

SHEET INDEX

SHEET No.	SHEET Title
1	Preliminary Subdivision Site
2	Landscape Plan
3	Storm Drainage and Grading Plan
4	Erosion Control Plan (Pre)
5	Erosion Control Plan (Post)
6	Roadway & Storm Drainage Profiles
7	Site Construction Details
8	Roadway X-Sections
9	Roadway Improvement Plan
10	BMP Plan & Details
11	Drainage Area Map



FINAL APPROVAL

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 10-27-2017

LEGEND

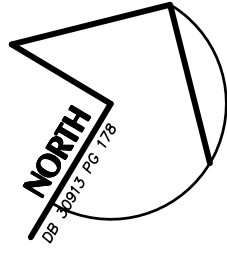
- EXISTING PAVEMENT/CURB
- PROPOSED PAVEMENT/CURB
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- TREE PROTECTION FENCE
- PROPOSED TREE SAVE AREA
- NATURAL AREA PER PCO (UNDISTURBED/REVEGETATED)
- PROPOSED BMP

LINE TABLE

LINE	LENGTH	BEARING
L-1	25.18	S30°59'12"E
L-2	17.62	S70°33'01"W

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	63.82'	150.00'	32.40'	S43°10'30"E
C-2	55.42'	150.00'	28.03'	N44°46'45"W
C-3	59.50'	150.00'	30.14'	N44°26'33"E
C-4	38.60'	150.00'	19.41'	N63°10'40"E
C-5	141.60'	150.00'	76.57'	S62°24'24"E



GENERAL NOTES

- THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY METROLINA ENGINEERING & SURVEYING.
- TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY BY METROLINA ENGINEERING & SURVEYING.
- CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOT DIMENSIONS ARE APPROXIMATE, REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
- ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
- REFERENCE SHEETS 4 & 5 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 7 FOR EROSION CONTROL DETAILS.
- CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 7 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:
 - ITEM CLD2002 STD. NO.
 - CURB AND GUTTER
 - CATCH BASIN LOCATION
 - (C) BRICK CATCH BASIN
 - (C) DOUBLE CATCH BASIN
 - STREET NAME SIGN
 - CONCRETE MONUMENT
 - SIDEWALK
 - BARRICADE
- APPROXIMATE COMPLETION TIME IS SUMMER 2017.
- WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
- SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF STANDARD RAMP DETAILS PRIOR TO PLACEMENT OF ANY H/C RAMP AND/OR SIDEWALK.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTURATED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, LIMB AND OTHER ACCUMULATIONS.
- DRAINAGE EASEMENTS INDICATED AS SIDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50.05 (4" SIGNS ONLY).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
- AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADINGS, PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNERS.
- COMMON OPEN SPACE TO BE CONVERTED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205
- ALL ROAD IMPROVEMENTS AT NEW PINEOLA RD. ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- CURB AND GUTTER SHOWN ON PLANS ALONG NEW PINEOLA RD. MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERS, ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- COMMON OPEN SPACE TO BE CONVERTED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 4.205
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
- NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) TO IDENTIFY ANY CORRELATIONS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
- COMMON OPEN SPACE/TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
- THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDM) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- RE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE OFFSITE R/W ACQUISITION PROCESS. THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmeck.org/transportation/street-maintenance/permits>
- PER SECTION 18-115 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL ROAD NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCOES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA MUST BE PLANTED WITH 2" CALIF. LARGE MATURING TREES FROM THE APPROVED SPECIES LIST. COORDINATE WITH URBAN FORESTRY SPECIALIST.

DEVELOPMENT DATA

TAX PARCEL NO.: 143-064-01
ZONING CLASSIFICATION: R-22HF
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 5.64 AC
NO. OF UNITS ALLOWED BY ZONING: 5.64 x 22 = 124
AREA IN EASEMENTS/R/W: 0.80 AC
NET TOTAL SITE AREA: 4.81 AC
TREE SAVE REQUIRED/PROVIDED: 10% x 4.84 AC = 0.48 AC
TREE SAVE PROVIDED: 0.50 AC (12.02%)
NO. OF UNITS PROPOSED: 39
COMMON OPEN SPACE REQUIRED: 10% x 5.64 AC = 0.56 AC
COMMON OPEN SPACE PROVIDED: .81 AC = 14.4%
R-22HF LOT DATA:
MIN. LOT SIZE = 3500 SF
MIN. LOT WIDTH = 40'
MIN. SETBACK = 20'
MIN. SIDE YARD = 5'
MIN. REAR YARD = 20'

THE MAXIMUM BUA IS 1600 SF PER LOT

SIDEWALK: 10,602 SF
CURB: 3,914 SF
PAVEMENT: 22,115 SF
LOTS: 60,800 SF

BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IMPERVIOUS OR PARTIALLY IMPERVIOUS SURFACE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL AREAS SUCH AS ROADS, PARKING LOTS, DRIVEWAYS, AND RECREATION FACILITIES SUCH AS TENNIS COURTS, ACTIVITY FIELDS THAT HAVE BEEN DESIGNED TO ENHANCE DISPLACEMENT OF WATER SUCH AS CONSTRUCTION AND GRADING OR INSTALLATION OF SODDED TURF, AND UNDERGROUND CONSIDERED BUILT-UPON AREA. BUILT-UPON AREA DOES NOT INCLUDE A WOODEN SLATED DECK OR THE WATER AREA OF A SWIMMING POOL.

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	50%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%

Preliminary Subdivision Site Plan

LOGAN SQUARE AT NEW PINEOLA

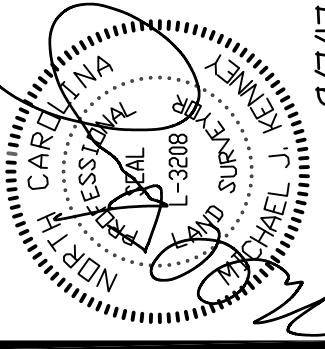
City of Charlotte, Mecklenburg County, North Carolina
Elton Orice, 77 Whiron Ave., Quincey, MA 02169

Sheet No.

1

of 11

REVISIONS:
1. 9/17/17 REDISSUED PER CDOT REVIEW COMMENTS
2. 9/17/17 REDISSUED PER CDOT, CAPS & CDOT REVIEW



Scale:	1"=40'
Date:	4/17/17
Drawn By:	MIK
Designed By:	MIK
Job No.:	1316

KENNEY DESIGN GROUP, PA

1216 PARSONS TRAIL
DENVER, NORTH CAROLINA 28037
PH: 704/377-4099
EMAIL: KENNEY@KENNEYDESIGN.COM

