

SHEET INDEX

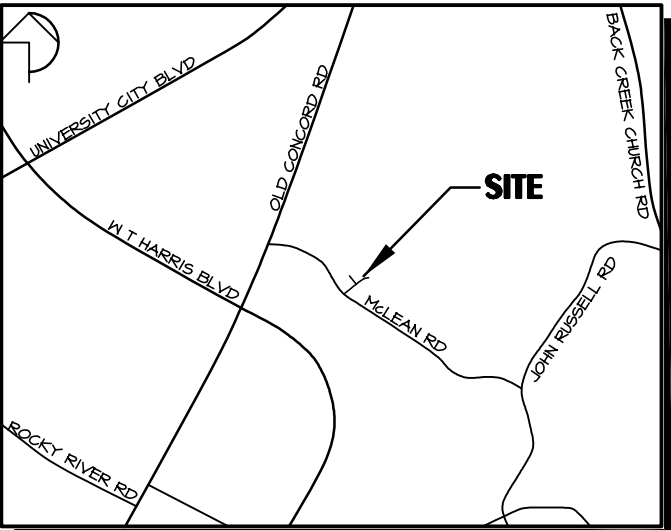
SHEET No.	SHEET Title
1	Preliminary Subdivision Site
2	Landscape Plan
3	Storm Drainage and Grading Plan

SWIM STREAM BUFFER NOTES

1. THIS PROJECT CONTAINS 5,311 M. STREAM BUFFERS WHICH ARE UNDER THE JURISDICTION OF MECKLENBURG COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION.
2. ALL 5,311 M. BUFFERS WITHIN THIS PROJECT ARE A WIDTH OF 100 FEET FROM THE TOP OF BANK, AS SHOWN ON THESE PLANS. THE LOWER 30 FEET IS THE STREAMSIDE ZONE. THE MIDDLE 40 FEET IS THE MANAGED USE ZONE AND THE UPPER 15 FEET IS THE UPLAND ZONE.
3. THE STREAMSIDE ZONE OF THE BUFFER MUST BE LEFT COMPLETELY UNDISTURBED. IN THE UPLAND ZONE, A LIMITED NUMBER OF TREES CAN BE REMOVED PROVIDED THAT THE TREE DENSITY REMAINING IS A MINIMUM OF 8 HEALTHY TREES OF A MINIMUM 6 INCH CALIPER PER 1,000 SQUARE FEET. REMOVAL OF EXISTING VEGETATION MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF THE REMAINING TREES.
4. PLANS CLEARLY INDICATE THAT NO FILL MATERIAL IS TO BE BROUGHT INTO THE BUFFER AND THAT NO STRUCTURES ARE ALLOWED WITHIN ANY OF THE BUFFER AREAS (EXCEPT NON-COMMERCIAL OUT BUILDINGS NOT EXCEEDING 150 SQUARE FEET).
5. GRADING AND OTHER LAND DISTURBING ACTIVITIES ARE ALLOWED ONLY IN THE UPLAND ZONE; HOWEVER, THESE ACTIVITIES MUST BE PERFORMED IN SUCH A MANNER AS TO PREVENT DAMAGE TO THE ROOTS OF EXISTING TREES. GRASS OR OTHER SUITABLE GROUND COVER CAN BE APPLIED TO THE UPLAND ZONE.
6. THE OUTSIDE BUFFER BOUNDARY MUST BE CLEARLY MARKED BY ORANGE FABRIC FENCING PRIOR TO ANY LAND DISTURBING ACTIVITIES (GRADING, TREE CUTTING OR STUMPING, ETC.) AT THE SITE, AND THIS FENCING MUST BE CALLED OUT ON THE PLANS.
7. THE OUTSIDE BOUNDARY OF THE STREAM BUFFER MUST BE PERMANENTLY MARKED WITH AN IRON PIN OR OTHER ACCEPTABLE PROPERTY CORNER MARKER AT STREET CROSSINGS, AND THIS MARKER MUST BE CALLED OUT ON PLANS.
8. TOP OF BANK LOCATIONS, AS SHOWN ON PLAN, HAVE BEEN FIELD VERIFIED BY A REGISTERED LAND SURVEYOR.

LEGEND

- EXISTING PAVEMENT/CURB
- PROPOSED PAVEMENT/CURB
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- TREE PROTECTION FENCE
- PROPOSED TREE SAVE AREA



VICINITY MAP

NTS



GRAPHIC SCALE

REVISION

APPROVED FOR
CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 11-17-2016



FINAL
APPROVAL

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY

TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-314-CODE(2633) FOR MORE INFORMATION.

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED

By mchapman at 1:49 pm, Nov 07, 2016

APPROVED

By Vince Condon at 9:48 am, Oct 19, 2016

DEVELOPMENT DATA

TAX PARCEL NO.: 051-242-3
ZONING CLASSIFICATION: R-3 (DEVELOPED AS R-4 CLUSTER*)
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACREAGE: 1.20 AC.
NO. OF UNITS ALLOWED BY ZONING: 1.20 x 3 = 21.6
TREE SAVE REQUIRED/PROVIDED: 10% x 1.20 AC = 0.12 AC / 1.96 AC (21.3%)
ADDP LOTS FOR TREE SAVE IN COS: 1.60 AC x 3 = 4.8 LOTS
NO. OF UNITS ALLOWED/PROPOSED: 21.6 + 4.8 = 26.4
COMMON OPEN SPACE REQUIRED: 10% x 1.20 AC = 0.12 AC.
COMMON OPEN SPACE PROVIDED: 2.31 AC = 30.04%

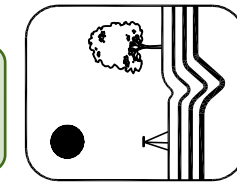
R-3 CLUSTER LOT DATA:
MIN. LOT SIZE = 6,000 SF
MIN. LOT WIDTH = 60'
MIN. SETBACK = 20'
MIN. SIDE YARD = 6' EXTERNAL, 3' INTERNAL
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL
R-4 CLUSTER LOT DATA:
MIN. LOT SIZE = 6,000 SF
MIN. LOT WIDTH = 50'
MIN. SETBACK = 20'
MIN. SIDE YARD = 6' EXTERNAL, 3' INTERNAL
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL

* TREESAVE INCENTIVE IV SPECIMEN TREES

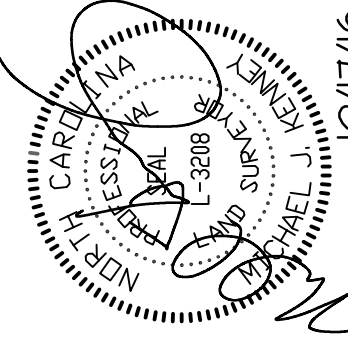
SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4,000	50%
4,001 - 6,500	45%
6,501 - 8,500	40%
8,501 - 15,000	35%
15,001 OR GREATER	30%

KENNEY DESIGN
GROUP, PA

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REVISIONS:
1. 10/20/16 REMOVED TREE 6, ADDED EXIST. TOPO LOTS 1415, MOORE LOT 1
2. 10/19/16 REVISED PER ENGINEERING COMMENTS



Scale: 1"=50'
Date: 9/2/16
Drawn By: MK
Designed By: MK
Job No.: 0716

Preliminary Subdivision Site Plan
Michael Crossing (Revision)
City of Charlotte, Mecklenburg County, North Carolina
Cohen Properties, Inc., 3300 Back Creek Church Rd., Charlotte NC 28213

Sheet No.

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