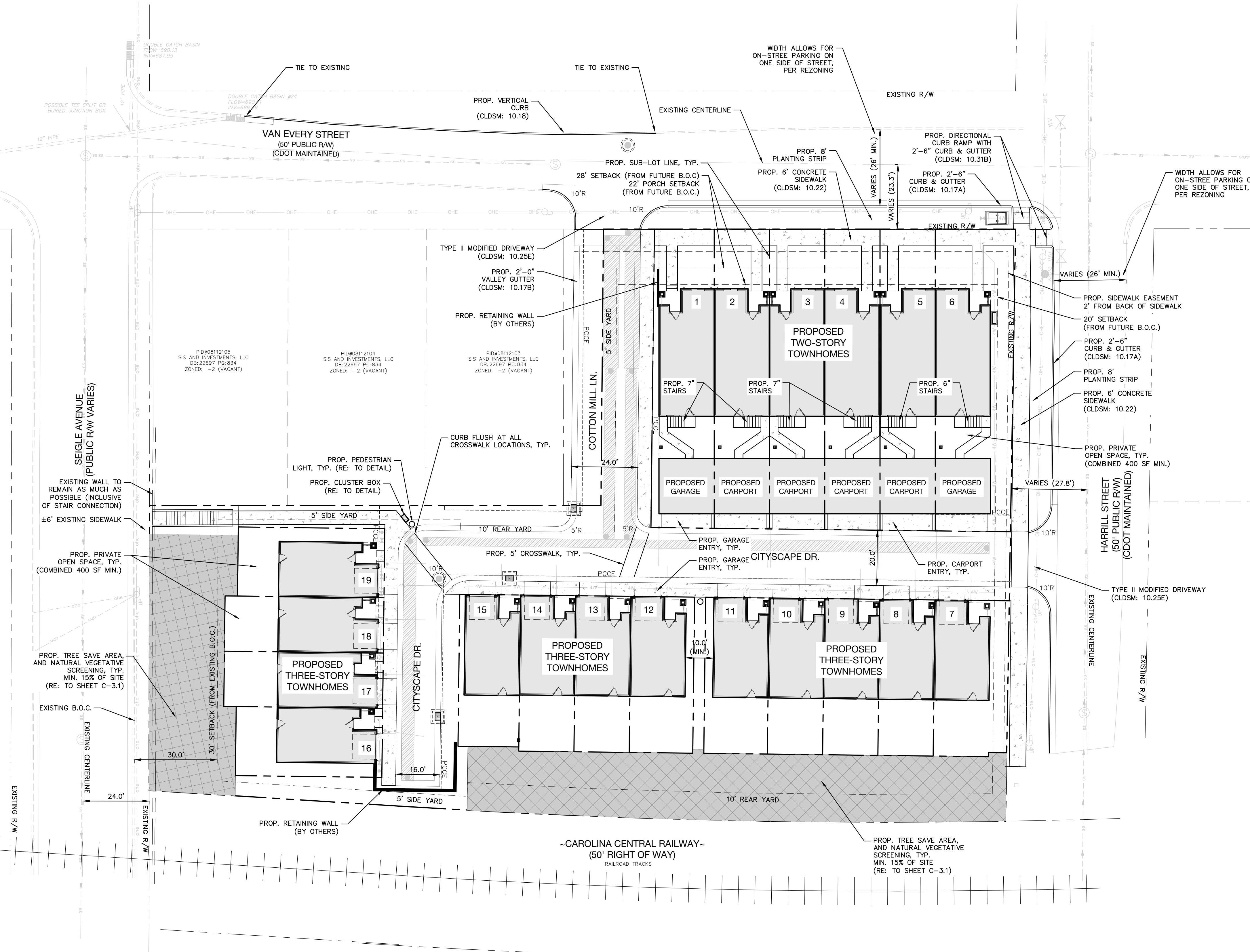
Date: 01.22.18

Designed by: UDP

Drawn By: UDP

Sheet No:

C-3.0



BEFORE YOU DIG!
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!