

GLENMERE AT MALLARD CREEK

CONSTRUCTION DRAWINGS FOR:
GLENMERE TOWNHOMES
CHARLOTTE, NORTH CAROLINA
EAS-15010

PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 3/2/18

CONSTRUCTION DRAWINGS MALLARD CREEK CHURCH ROAD AND SENATOR ROYALL DRIVE CHARLOTTE, NORTH CAROLINA PROJECT NUMBER: EAS-15010

DATE: DECEMBER 28, 2016
REVISED: APRIL 24, 2017
REVISED: JULY 07, 2017
REVISED: NOVEMBER 09, 2017
REVISED: JANUARY 05, 2018

SHEET INDEX

- C-1 EXISTING CONDITIONS PLAN
- C-2 SITE PLAN
- C-3 REZONING AND GENERAL NOTES
- C-4 GRADING AND STORM DRAINAGE PLAN
- C-5 DRAINAGE AREA MAP
- C-6 UTILITY PLAN
- EC-1 EROSION AND SEDIMENT CONTROL PLAN - PHASE I
- EC-2 EROSION AND SEDIMENT CONTROL PLAN - PHASE II
- EC-3 EROSION AND SEDIMENT CONTROL PLAN - PHASE III
- EC-4 EROSION AND SEDIMENT CONTROL DETAILS
- EC-5 EROSION AND SEDIMENT CONTROL DETAILS
- P-1 PLAN AND PROFILE - CREEKMERE DRIVE
- P-2 PLAN AND PROFILE - GLENMERE CREEK CIRCLE
- P-3 PLAN AND PROFILE - EXISTING SEWER REALIGNMENT
STA 0+00 THRU STA 5+25
SANITARY SEWER MAIN
STA 0+00 THRU 1+50
- SW-1 STORMWATER MANAGEMENT FACILITY PLAN
- SW-2 STORMWATER MANAGEMENT FACILITY DETAILS
- SW-3 STORMWATER MANAGEMENT FACILITY DETAILS
- SW-LS STORMWATER MANAGEMENT FACILITY LANDSCAPE PLAN
- TC-1 TRAFFIC CONTROL PLAN
- RW-1 TRUCK MOVEMENT PLAN
- LS-1 LANDSCAPE PLAN
- LS-2 LANDSCAPE NOTES & DETAILS
- D-1 DETAILS - SITE
- D-2 DETAILS - STORM DRAINAGE
- D-3 DETAILS - UTILITIES
- D-4 DETAILS - SEWER AND WATER
- RZ-1 APPROVED REZONING TECHNICAL DATA SHEET
- RZ-2 APPROVED REZONING STORM WATER DRAINAGE AREA PLAN
- 3.A.0 'A' FRONT ELEVATIONS (SLAB)
- 3.A.1 'A' REAR AND SIDE ELEVATIONS (SLAB)
- 3.B.0 'B' FRONT ELEVATIONS (SLAB)
- 3.B.1 'B' REAR AND SIDE ELEVATIONS (SLAB)
- 3.B.1.1 'B' REAR AND SIDE ELEVATIONS BONUS (SLAB)
- 3.C.0 'C' FRONT ELEVATIONS (SLAB)
- 3.C.1 'C' REAR AND SIDE ELEVATIONS (SLAB)
- 3.C.1.1 'C' REAR AND SIDE ELEVATIONS BONUS (SLAB)
- PH-1 PHOTOMETRIC PLAN
- 1-2 CROSS SECTION SURVEY
- 2-2 CROSS SECTION SURVEY
- XS2 100+1 FLOOD STUDY CROSS SECTIONS

OWNER:

EASTWOOD CONSTRUCTION LLC
2857 WESTPORT ROAD
CHARLOTTE, NC 28208
CONTACT: PATRICK QUINN
EMAIL: PQUINN@EASTWOODHOMES.COM
PHONE: 704-942-0248



FINAL APPROVAL

PROJECT NUMBER:

SDRMF-2017-00001

ENGINEERING
PCSO / DETENTION / DRAINAGE PLAN

APPROVED
By mark chapman at 10:33 am, Mar 02, 2018

EROSION CONTROL

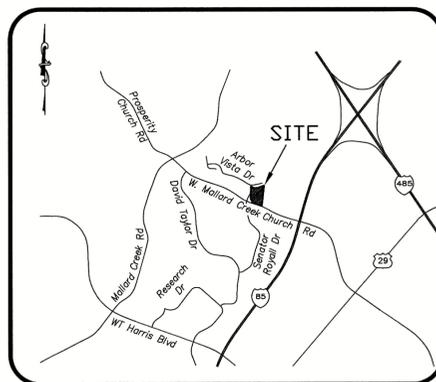
URBAN FORESTRY
TREE ORDINANCE

APPROVED

CDOT

APPROVED

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING
AT LEAST 48 HRS. PRIOR TO ANY LAND
DISTURBING ACTIVITY USING THE ONLINE
FORM FOUND AT <http://charlottenc.gov/ld>



VICINITY MAP
NTS

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

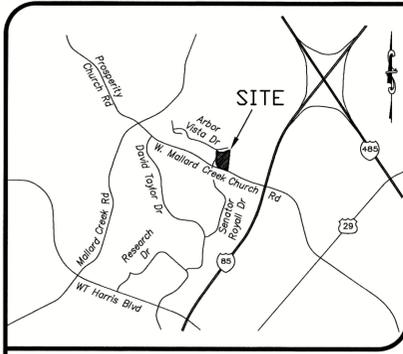


Know what's below.
Call before you dig.



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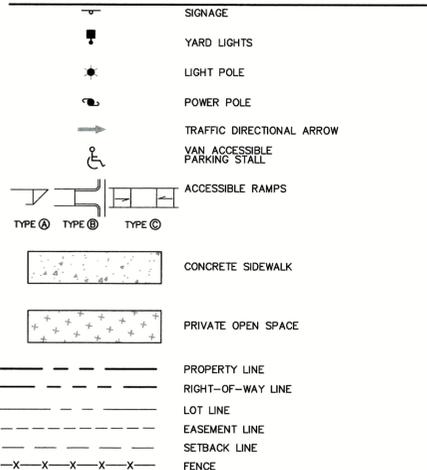
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**VICINITY MAP
NTS**

- FRONT SETBACK: 30 FT ALONG MALLARD CREEK CHURCH ROAD SENATOR ROYALL DRIVE
20 FT (FROM BACK OF CURB OR BACK OF SIDEWALK ALONG INTERIOR PRIVATE STREETS FOR GARAGE)
15 FT FOR REMAINDER OF BUILDING FROM BACK OF CURB ALONG PRIVATE STREET
15 FT SETBACK MEASURED FROM RIGHT OF WAY PER SECTION 9.303 (19) (F) OF THE ZONING ORDINANCE ALONG NEW PUBLIC STREETS
20 FT GARAGE SETBACK MEASURED FROM BACK OF SIDEWALK PER APPROVED ZONING ALONG NEW PUBLIC STREET
50 FT ABUTTING SINGLE FAMILY (NORTHERN BOUNDARY) IF BUILDING HEIGHT EXCEEDS 40 FT THEN SETBACK MUST INCREASE ONE FOOT FOR EVERY FOOT ABOVE 40 FT
60 FT ALONG EASTERN BOUNDARY PER REZONING 40 FT ABUTTING WESTERN BOUNDARY
- REAR SETBACK: 50 FT ABUTTING SINGLE FAMILY (NORTHERN BOUNDARY) IF BUILDING HEIGHT EXCEEDS 40 FT THEN SETBACK MUST INCREASE ONE FOOT FOR EVERY FOOT ABOVE 40 FT
60 FT ALONG EASTERN BOUNDARY PER REZONING 40 FT ABUTTING WESTERN BOUNDARY
- EACH UNIT TO HAVE MINIMUM SUBLOT SIZE SUFFICIENT TO ACCOMMODATE THE DWELLING UNIT AND 400 SQUARE FEET OF PRIVATE OPEN SPACE

SITE LEGEND

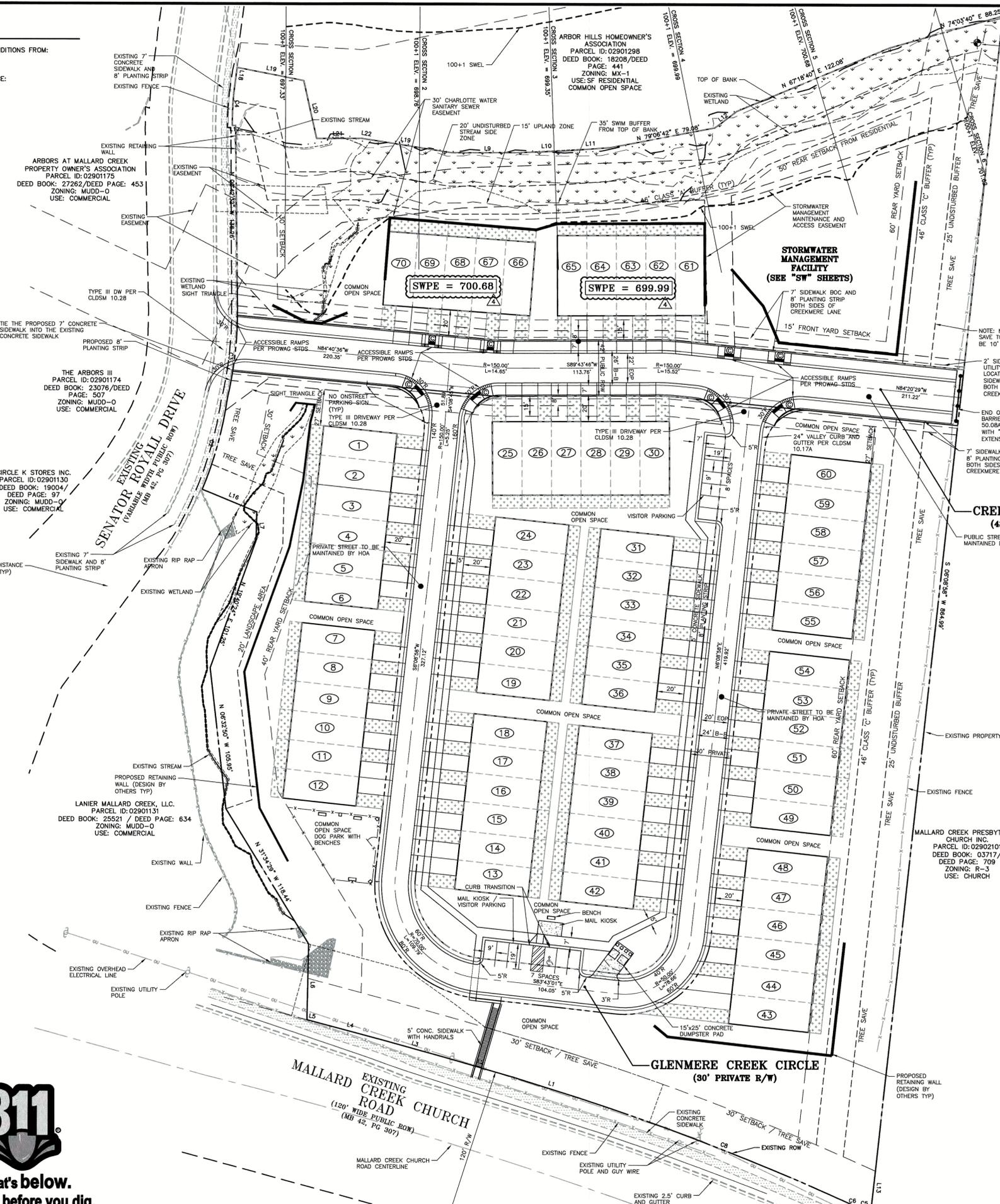


EXISTING SITE LEGEND



SITE INFORMATION:

BOUNDARY INFORMATION AND EXISTING CONDITIONS FROM: BOUNDARY AND TOPOGRAPHIC SURVEY COMPLETED BY JOHN R. MCADAMS
FLOOD HAZARD ZONE/FEMA MAP REFERENCE: SITE LOCATED IN ZONE X, REFERENCE FEMA MAP 3710457800J DATED MARCH 02, 2009



LINE TABLE

LINE	BEARING	DISTANCE
L1	S 72°42'42" E	51.30'
L2	S 73°50'30" E	50.99'
L3	S 74°35'30" E	50.59'
L4	S 74°58'00" E	50.20'
L5	S 75°01'44" E	7.55'
L6	N 01°15'03" E	56.61'
L7	N 01°13'31" E	21.42'
L8	S 81°02'07" E	62.51'
L9	N 89°43'46" E	49.01'
L10	N 87°49'20" E	34.73'
L11	N 85°38'53" E	34.64'
L12	N 22°28'37" E	20.74'
L13	N 06°14'49" W	31.35'
L14	S 06°14'49" W	3.70'
L15	S 58°18'33" E	114.98'
L16	N 67°41'48" W	44.01'
L17	S 88°22'45" W	2.51'
L18	N 07°25'15" E	11.15'
L19	S 78°55'27" E	50.69'
L20	S 12°42'19" E	44.38'
L21	N 89°45'45" E	33.65'
L22	N 81°02'07" W	5.76'
L23	S 06°08'58" W	49.69'
L24	N 01°15'03" E	3.31'

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	215.82	1969.86	N 68°58'07" W	215.71'
C2	70.70	286.31	N 15°15'07" E	70.52'
C3	68.35	282.50	N 06°13'46" E	68.18'
C4	32.49	220.00	S 03°41'42" W	32.46'
C5	10.55	498.22	N 84°47'54" W	10.55'
C6	7.53	498.22	N 85°01'17" W	7.53'
C7	11.11	1969.86	N 65°21'53" W	11.11'
C8	223.56	1969.86	N 68°46'40" W	223.44'

PROJECT COMPLETION TABLE

UNITS:	ANTICIPATED COMPLETION:
1-35	DECEMBER 2018
36-70	DECEMBER 2019

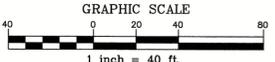
BUILDING SPECIFICATIONS

1ST FLOOR	800 SF
2ND FLOOR	1200 SF
3RD FLOOR	1000 SF

SITE DATA

DEVELOPER	EASTWOOD HOMES	
ATTN: PAT QUINN (PQUINN@EASTWOODHOMES.COM)	2857 WESTPORT ROAD	
	CHARLOTTE, NORTH CAROLINA 28208	
	704.942.0248	
SITE DATA:	PARCEL NUMBERS:	ACREAGE:
029-011-27	029-011-33	8.381±
		0.475±
TOTAL ACREAGE:		8.856±
EXISTING ZONING:	R-12MF PETITION 2007-032	
USE:	Townhomes	SF ATTACHED (FOR SALE)
ALLOWED DENSITY:	7.90 DU/AC	
PROPOSED DENSITY:	7.90 DU/AC	
PROPOSED NUMBER OF UNITS:	70	
BUILDING SEPARATION REQUIRED:	16 FT	
BUILDING SEPARATION PROVIDED:	16 FT	
MAXIMUM BUILDING HEIGHT ALLOWED:	50 FT/3 STORIES	
MAXIMUM BUILDING HEIGHT PROVIDED:	40 FT/3 STORIES	
FRONT YARD SETBACK:	SEE NOTE	
REAR YARD SETBACK:	SEE NOTE	
REAR YARD SETBACK ADJOINING SF:	SEE NOTE	
GARAGE SETBACK:	20 FT BOC/BACK OF SIDEWALK	
PARKING REQUIRED:	1.5 SPACES/UNIT (105)	
PARKING PROVIDED:	1.5 SPACES/UNIT (105)	
OPEN SPACE REQUIRED:	4.42 AC (50%)	
OPEN SPACE PROVIDED:	4.42 AC (50%)	
TREE SAVE REQUIRED:	1.33 AC (15%)	
TREE SAVE PROVIDED:	1.48 AC (16.7%)	
PRIVATE OPEN SPACE REQUIRED:	400 SF / UNIT **	
PRIVATE OPEN SPACE PROVIDED:	400 SF / UNIT **	
SOLID WASTE REQUIRED:	ONE 8 CY DUMPSTER/30 UNITS	
RECYCLING PROVIDED:	THREE 8 CY DUMPSTERS	
RECYCLING REQUIRED:	144 SF	
RECYCLING PROVIDED:	144 SF	

CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



FINAL DRAWING - FOR REVIEW PURPOSES ONLY

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REVISIONS:
2017-04-04 ADDRESS CITY COMMENTS
2017-07-07 ADDRESS CITY COMMENTS

EASTWOOD HOMES
2857 WESTPORT ROAD
CHARLOTTE, NC 28208

OWNER:
GLENMERE AT MALLARD CREEK
MALLARD CREEK CHURCH ROAD
CHARLOTTE, NC 28262

PROJECT NO: EAS-15010
FILENAME: EAS15010-S1
CHECKED BY: RMR
DRAWN BY: JDL
SCALE: 1"=40'
DATE: 12-28-2016
SHEET NO: C-2



DEVELOPMENT STANDARDS (PETITION #07-032):

GENERAL PROVISIONS
UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE CITY OF CHARLOTTE ZONING ORDINANCE...

PERMITTED USES
THE SITE MAY BE DEVOTED TO A MAXIMUM OF 70 FOR SALE SINGLE FAMILY ATTACHED TOWNHOME DWELLING UNITS IN CONNECTION THEREWITH WHICH IS PERMITTED BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE R-12 MF ZONING DISTRICT.

- BUFFER
1. THE PETITIONER SHALL ESTABLISH A 46 FOOT CLASS C BUFFER ALONG THE SITE'S EASTERN BOUNDARY LINE AS MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET...

- SETBACKS, SIDE YARDS AND REAR YARDS
1. ALL PRINCIPAL STRUCTURES CONSTRUCTED ON THE SITE SHALL SATISFY OR EXCEED THE SETBACK, SIDE YARD AND REAR YARD SETBACKS...

- COMMON OPEN SPACE / PRIVATE OPEN SPACE
1. COMMON OPEN SPACE PROVIDED IN VARIOUS LOCATIONS AS DEPICTED ON THE TECHNICAL DATA SHEET, AT A MINIMUM, 50% OF THE SITE SHALL BE DEVOTED TO COMMON OPEN SPACE...

- SCREENING AND LANDSCAPE AREAS
1. SCREENING SHALL CONFORM WITH THE STANDARDS AND TREATMENTS SPECIFIED IN SECTION 12.303 OF THE ORDINANCE...

- TREE ORDINANCE
1. A MINIMUM OF 10 PERCENT OF THE SITE WILL BE DEVOTED TO TREE SAVE AREAS, WHICH TREE SAVE AREAS ARE MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET...

PARKING
VEHICULAR AND BICYCLE PARKING WILL SATISFY THE MINIMUM STANDARDS ESTABLISHED UNDER THE ORDINANCE.

- S.W.I.M. BUFFERS/WETLANDS
1. ALL DEVELOPMENT ON THE SITE WILL COMPLY WITH THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE S.W.I.M. ORDINANCE...

- ARCHITECTURAL COMMITMENTS
1. ATTACHED HERETO ARE SCHEMATIC ARCHITECTURAL RENDERINGS OF THE FRONT, SIDE AND REAR ELEVATIONS OF THE SINGLE FAMILY ATTACHED TOWNHOME BUILDINGS PROPOSED TO BE CONSTRUCTED ON THE SITE...

- LIGHTING
1. DECORATIVE, PEDESTRIAN SCALE, FREESTANDING LIGHTING FIXTURES WILL BE INSTALLED THROUGHOUT THE SITE...

DEVELOPMENT STANDARDS CONTINUED:

SIGNS
ALL SIGNS PLACED ON THE SITE WILL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

- ACCESS POINTS/SIDEWALKS/RIGHT OF WAY DEDICATION
1. THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LIMITED TO THE NUMBER DEPICTED ON THE TECHNICAL DATA SHEET...

PRIVATE STREET CONNECTION TO MALLARD CREEK PRESBYTERIAN CHURCH
1. AS MORE PARTICULARLY DEPICTED ON THE TECHNICAL DATA SHEET, THE PETITIONER SHALL CONSTRUCT AND PROVIDE A PRIVATE STREET CONNECTING THE PARCEL OF LAND (THE "CHURCH PROPERTY") CURRENTLY OWNED BY MALLARD CREEK PRESBYTERIAN CHURCH...

DUMPSTER, COMPACTOR AND RECYCLING
FUTURE AMENDMENTS TO THIS TECHNICAL DATA SHEET AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

FIRE PROTECTION
ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CITY THROUGH THE CITY FIRE DEPARTMENT'S SPECIFICATIONS...

- STORM WATER MANAGEMENT
1. IF THE PETITIONER TIES INTO AN EXISTING PUBLIC STORM WATER SYSTEM(S), THE PETITIONER SHALL HAVE THE RECEIVING PUBLIC DRAINAGE SYSTEM(S) ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE PROPOSED DEVELOPMENT...

UTILITIES
1. ALL UTILITIES SHALL BE UNDERGROUND.

BINDING EFFECT OF THE REZONING PETITION
IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE THAT ARE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THIS TECHNICAL DATA SHEET WILL UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUCCESSOR OWNERS OF THE SITE...

GENERAL NOTES:

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED IN THIS MANUAL.
2. ONLY REINFORCED CONCRETE PIPE IS ALLOWED WITH THE STREET PAVEMENT EXCEPT FOR CULVERTS EQUAL TO OR GREATER THAN (60) SIXTY INCHES IN DIAMETER...

GENERAL NOTES:

- 1. WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 30" AND 72" IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF CHARLOTTE AND NCDOT STANDARDS AND SPECIFICATIONS.

CITY OF CHARLOTTE NOTES:

- 1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
2. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM#60.05 (9" SIGNS ONLY)
3. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.

Vertical text on the left margin: X:\Projects\EAS15010\Construction Drawings\Current Drawings\EAS15010-52.dwg, 11/19/2017, 8:28:10 AM, Lewis, Dylan



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

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Table with 2 columns: REVISIONS, COMMENTS. Includes revision 1 dated 2017-04-24 and revision 2 dated 2017-07-07.

OWNER: EASTWOOD HOMES
2857 WESTPORT ROAD
CHARLOTTE, NC 28208

GLENMERE AT MALLARD CREEK
MALLARD CREEK CHURCH ROAD
CHARLOTTE, NC 28092
REZONING AND GENERAL NOTES

Table with project information: PROJECT NO. EAS-15010, FILENAME: EAS15010-52, CHECKED BY: RMR, DRAWN BY: JDL, SCALE: 1"=40', DATE: 12-28-2016, SHEET NO. C-3