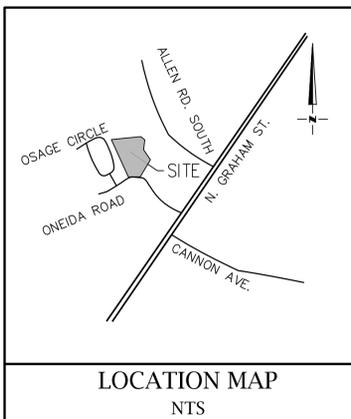


ONEIDA SUBDIVISION

ONEIDA ROAD

CHARLOTTE, NC



Revised*
**PRELIMINARY PLANNED
 MULTI-FAMILY SUBDIVISION
 APPROVAL**
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 by Jason Prescott 5/3/2017

* - Revised MODIFYING SOME BUILDING TYPES WHICH INCLUDES REMOVAL AND RELOCATION OF SOME EXISTING CURB, SIDEWALK, STORM SEWER, WATER AND SANITARY SEWER. PREVIOUSLY APPROVED AND CONSTRUCTED IMPROVEMENTS ARE SHOWN AS EXISTING FOR CLARITY IN SHOWING THE PROPOSED MODIFICATIONS.

GENERAL NOTES & STANDARD SYMBOLS	
DEMOLITION PLAN	C1.0
SITE PLAN	C1.1
SITE GUIDE	C2.0
PH. 1 EROSION CONTROL PLAN	C2.1
-REMOVED FROM REVISED PLAN SUBMITTAL SINCE PROPERTY IS ALREADY FINISHED GRADED.	C3.0
PH. 2 EROSION CONTROL PLAN	C3.1
PH. 1 SEDIMENT BASIN DA PRE-GRADING	C3.2
-REMOVED FROM REVISED PLAN SUBMITTAL SINCE PROPERTY IS ALREADY FINISHED GRADED.	C3.3
PH. 2 SEDIMENT BASIN DA PRE-GRADING	C3.4
GRADING PLAN	C4.0
RETAINING WALL & DETAILED GRADING PLAN	C4.1
STORM SEWER DRAINAGE AREA PLAN	C4.2
PRE-DEVELOPMENT DRAINAGE AREA PLAN	C4.3
-PLAN SUBMITTAL INCLUDES ORIGINAL PRE-DEVELOPMENT DRAINAGE AREA PLAN SINCE THE SITE IS GRADED AT THIS POINT.	C4.4
POST-DEVELOPMENT DRAINAGE AREA PLAN	C4.5
UTILITY PLAN	C5.0
LANDSCAPE PLAN	C5.0
STORM SEWER/ROADWAY PLAN AND PROFILE	C6.0-C6.4
FIRE TRUCK TURN TEMPLATES	C6.5
SITE DETAILS	C9.0-C9.5

SHEET INDEX

PROJECT SCHEDULE

BEGIN CONSTRUCTION 4/2017
END CONSTRUCTION 12/2018

PCCO SUMMARY	
Original Parcel ID Number(s):	045-181-02
Development Type:	Multi-Family
Subject to PCCO? Y/N	N
# NO, why?	Zoning Ordinance Detention Only
Watershed:	Central Catawba
Disturbed Area (ac):	6.17
Site Area (ac):	8.16
	DA#1 DA#2
Total on-site Drainage Area (ac):	8.16
Existing Built-upon-area (SF):	0
Existing BUA to be removed (SF):	0
Existing BUA to remain (SF):	0
Proposed New BUA (SF):	162233
Proposed % BUA:	45.62
Density (High / Low)	High
Total Post-Project BUA for site:	162233
Development or Redevelopment?	Development
Natural Area Required (ac):	N/A
Natural Area provided, total (ac):	N/A
Undisturbed Treed Natural Area Preserved (ac):	N/A
Total stream buffer protected on-site (ac):	0
Transit Station Area? Y/N	N
Distressed Business District? Y/N	Y
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorous Mitigation? Y/N	N



FINAL APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED
 By mark chapman at 1:55 pm, Apr 24, 2017

APPROVED
 By Stan Armstrong at 11:35 pm, Apr 24, 2017 as noted on C5.0.



REVISIONS	
CAD FILE:	2006-014 BASE.DWG
PROJECT NO.:	2006-014
DESIGNED BY:	JDM
SUBMITTAL DATE:	NOVEMBER 16, 2006
SECOND SUBMITTAL:	MARCH 23, 2007
THIRD SUBMITTAL:	JULY 16, 2007
BUILDING REVISION:	JANUARY 18, 2017
BUILDING 1ST REV:	APRIL 4, 2017

DEVELOPED BY:
ONEIDA-RUSSO LLC
 1220 SOUTH KING DRIVE
 CHARLOTTE, NC 28207
 P: 704.372.4821
 F: 704.372.5631



Mc²

ENGINEERING

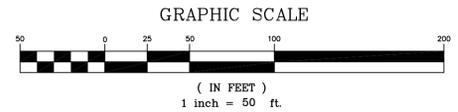
Mc² ENGINEERING, INC.
 2110 BEN CRAIG DR.
 SUITE 400
 CHARLOTTE, NC 28262
 PHONE 704.510.9797

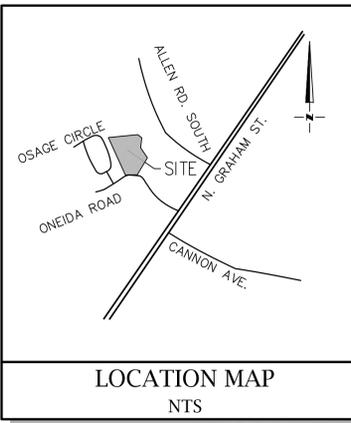
PREVIOUS PLANS WERE APPROVED ON AUGUST 30, 2007 AND THE INFRASTRUCTURE WAS INSTALLED EXCEPT FOR (STONE, ASPHALT, ROAD IMPROVEMENTS ALONG ONEIDA AND LANDSCAPING). CURRENT PLANS INCLUDE MODIFYING SOME BUILDING TYPES WHICH INCLUDES REMOVAL AND RELOCATION OF SOME EXISTING CURB, SIDEWALK, STORM SEWER, WATER AND SANITARY SEWER. PREVIOUSLY APPROVED AND CONSTRUCTED IMPROVEMENTS ARE SHOWN AS EXISTING FOR CLARITY IN SHOWING THE PROPOSED MODIFICATIONS.

REVISED PLANS ACTUALLY DECREASE THE IMPERVIOUS COVERAGE ON-SITE BY 4,625 SF.

ORIGINAL APPROVED PLANS TOTAL IMPERV.: 166,858 SF
 -BUILDINGS/DRIVEWAYS: 78,505 SF
 -ROADS/SIDEWALKS: 88,353 SF

REVISED/PROPOSED PLANS TOTAL IMPERV.: 162,233 SF
 -BUILDINGS/DRIVEWAYS: 86,613 SF
 -ROADS/SIDEWALKS: 75,620 SF





Know what's below.
Call before you dig.

SITE NOTES:

1. S.D.E. = STORM DRAINAGE EASEMENT
2. P.D.E. = PERMANENT DETENTION EASEMENT
3. P.U.E. = PERMANENT UTILITIES EASEMENT
4. ALL PROPOSED CURB AND GUTTER SHALL BE 2'-0" STANDARD CURB AND GUTTER UNLESS NOTED OTHERWISE.

CURVE	LENGTH	RADIUS	CHORD	CHORD DIRECTION
C1	26.46	50.00	26.15	S39°11'16"E
C2	27.95	50.00	27.59	S19°38'10"W
C3	104.16	100.00	99.51	N05°49'44"E
C4	78.54	50.00	70.71	N20°58'23"E

LINE	LENGTH	BEARING
L1	31.60	N47°48'00"E
L2	77.20	S24°01'37"E
L3	79.38	N65°58'23"E
L4	175.88	N65°58'23"E
L5	111.22	S24°01'37"E
L6	21.57	N54°20'54"W
L7	213.00	N24°01'37"W
L8	66.91	N24°01'37"W
L9	60.02	N03°37'14"E
L10	105.90	N35°39'06"E
L11	255.88	N24°01'37"W
L12	150.00	N65°58'23"E
L13	147.88	N65°58'23"E
L14	72.50	N24°01'37"W
L15	79.03	N24°01'37"W
L16	105.50	S25°08'23"E
L17	44.40	N64°51'37"E
L18	150.00	N65°58'23"E
L19	58.34	N65°58'23"E
L20	59.00	S78°34'50"W

- KEY NOTES:**
- (A) CONTRACTOR SHALL COORDINATE WITH BELLSOUTH/DUKE ENERGY TO REMOVE EXISTING POWER POLES. **WORK WAS PREVIOUSLY COMPLETED**
 - (B) CONTRACTOR SHALL COORDINATE WITH CHARLOTTE-MECKLENBURG UTILITIES TO REMOVE EXISTING 1 1/2" WATER METER. **WORK WAS PREVIOUSLY COMPLETED**
 - (C) 8.5' x 17.0' PARKING SPACE (TYP.)
 - (D) CITY OF CHARLOTTE STANDARD PRIVATE STREET 32' RIGHT-OF-WAY (CMLDS 11.13) SEE DETAIL 1/C9.0.
 - (E) ACCESSIBLE RAMP FOR 2'-0" VALLEY CURB AND GUTTER SEE DETAILS 9-10/C9.0.
 - (F) CDOT 35' x 35' SIGHT TRIANGLE.
 - (G) CONTRACTOR TO INSTALL 6' TALL PRIVACY FENCE PER DETAIL 1/C9.4. PRIVACY FENCE SHALL BE LOCATED WITHIN THE INNER HALF OF THE BUFFER WITH THE FINISHED SIDE FACING THE ADJUTING PROPERTY.
 - (H) MAILBOXES SHOWN FOR REFERENCE ONLY. TO BE PROVIDED BY BUILDER.
 - (I) RECYCLING ENCLOSURE. SEE ENLARGED GRADING DETAIL ON SHEET C4.1.
 - (J) COMPACTOR ENCLOSURE FOR 10 C.Y. TRASH COMPACTOR. SEE ENLARGED GRADING DETAIL ON SHEET C4.1.
 - (K) SITE PLAN INDICATES THE NUMBER OF STEPS REQUIRED TO CONSTRUCT CERTAIN UNITS (I.E. 2S = 2 STANDARD STAIRS). ALL OTHER UNITS WITHOUT A DESIGNATION DO NOT REQUIRE STAIRS. SEE GRADING PLAN FOR BUILDING ELEVATIONS.
 - (L) EXISTING DEAD END STREET BARRICADE CMLDS 50.07A/B (SEE DETAILS 4-5/C9.3) AND END OF ROADWAY MARKER CMLDS 50.08A/B (SEE DETAILS 6-7/C9.3). **ABOVE WORK WAS PREVIOUSLY COMPLETED. CONTRACTOR SHALL INSTALL STREET CONNECTIVITY SIGN FOR END-OF-ROAD BARRICADE CMLDS 50.08C (SEE DETAIL 3/C9.5)**
 - (M) 2'-0" VALLEY CURB AND GUTTER CMLDS 10.17B (SEE DETAIL 6/C9.0)
 - (N) TREE PROTECTION FENCE (CLDSM 40.02 SEE DETAIL 1/C4.0) TO BE PLACED AT THE DRIPLINE PLUS TEN (10) FEET TO DENOTE TREE PROTECTION OF EXISTING TREES, PRIOR TO ANY DEMOLITION OR GRADING ACTIVITY. TO BE PLACED IN AREAS WHERE NO GRADING IS PROPOSED AND EXISTING TREES CAN BE SAVED.
 - (O) FOR UNITS #1-8 NO STRUCTURES SHALL BE ALLOWED IN 30' SETBACK EXCEPT PATIOS ON GRADE.
 - (P) INSTALL CONCRETE WHEEL STOPS IN ALL PARKING SPACES LOCATED ADJACENT TO 5' WIDE CONCRETE SIDEWALK (SEE DETAIL 12/C9.3).
 - (Q) INSTALL 5' WIDE CONCRETE SIDEWALK WITH MIN. 4" PLANTING STRIP ALONG ONEIDA RD. (SEE DETAILS 8 & 12/C9.0).
 - (R) INSTALL MUTCD "STOP" SIGN (R1-1, 24"x24").
 - (S) EXISTING/PROPOSED RETAINING WALL WITH 6' TALL PRIVACY FENCE PER DETAIL 1/C9.4. PRIVACY FENCE SHALL BE LOCATED WITHIN THE INNER HALF OF THE BUFFER WITH THE FINISHED SIDE FACING THE ADJUTING PROPERTY. SEE RETAINING WALL DETAILS C4.1.
 - (T) CONTRACTOR SHALL INSTALL PAINTED CROSSWALKS AS INDICATED ON THE PLANS.
 - (U) CONTRACTOR SHALL INSTALL COMMERCIAL TYPE II DRIVEWAY FOR 2' VALLEY GUTTER (CLDSM 10.27B) SEE DETAIL 4/C9.5.

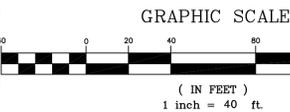
TOTAL SITE AREA: 360,677 SF (8.28 AC)
NET SITE AREA (EXCLUDING R/W): 355,612 SF (8.16 AC.)
TOTAL # OF UNITS: 97 TOWNHOMES FOR SALE LOTS
EACH TOWNHOME UNIT WILL HAVE A MIN. OF 400 SF SUBLT FOR PRIVATE OPEN SPACE
DEVELOPER: ONEIDA-RUSSO LLC
MAP REFERENCE: DEED BOOK 04511, PAGE 195
PARCEL ID: 045-18-102
JURISDICTION: CITY OF CHARLOTTE
ZONING: R-12(MF)
PROPOSED USE: MULTI-FAMILY RESIDENTIAL (ATTACHED)
MINIMUM SETBACK: 30'
MINIMUM GARAGE SETBACK: 20' FROM BACK OF CURB OR BACK OF SIDEWALK, WHICHEVER IS GREATER
MINIMUM SIDE YARD: 10'
MINIMUM REAR YARD: 40'
MIN. BLDG. SEPARATION: 16'
MAXIMUM BLDG. HEIGHT: 40'
MINIMUM LOT WIDTH: N/A
MINIMUM LOT AREA: N/A
MIN. SUBLT OPEN SPACE: 400 SF
MIN. REQ. OPEN SPACE: 177,806 SF (4.08 AC) = 50%
PROVIDED OPEN SPACE: 193,379 SF (4.44 AC) = 54.38%
MAXIMUM DENSITY: 12.0 DU/AC
PROPOSED DENSITY: 11.9 DU/AC
REQUIRED PARKING: 146 (1.5 SPACES PER UNIT)
PROVIDED TOTAL PARKING: 207
SURFACE PARKING: 53
DRIVEWAY PARKING: 77
GARAGE PARKING: 77
TOTAL LENGTH OF ROADS: 2,272.22 LF
MIN. REQ. SOLID WASTE: ONE 8 C.Y. COMPACTOR/90 UNITS
PROVIDED SOLID WASTE: ONE 10 C.Y. COMPACTOR
MIN. REQ. RECYCLING: ONE 144 SF STATION/80 UNITS
PROVIDED RECYCLING: ONE 216 SF STATION
FOR LANDSCAPE REQUIREMENTS SEE LANDSCAPE PLAN C5.0
REVISED/PROPOSED IMPERVIOUS COVERAGE:
-BUILDINGS/DRIVEWAYS: 86,613 SF
-ROADS/SIDEWALKS: 75,620 SF
-TOTAL PROPOSED IMPERVIOUS: 162,233 SF
(DECREASE FROM PREVIOUSLY APPROVED PLANS OF 4,625 SF)

DEVELOPMENT SUMMARY

SURVEY NOTES:

1. REBAR SET AT ALL CORNERS UNLESS NOTED OTHERWISE.
2. AREAS COMPUTED USING COORDINATE GEOMETRY.
3. ALTA COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, NUMBER CH06-0002121, REVISION #1 (FEBRUARY 21, 2006).
4. ALL ADJOINING PROPERTY OWNER INFORMATION IS TAKEN FROM CURRENT DEEDS AND TAX RECORDS AND ARE CONSIDERED "NOW OR FORMERLY".
5. OTHER UNDERGROUND UTILITIES MAY EXIST BUT THEIR LOCATIONS ARE NOT KNOWN.
6. THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.
7. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES.
8. SEWER EASEMENT TO GALLANT DEVELOPMENT INVESTMENT CO. RECORDED IN DEED BOOK 3228, PG. 398 (GENERAL EASEMENT CAN NOT BE PLOTTED)
9. GENERAL EASEMENT TO SOUTHERN BELL TELEPHONE AND TELEGRAPH CO. RECORDED IN DEED BOOK 1078, PG. 343 (GENERAL EASEMENT CAN NOT BE PLOTTED)
10. SANITARY SEWER R/W TO THE CITY OF CHARLOTTE RECORDED IN DEED BOOK 4430, PG. 425 (SHOWN ON MAP)

FLOOD NOTE:
A PORTION OF THE SUBJECT PROPERTY SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 3701590226E, DATED: FEBRUARY 4, 2004



Mc² ENGINEERING
Mc² ENGINEERING, INC.
2110 BEN CRAIG DR., STE. 400
CHARLOTTE, NC 28262
PHONE 704.516.1979

Professional Engineer Seal for North Carolina, License No. 38623, signed by A/A/T.

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ONEIDA SUBDIVISION
ONEIDA ROAD
CHARLOTTE, NC
ONEIDA-RUSSO LLC
1226 SOUTH KING DRIVE
CHARLOTTE, NC 28207

SITE PLAN

NO.	DATE	DESCRIPTION
1	03/23/07	CITY COMMENTS
2	07/16/07	CITY COMMENTS
3	08/17/07	CITY COMMENTS
4	1/18/17	OWNER REVISIONS
5	4/4/17	CITY COMMENTS

CAD FILE: 2006-014 BASE.DWG
PROJECT NO.: 2006-014
DESIGNED BY: JDM
REVIEWED BY: JDM
DATE: NOVEMBER 16, 2006

C2.0