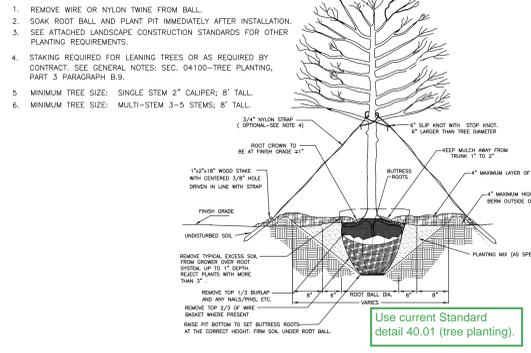


NOTES:



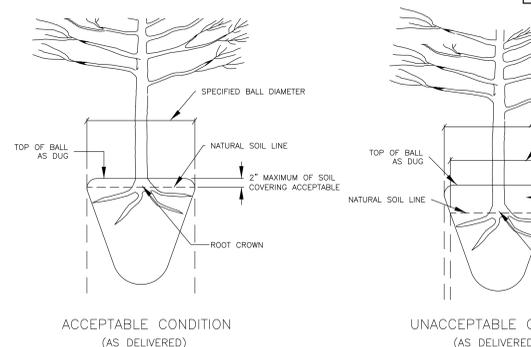
- 1. REMOVE WIRE OR NYLON TWINE FROM BALL.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. SEE ATTACHED LANDSCAPE CONSTRUCTION STANDARDS FOR OTHER PLANTING REQUIREMENTS.
4. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT. SEE GENERAL NOTES: SEC. 04100-TREE PLANTING, PART 3.
5. MINIMUM TREE SIZE: SINGLE STEM 2" CALIPER, 8' TALL.
6. MINIMUM TREE SIZE: MULTI-STEM 3-5 STEMS, 8' TALL.

TREE PLANTING-SINGLE STEM TREE

NOT TO SCALE

GENERAL NOTES:

- 1. BOUNDARY, EXISTING UTILITIES, AND OTHER EXISTING FEATURES TAKEN FROM BOUNDARY AND TOPO SURVEY BY EAGLE ENGINEERING, NCRLS # L-3661, DATED 11/18/05.
2. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR. ALL ROAD IMPROVEMENTS AT BROWNE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
3. DEVELOPER WILL PROVIDE STREET SIGNS PER C.M.D.S. 60.06 (9' SIGNS ONLY).
4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
5. DIRECT VEHICULAR ACCESS TO BROWNE ROAD FROM LOTS #1 & 28 IS PROHIBITED. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
6. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AUTHORIZED PROPERTY OWNERS.
7. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
9. CURB AND GUTTER SHOWN ON PLANS ARE FOR INFORMATION ONLY. GRADING PERMITS BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
10. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SIDE IS) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
11. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
12. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNRESTRICTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
14. ANY BUILDING WITHIN THE 100'-1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF THE CITY OF CHARLOTTE (MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
15. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1) FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
16. ALL OPENINGS (E.G., WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #S 15-20, 32-39 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100'-1 FLOOD ANALYSIS).
17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
18. AS-BUILT DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCES.
19. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
20. PRIOR TO CO. SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
21. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE) DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
22. PRIOR TO PLANT RECORDATION, OFFSITE RW AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS". THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
23. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
24. LOT DIMENSIONS ARE APPROXIMATE. REFERENCE RECORD PLAT FOR EXACT DIMENSIONS.
25. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
26. APPROXIMATE TIME OF COMPLETION OF INFRASTRUCTURE: 24 MONTHS.



ROOT CROWN DEPTHS

NOT TO SCALE

SITE DEVELOPMENT DATA

TAX PARCEL NO. 027-17-108 027-17-109 (PARTIAL) 027-17-136 027-17-137
PROPERTY OWNER: YOUNGS POND, LLC
ZONING: R-3
MINIMUM LOT WIDTH: 70'
MINIMUM SETBACK: 20' (TREE ORDINANCE INCENTIVE)
MINIMUM SIDE YARD: 5' (TREE ORDINANCE INCENTIVE)
MINIMUM REAR YARD: 45'
MINIMUM LOT AREA: 9,000 S.F. (MIN. REQ'D) 9,015 S.F. (MIN. PROPOSED) 10,000 S.F. (AVG. REQ'D.) 11,888 S.F. (AVG. PROPOSED)
CITY OF CHARLOTTE: 17.16 AC 30 DU/AC (51 DU) 2.88 DU/AC (49 DU)

TREE SAVE CALCULATIONS

OVERALL SITE ACREAGE: 747,065 S.F.
MINUS EXT. ROAD ROW: -56,865 S.F.
MINUS BROWNE ROAD ROW: -11,817 S.F.
NET SITE ACREAGE: 678,583 S.F.

TREE SAVE REQUIRED (10%): 67,858 S.F.
TREE SAVE PROVIDED: 68,072 S.F. (10.18%)

STREET TREE CALCULATIONS

Table with columns: FRONTAGE, TREES REQ'D., TREES PROV.
ALLEN A. BROWN ROAD: 2180' 44 (50' O.C.) 45
MERIDALE CROSSING DR: 2070' 42 (50' O.C.) 42
EVERSFIELD LANE: 450' 10 (50' O.C.) 10

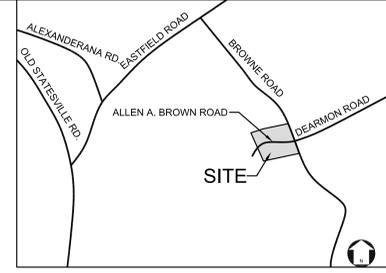
TREE PLANTING NOTES

- 1. ALL TREES SHALL BE PLANTED PER C.M.D.S. 40.01 AND 40.09.
2. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
3. LARGE MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF THESE CONFLICT WITH POWER LINES OR SIGNS, CALL THE URBAN FORESTER BEFORE PLANTING.
4. ADJUST TREE-PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES.
5. NEW TREES SHALL BE A MINIMUM 2" CALIPER FOR STREET TREE REQUIREMENTS.
6. SEE TREE PRESERVATION NOTES ON GRADING AND EROSION CONTROL SHEETS.
7. PROPOSED STREET TREES SHALL BE 2" CALIPER, LARGE MATURING, AND SHALL BE SELECTED FROM THE CITY OF CHARLOTTE APPROVED PLANTING LIST. COORDINATE WITH OWNER.
8. STREET TREE SPACING: 40'-50' O.C.
9. PROPOSED STREET TREES SHALL BE GENETIC CLONES (CULTIVARS), SELECTED FOR UNIFORMITY. TREES SHALL MEET REQUIREMENTS OF AMERICAN STANDARDS FOR NURSERY STOCK FOR THEIR GIVEN SPECIES AND SHALL BE SINGLE-STEM, WITH A STRONG CENTRAL LEADER.
10. STREET TREES PLANTED WITHIN THE INTERSECTION SIGHT TRIANGLES SHALL BE 12'-14' MIN. HT. AT PLANTING, WITH NO BRANCHES BELOW 6' ABOVE ADJACENT GRADE.

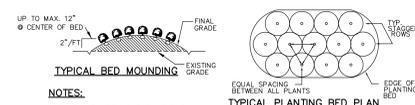
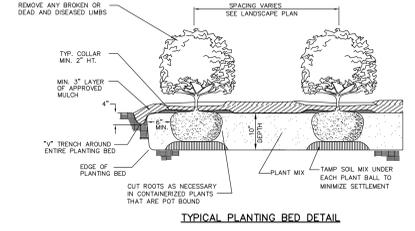
Table: TREE SAVE AREAS SUMMARY
TS AREA PROPOSED PREVIOUSLY APPROVED
TS AREA #1 31,105 S.F. 31,105 S.F.
TS AREA #2 34,926 S.F. 34,744 S.F.
TS AREA #3 3,041 S.F. 2,878 S.F.
TOTAL: 69,072 S.F. 68,727 S.F.

REVISION NOTE

REVISION #1 OF MERIDALE PHASE 1 HAS BEEN DONE TO ADD THE LEFT TURN LANE WIDENING OF BROWNE ROAD TO THE PHASE 1 DOCUMENTS. SEE SHEETS RW-1 THROUGH RW-6.



VICINITY MAP

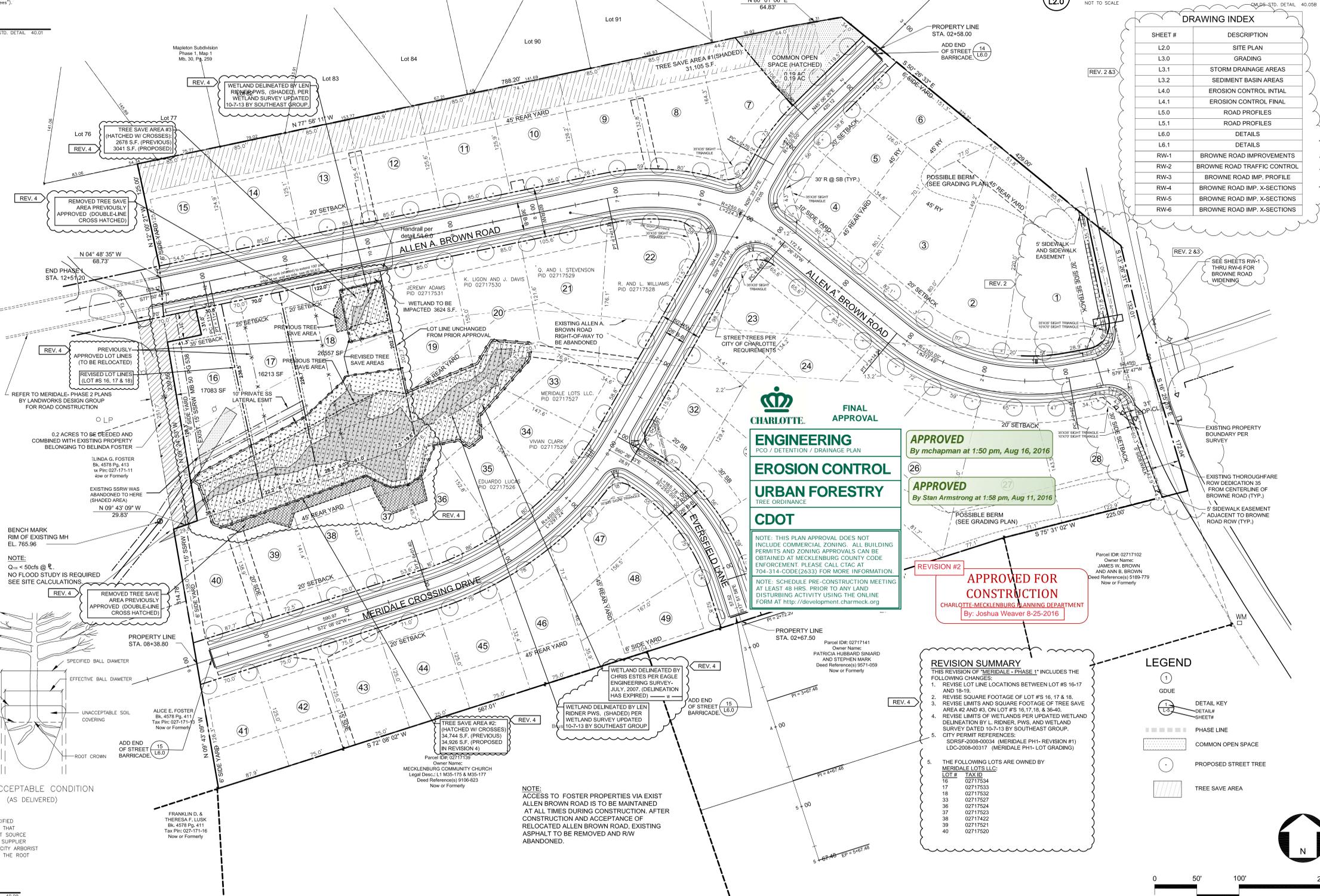


SHRUB PLANTING BED



DRAWING INDEX

Table with columns: SHEET #, DESCRIPTION
L2.0 SITE PLAN
L3.0 GRADING
L3.1 STORM DRAINAGE AREAS
L3.2 SEDIMENT BASIN AREAS
L4.0 EROSION CONTROL INITIAL
L4.1 EROSION CONTROL FINAL
L5.0 ROAD PROFILES
L5.1 ROAD PROFILES
L6.0 DETAILS
L6.1 DETAILS
RW-1 BROWNE ROAD IMPROVEMENTS
RW-2 BROWNE ROAD TRAFFIC CONTROL
RW-3 BROWNE ROAD IMP. PROFILE
RW-4 BROWNE ROAD IMP. X-SECTIONS
RW-5 BROWNE ROAD IMP. X-SECTIONS
RW-6 BROWNE ROAD IMP. X-SECTIONS



ENGINEERING PCO / DETENTION / DRAINAGE PLAN
EROSION CONTROL URBAN FORESTRY
CDOT
APPROVED By mchapman at 1:50 pm, Aug 16, 2016
APPROVED By Stan Armstrong at 1:58 pm, Aug 11, 2016

APPROVED FOR CONSTRUCTION
By Joshua Weaver 8-25-2016

REVISION SUMMARY
THIS REVISION OF "MERIDALE - PHASE 1" INCLUDES THE FOLLOWING CHANGES:
1. REVISE LOT LINE LOCATIONS BETWEEN LOT #S 16-17 AND 18-19.
2. REVISE SQUARE FOOTAGE OF LOT #S 16, 17 & 18.
3. REVISE LIMITS AND SQUARE FOOTAGE OF TREE SAVE AREA #2 AND #3, ON LOT #S 16, 17, 18, & 36-40.
4. REVISE LIMITS OF WETLANDS PER UPDATED WETLAND DELINEATION BY L. RIDNER, PWS, AND WETLAND SURVEY DATED 10-7-13 BY SOUTHEAST GROUP.
5. CITY PERMIT REFERENCES:
SORSF-2006-0004 (MERIDALE PH1- REVISION #1)
LDC-2009-0317 (MERIDALE PH1- LOT GRADING)

LEGEND
1 GDUE
2 DETAIL KEY SHEETS
3 PHASE LINE
4 COMMON OPEN SPACE
5 PROPOSED STREET TREE
6 TREE SAVE AREA

Landworks Design Group, P.A.
805 W. 10th St., Suite 100
Charlotte, NC 28202
704-941-6004 Fax: 704-941-7123

REVISION #2 (TO APPROVED SUBDIVISION)
MERIDALE PHASE 1
CURRENT OWNER: MERIDALE LOTS LLC
(OBJECT DEVELOPER: YOUNGS POND, LLC)
CHARLOTTE, NC

SITE PLAN

Professional Engineer Seal: THOMAS M. MURPHY, No. 398, 7/18/16, State of North Carolina, License No. C-253

REVISIONS:
By: SSW
Date: 3-28-07
No.: 1
By: SSW
Date: 3-18-08
No.: 2
By: M.M.
Date: 6-11-08
No.: 3
By: S.H.
Date: 7-18-10
No.: 4

Project Manager: SSW
Drawn By: SH, TMM
Checked By: TMM
Date: 01-31-07
Project Number: 06019
Sheet Number:

L2.0