

SITE DATA TABLE:

PARCEL INFORMATION:		MAXIMUM ALLOWABLE DENSITY: 17 UNITS/ACRE	
PARCEL 1: PID 04734219	NF VIRGINIA P. RODDEN	PROPOSED DENSITY: 10.66	
	PROPERTY AREA: 8.31 ACRES		
	DB: 4177 PG. 695		
PARCEL 2: PID 04734219		REQUIRED SETBACKS:	
	NF THOMAS AND PATRICIA RODDEN	R/W SETBACK:	27 FEET
	PROPERTY AREA: 0.87 ACRES	MIN. SIDE YARD SETBACK:	10 FEET
	DB: 4393 PG. 023	REAR YARD SETBACK:	50 FEET
TOTAL PROPERTY AREA: 9.18 ACRES		THOROUGHFARE SETBACKS:	
PROPERTY ZONING: R-17MF DISTRICT		FREEWAY:	N/A
OVERLAY DISTRICTS: N/A		THOROUGHFARE:	30'
PROPOSED USE: ACTIVE ADULT RESIDENTIAL (MULTIFAMILY APARTMENTS)		PARKING CALCULATIONS:	
PROPOSED NUMBER OF UNITS: 98		REQUIRED PARKING:	0.25 SPACES PER UNIT
TREE SAVE AREA REQUIRED: 15% OR 59,982 SF (1.38 ACRES)		REQUIRED PARKING:	0.25*98= 25 SPACES
TREE SAVE AREA PROVIDED: 61,412 SF (1.40 ACRES) OR 15.35%		PROVIDED PARKING:	98 SPACES
OPEN SPACE REQUIRED: 45% OR 179,946 SF (4.13 ACRES)		REQ'D ACCESSIBLE SPACES:	4 SPACES
OPEN SPACE PROVIDED: 234,928 +/- (5.39 ACRES) OR 58.70%		PROVIDED ACCESSIBLE SPACES:	10 SPACES
		BUILDING HEIGHT:	
		ALLOWABLE HEIGHT: 40' @ SETBACK	
		PROPOSED HEIGHT: 38' @ SETBACK	
		MAXIMUM HEIGHT: 54.71' (HIGHEST ROOF RIDGE)	

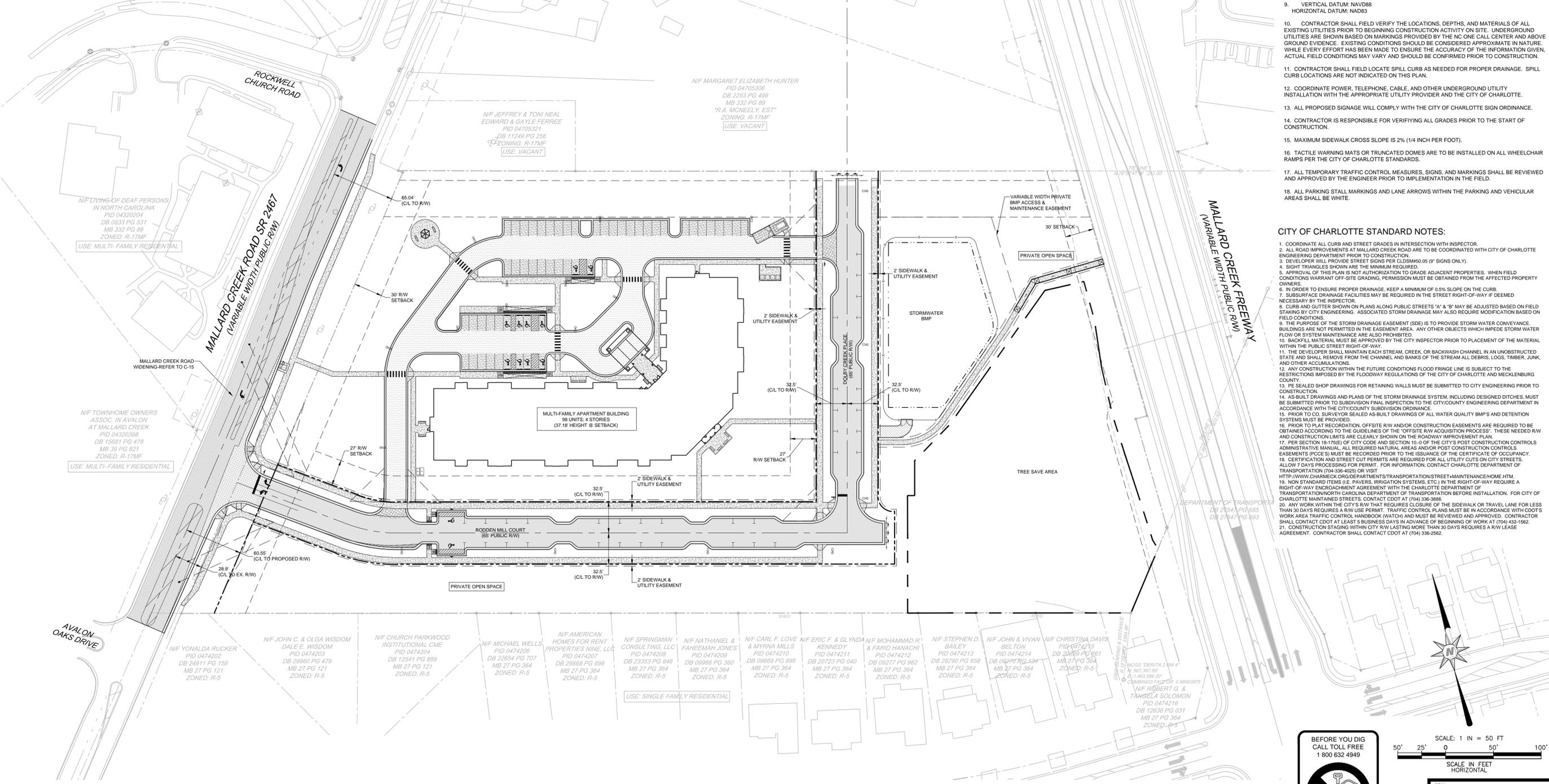
NOTE: ALL UTILITIES WILL BE UNDERGROUND

GENERAL SITE PLAN NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY BY ALLEN GEOMATICS, P.C. AND IS NOT THE RESULT OF A FIELD SURVEY BY THE CURRY ENGINEERING GROUP, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, MECKLENBURG COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- EXISTING CONDITIONS SHOWN FOR ROADWAY IMPROVEMENTS IN THE MALLARD CREEK ROAD RIGHT OF WAY PROVIDED BY NCDOT BASED ON DRAWINGS FOR TIP PROJECT U-2507A. NOTE THAT THE IMPROVEMENTS ARE UNDER CONSTRUCTION AT THE TIME OF THE ISSUANCE OF THIS DRAWING. ACTUAL FIELD CONDITIONS MAY VARY.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLANE PER FEMA FIRM PANEL 3710456700J DATED 03/02/09
- VERTICAL DATUM: NAVD83
HORIZONTAL DATUM: NAD83
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FIELD LOCATE SPILL CURB AS NEEDED FOR PROPER DRAINAGE. SPILL CURB LOCATIONS ARE NOT INDICATED ON THIS PLAN.
- COORDINATE POWER, TELEPHONE, CABLE, AND OTHER UNDERGROUND UTILITY INSTALLATION WITH THE APPROPRIATE UTILITY PROVIDER AND THE CITY OF CHARLOTTE.
- ALL PROPOSED SIGNAGE WILL COMPLY WITH THE CITY OF CHARLOTTE SIGN ORDINANCE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
- MAXIMUM SIDEWALK CROSS SLOPE IS 2% (1/4 INCH PER FOOT).
- TACTILE WARNING MATS OR TRUNCATED DOMES ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS PER THE CITY OF CHARLOTTE STANDARDS.
- ALL TEMPORARY TRAFFIC CONTROL MEASURES, SIGNS, AND MARKINGS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION IN THE FIELD.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AND VEHICULAR AREAS SHALL BE WHITE.

CITY OF CHARLOTTE STANDARD NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT MALLARD CREEK ROAD ARE TO BE COORDINATED WITH CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM50.05 (8" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- APPROVAL OF THIS PLAN IS NOT AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG PUBLIC STREETS "A" & "B" MAY BE ADJUSTED BASED ON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED ON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDS STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- ANY CONSTRUCTION WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- SE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEERING PRIOR TO CONSTRUCTION.
- AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMP'S AND DETENTION SYSTEMS MUST BE PROVIDED.
- PRIOR TO PLAT RECORRATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- PER SECTION 18-175(E) OF CITY CODE AND SECTION 10-0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCC'S) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR ALL UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION, CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704) 336-8029 OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- NON STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT CDOT AT (704) 336-8888.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2662.



PHASING DATA:

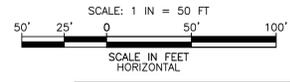
- PROJECT TO BE COMPLETED IN SINGLE PHASE
- APARTMENT BUILDING AND PUBLIC INFRASTRUCTURE TO BE CONSTRUCTED CONCURRENTLY
- ESTIMATED PROJECT CONSTRUCTION DURATION: 16 MONTHS FROM GRADING PERMIT ISSUANCE

SOLID WASTE/RECYCLING INFORMATION:

SOLID WASTE AREA REQUIRED: (1) 8 CY COMPACTOR PER 90 UNITS OR 0.0889 CY/UNIT
REQUIRED, 0.0889 CY/UNIT x 98 UNITS = 8.71 CY TOTAL
USE 9 CY COMPACTOR

RECYCLING AREA REQUIRED: 288 SQUARE FEET
PROVIDED: 297 SQUARE FEET

ALL PORTIONS OF THE BUILDING MUST BE WITHIN 400 FEET OF A PUBLIC OR PRIVATE STREET. THIS PROJECT COMPLIES WITH THE 400 FOOT REGULATION.



**RODDEN SQUARE APARTMENTS-CHARLOTTE, NC
OVERALL SITE LAYOUT PLAN**

T (919) 552-0840 205 S. Duquesne Avenue
F (919) 552-5043 Fayetteville, NC 27326



C-03

REVISIONS

NO.	DATE	DESCRIPTION	BY	APP'D
1	06-20-16	PER CHARLOTTE COMMENT		
2	09-19-16	PER NCDOT COMMENT		
3	09-19-16	PER CHARLOTTE COMMENT		
4	SEPTEMBER 4, 2015	LOU SCALE		
		DATE		
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