

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED
By Jack Fulghum at 10:02 am, Jan 24, 2017

APPROVED

APPROVED

APPROVED

Overture Cotswold

Construction Documents
4774 Randolph Rd
Charlotte, NC

Greystar GP II, LLC

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson 1/24/17

LandDesign
223 N Graham Street Charlotte, NC 28202
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18 Jan 2017



**OVERTURE COTSWOLD
MULTI-FAMILY DEVELOPMENT**
Greystar GP II, LLC : CHARLOTTE, NORTH CAROLINA
Cover Sheet

REVISIONS:
11/07/2016 - PROGRESS SET
12/05/2016 - PER ID REVIEW / BLDG SUBMITTAL
12/06/2016 - FOR PERMIT AND CONSTRUCTION
01/08/2017 - PER PLAN REVIEW COMMENTS
01/18/2017 - PER PLAN REVIEW COMMENTS

DATE: 10/12/2016
DESIGNED BY: KI
DRAWN BY: BB
CHECKED BY: KI
SCALE: N.T.S.
PROJECT #: 1015346
SHEET #:
C1.0

DEVELOPER/OWNER Greystar GP II, LLC
18 Broad St
Charleston, SC 29401
(843)-579-3221

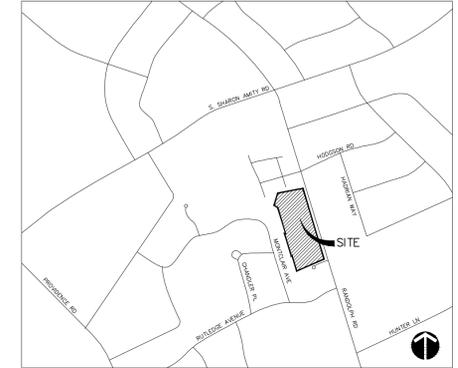
**LANDSCAPE ARCHITECT/
CIVIL ENGINEER** LandDesign, Inc.
223 North Graham St.
Charlotte, NC 28202
(704) 333-0325

ARCHITECT Meeks Partners
16000 Memorial Drive, Suite 100
Houston, TX 77079
(281) 558-8787

SURVEYOR R.B. Pharr & Associates, P.A.
420 Hawthorne Lane
Charlotte, NC 28204
(704)-376-2186

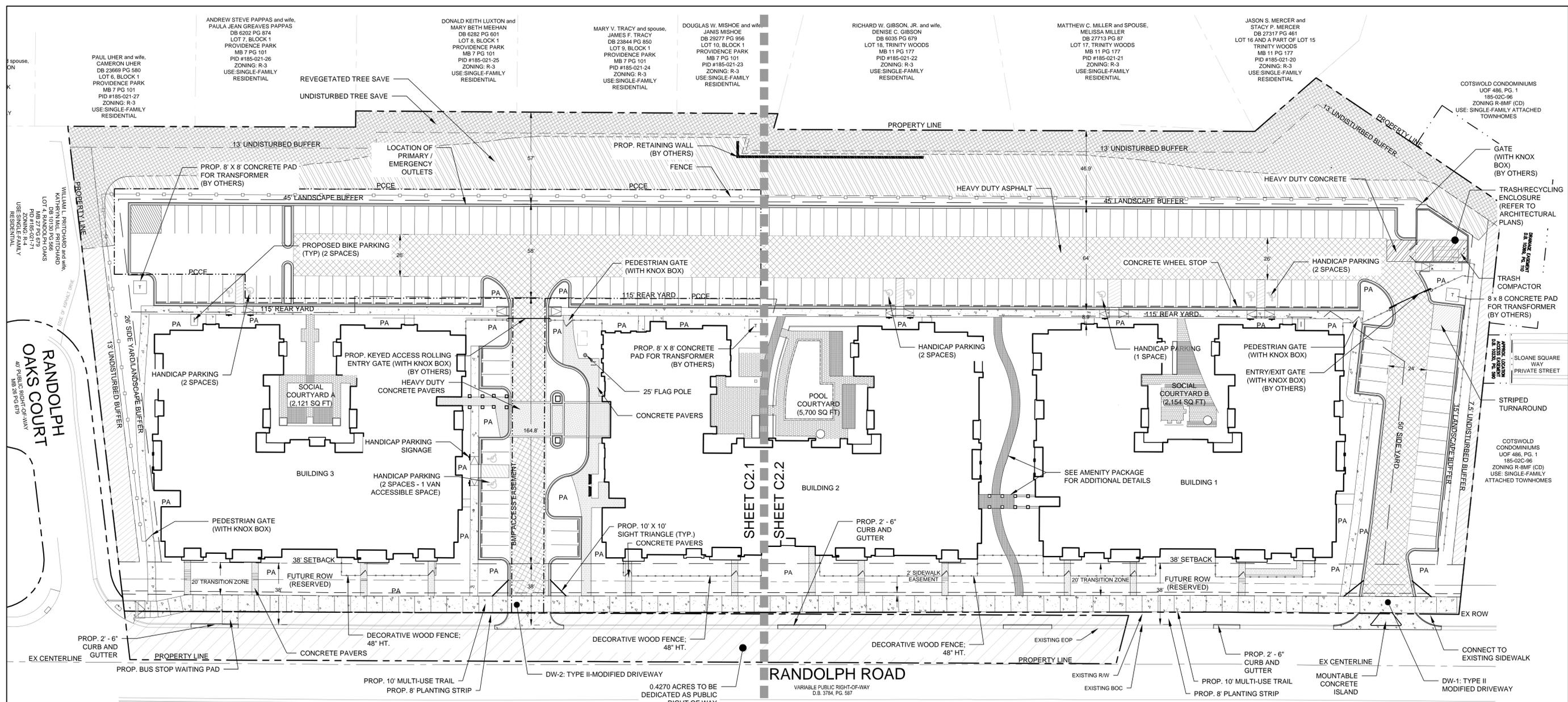
SURVEYOR On Point Surveying, PLLC
2110 Stanton Rd
Marshville, NC 28103
(980) 328-8500

| Sheet List Table | |
|------------------|--|
| Sheet Number | Sheet Title |
| Chapter 1 | |
| C1.0 | Cover Sheet |
| C1.1 | Survey |
| RZ-1 | Rezoning |
| RZ-2 | Rezoning |
| RZ-3 | Rezoning |
| C1.2 | Overall Demolition Plan |
| Chapter 2 | |
| C2.0 | Overall Site Plan |
| C2.1 | Site Plan |
| C2.2 | Site Plan |
| C2.3 | Site Details |
| C2.4 | Site Details |
| C2.5 | Site Details |
| C2.6 | Site Details |
| C2.7 | DW-1 Intersection Sight Distance |
| C2.8 | DW-2 Intersection Sight Distance |
| Chapter 3 | |
| C3.0 | Overall Grading Plan |
| C3.1 | Grading Plan |
| C3.2 | Grading Plan |
| Chapter 4 | |
| C4.0 | Overall Erosion Control Plan - Stage 1 |
| C4.1 | Overall Erosion Control Plan - Stage 2 |
| C4.2 | Erosion Control Details |
| C4.3 | Erosion Control Details |
| Chapter 5 | |
| C5.0 | Overall Storm Drainage Plan |
| C5.1 | Storm Drainage Plan |
| C5.2 | Storm Drainage Plan |
| C5.3 | Storm Drainage Details |
| C5.4 | Storm Drainage Details |
| C5.5 | Storm Drainage Details |
| C5.6 | Storm Drainage Details |
| C5.7 | Storm Drainage Details |
| C5.8 | Pre-Development Drainage Area Map |
| C5.9 | Post-Development Drainage Area Map |
| C5.10 | Storm Drain Drainage Area Map |
| Chapter 6 | |
| C6.0 | Overall Utility Plan |
| C6.1 | Utility Plan |
| C6.2 | Utility Plan |
| C6.3 | Utility Details |
| C6.4 | Utility Details |
| Chapter 8 | |
| C8.1 | Required Planting Plan |
| C8.2 | Planting Details |
| Chapter 9 | |
| A4.00 | Architectural Elevations |
| A4.01 | Architectural Elevations |
| A4.02 | Architectural Elevations |
| A4.03 | Architectural Elevations |
| A4.04 | Architectural Elevations |
| A4.05 | Architectural Elevations |
| A4.06 | Architectural Elevations |
| A4.07 | Architectural Elevations |
| A4.08 | Architectural Elevations |
| A1.30 | Architectural Details |
| A1.31 | Architectural Details |



VICINITY MAP
NTS

| PCCO SUMMARY | |
|--|--------------------------|
| Original Parcel ID Number(s): | 18502136, 18502134 |
| Development Type: | Multi-Family |
| Subject to PCCO? Y/N | Y |
| If NO, why? | -- Click for Dropdown -- |
| Watershed: | Central Catawba |
| Disturbed Area (ac): | 5.7 |
| Site Area (ac): | 6 |
| | DA#1 DA#2 |
| Total on-site Drainage Area (ac): | 5.7 |
| Existing Built-upon-area (SF): | 90,169 |
| Existing BUA to be removed (SF): | 90,169 |
| Existing BUA to remain (SF): | 0 |
| Proposed New BUA (SF): | 174,240 |
| Proposed % BUA: | 67 |
| Density (High / Low) | High |
| Total Post-Project BUA for site: | 174240 |
| Development or Redevelopment? | Development |
| Natural Area Required (ac): | Y |
| Natural Area provided, total (ac): | 0.6 |
| Undisturbed Treed Natural Area Preserved (ac): | 0.57 |
| Total stream buffer protected on-site (ac): | N/A |
| Transit Station Area? Y/N | N |
| Distressed Business District? Y/N | N |
| Mitigation Type (if applicable) | N/A |
| Natural Area mitigation? Y/N | N |
| Buffer Mitigation? Y/N | N |
| Total Phosphorous Mitigation? Y/N | N |



DEVELOPMENT SUMMARY:

- TAX PARCEL NUMBERS - 185-021-34 and 36
- ZONING - UR-2(CD) (PETITION No. 2016-024)
- PROPOSED USE - APARTMENTS
- CONSTRUCTION TYPE - V-A
- SITE JURISDICTION - CITY OF CHARLOTTE
- SITE AREA - AREA IN PUBLIC ROAD R/W 0.4270 ACRES
TOTAL SITE AREA (INCLUDING AREA IN PUBLIC ROAD R/W) 6.4247 ACRES
TOTAL SITE AREA AFTER DEDICATION OF R/W 6.00 ACRES
- DIMENSIONAL REQUIREMENTS - 38' FRONT SETBACK (EAST) MEASURED FROM EXISTING BACK OF CURB
26' SIDE YARD (SOUTH)
50' SIDE YARD (NORTH)
115' REAR YARD (WEST)
- TOTAL RESIDENTIAL UNITS - ALLOWED: 158 UNITS (PER REZONING)
PROPOSED: 158 UNITS
- BUILDING HEIGHT - ALLOWED: NOT TO EXCEED 40 FEET AND THREE (3) STORIES
PROPOSED: 40 FEET AND THREE (3) STORIES
- MINIMUM SEPARATION BETWEEN BUILDINGS - 10 FEET
- FLOOR AREA RATIO - ALLOWED: 1.0 MAXIMUM
PROPOSED: 0.83
- DEVELOPMENT SCHEDULE - START FEBRUARY 2017 - MAY 2018
- URBAN OPEN SPACE - REQUIRED: +/- 722 SF (1 SF/100 SF OF GROSS FLOOR AREA)
PROVIDED: +/- 17,000 SF PRIVATE SPACE
- VEHICLE PARKING - REQUIRED: 158 SPACES MINIMUM RESIDENTIAL (1 SPACE PER UNIT)
158 TOTAL SPACES
PROVIDED: 204 TOTAL SPACES (7 HC SPACES - 2 VAN ACCESSIBLE)
- BICYCLE PARKING - REQUIRED: 8 RESIDENTIAL UNITS (1 PER 20 UNITS)
PROVIDED: SHORT TERM: 8 TOTAL
- SOLID WASTE - REQUIRED: ONE (1) CU. YD. DUMPSTER PER 30 UNITS
OR ONE (1) CU. YD. COMPACTOR PER 90 UNITS
PROVIDED: ONE (1) 25 CU. YD. COMPACTOR
- RECYCLING - REQUIRED: 288 SQ. FT.
PROVIDED: 390 SQ. FT.

FAR CALCULATION

| | | |
|--------------|----------------|----------------|
| BUILDING 1 | 69,368 | SQ. FT. |
| BUILDING 2 | 78,084 | SQ. FT. |
| BUILDING 3 | 69,079 | SQ. FT. |
| TOTAL | 216,531 | SQ. FT. |

SITE AREA 6 ACRES X 43,560 SQ. FT PER ACRE = 261,360SQ. FT

FAR CALCULATION 216,531 / 261,360 = **0.83**

TREE SAVE CALCULATIONS:

REQUIRED TREE SAVE: 15% OR 0.90 ACRES

PROVIDED TREE SAVE: UNDISTURBED TREE SAVE: 0.479 ACRES
REVEGETATED TREE SAVE: 0.427 ACRES
TOTAL TREE SAVE PROVIDED: 0.906 ACRES

UNDISTURBED AND REVEGETATED TREE SAVE AREAS MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

LEGEND

- HEAVY DUTY CONCRETE
- HEAVY DUTY CONCRETE PAVERS
- PEDESTRIAN CONCRETE PAVER
- HEAVY DUTY ASPHALT PAVING
- CONCRETE SIDEWALK
- UNDISTURBED TREE SAVE
- REVEGETATED TREE SAVE

LAYOUT NOTES:

- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
- SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, WALL, AND BUILDING UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MCKENLEBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- ALL PATCH WORK WITHIN LIMIT OF CONSTRUCTION SHALL BE CONSISTENT WITH ASSOCIATED ASPHALT PAVEMENT DETAIL.
- ELECTRICAL, TELEPHONE, AND CABLE LINES AND POLES TO BE ELIMINATED OR RELOCATED. SHALL BE COORDINATED WITH DUKE POWER, AT&T, AND TIME WARNER.
- ALL TRAFFIC SIGNS AND MARKINGS TO BE INSTALLED AND COMPLY CURRENT CLDSM AND MUTCD STANDARDS AND SPECIFICATIONS.
- REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- REFER TO SITE DETAILS FOR ADDITIONAL INFORMATION.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- THIS PROJECT TO ADHERE TO CURRENT CITY OF CHARLOTTE ZONING ORDINANCE, UNLESS OTHERWISE STATED IN THE APPROVED REZONING DOCUMENTS.
- RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION.
- PER SECTION 18-175(B) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCS) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- UNDISTURBED AND REVEGETATED TREE SAVE AREAS MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- IF SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO PLAN APPROVAL.
- CONTRACTOR TO FIELD VERIFY EXISTING CURB TYPE. CONTRACTOR TO MATCH EXISTING CURB & GUTTER DESIGN PER DETAILS THIS SET AND COORDINATE NEW CURB ELEVATIONS WITH LANDSCAPE ARCHITECT AND CIVIL ENGINEER WHERE EXISTING CURB REMAINS ADJACENT TO TREE PRESERVATION AREAS.
- REFER TO ROADWAY IMPROVEMENT PLANS FOR ADDITIONAL ROADWAY LAYOUT, SIGNAGE, AND PAVING INFORMATION.
- AVOID DAMAGE TO THE FIBER INTERCONNECT AND PULLBOX IN THE ARE OF CURB AND SIDEWALK REPLACEMENT.
- ALL UTILITIES TO BE UNDERGROUND.
- ALL METER BANKS, HVAC AND RELATED MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW, ADJOINING PROPERTIES, AND RANDOLPH ROAD.

REVISIONS:

| | |
|------------|---------------------------------|
| 10/19/2016 | DATE |
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DATE: 10/19/2016
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CHECKED BY: KSI
Q.C. BY: KSI
PROJECT #: 1015346
SHEET #: **C2.0**

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GREYSTAR
Overall Site Plan

OVERTURE COTSWOLD MULTI-FAMILY DEVELOPMENT
Greystar GP II, LLC - CHARLOTTE, NORTH CAROLINA

REVISIONS:

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Corporate Seal
LAND DESIGN, INC.
CORPORATE SEAL
C-0658
NORTH CAROLINA
18 Jan 2017

Professional Engineer
SEAL
26491
EMY S. ICHARD

Scale: 1" = 30'