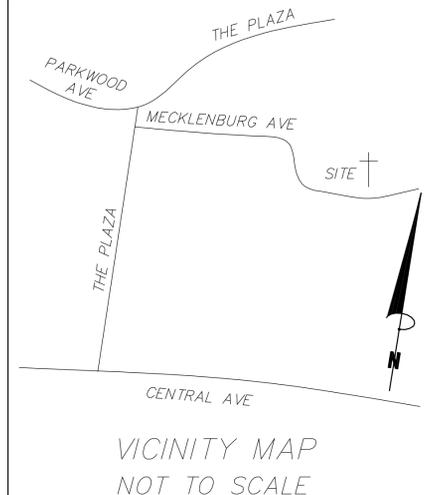


PRELIMINARY SUBDIVISION PLAN

CEDAR VILLAGE

2245 MECKLENBURG AVENUE

CHARLOTTE, MECKLENBURG CO., NC



FULLER CONSULTING SERVICES

3055 Wilshire Tr.
Matthews, NC 28105
call (704) 845-2860
fax (704) 845-2850
Firm License # F1196
wanda@fuller.com
gmat@fuller.com

Wanda G. Fuller, P.E.

OCTOBER 31, 2016

REVISION

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By: Joshua Weaver 12-8-2016

CHARLOTTE

FINAL APPROVAL

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

URBAN FORESTRY
TREE ORDINANCE

CDOT

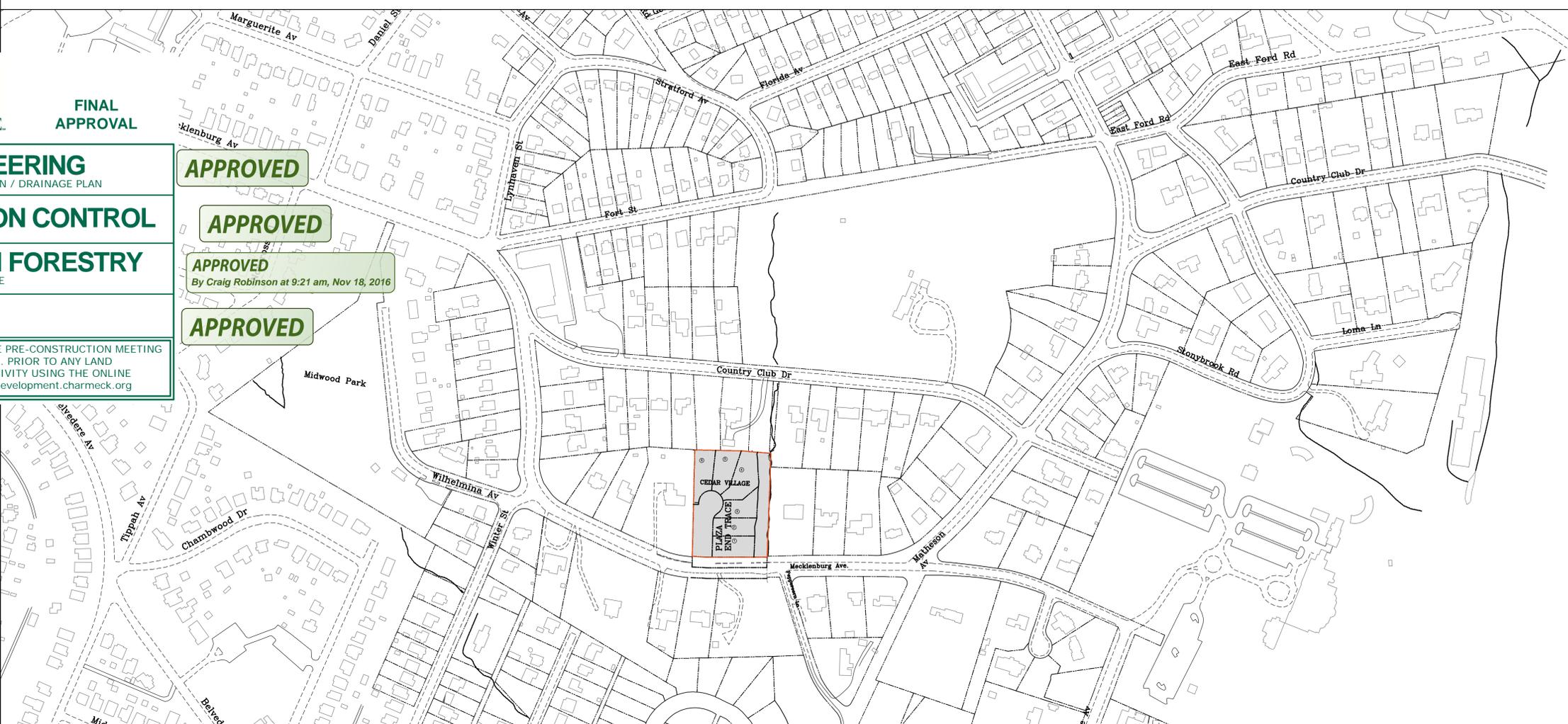
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

APPROVED

APPROVED

APPROVED
By Craig Robinson at 9:21 am, Nov 18, 2016

APPROVED



INDEX OF SUBDIVISION PLANS: (20 SHEETS)

- C-1.0 COVER SHEET
- C-1.1 DEMOLITION AND EX. IMPERVIOUS AREA PLAN
- C-1.2 SUBDIVISION PLAN
- C-1.3 SUBDIVISION SITE PLAN AND PR. MAXIMUM IMPERVIOUS AREA
- C-1.4 LANDSCAPE PLAN
- C-1.5 UTILITY SERVICE PLAN
- C-1.6 CEDAR VILLAGE CT. PLAN / PROFILE
- C-1.7 MECKLENBURG AVE. SIGHT DISTANCE PLAN /PROFILE
- C-2.0 GRADING PLAN
- C-2.1 EROSION CONTROL PLAN - PHASE 1
- C-2.2 EROSION CONTROL PLAN - PHASE 2
- C-3.0 SITE DETAILS
- C-3.1 SITE AND LANDSCAPE DETAILS
- C-3.2 STORM DRAINAGE AND EROSION CONTROL DETAILS
- C-3.3 EROSION CONTROL DETAILS
- C-4.0 100 + 1 DRAINAGE AREA MAP
- C-4.1 100 + 1 CROSS SECTIONS
- DR-1 EXISTING DRAINAGE AREA MAP
- DR-2 PROPOSED STORM DRAINAGE AREA MAP
- DR-3 PROPOSED DITCH DRAINAGE AREA MAP
- EX. BOUNDARY AND TOPOGRAPHIC SURVEY WITH CROSS SECTIONS

CHARLOTTE MECKLENBURG WATER (4 SHEETS)

COVER SHEET

WATER AND SEWER PLAN SHEET

SEWER PLAN AND PROFILE

WATER AND SEWER DETAILS

PCCO SUMMARY

Original Parcel ID Number(s):	# 09504409	
Development Type:	Single-Family	
Subject to PCCO? Y/N	Y	
# NO. why?	Click for Dropdown --	
Watershed:	Central Catawba	
Disturbed Area (ac):	1.62 AC	
Site Area (ac):	2.03 AC	
	DA#1	DA#2
Total on-site Drainage Area (ac):	1.34	
Existing Built-upon-area (SF):	14,707	
Existing BUA to be removed (SF):	14,707	
Existing BUA to remain (SF) (Providing 85% TSS):	0	
Proposed New BUA (SF):	41,758	
Proposed % BUA:	47.23%	
Density (High / Low):	High	
Total Post-Project BUA for site:	41,758	
Development or Redevelopment?	Development	
Natural Area Required (ac):	0.28	
Natural Area provided, total (ac):	0.28	
Undisturbed Treed Natural Area Preserved (ac):	0.28	
Total stream buffer protected on-site (ac):	0.28	
Transit Station Area? Y/N	NO	
Distressed Business District? Y/N	YES	
Mitigation Type (if applicable):	Payment in-lieu	
Natural Area mitigation? Y/N	NO	
Buffer Mitigation? Y/N	NO	
Total Phosphorous Mitigation? Y/N	NO	

CLASSICA

HOMES DESIGNED FOR LIVING

PRELIMINARY SUBDIVISION PLAN

CEDAR VILLAGE

2245 MECKLENBURG AVENUE

CHARLOTTE, MECKLENBURG CO., NC

COVER SHEET

ZONING CODE SUMMARY

PROJECT NAME: CEDAR VILLAGE SUBDIVISION PARCEL # : 09504409

CLIENT: CLASSICA HOMES - RICK JASINSKI PHONE # 704-940-3918

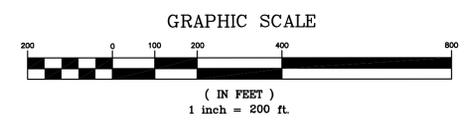
PLANS PREPARED BY: FULLER CONSULTING SERVICES PHONE: 704-622-6520 or 704-845-2860

ZONING: R-3 JURISDICTION: CITY OF CHARLOTTE

PROPOSED USE: RESIDENTIAL CLUSTER SUBDIVISION

BUILDING HEIGHT: MAX. 40' Feet STORIES: 1-3

LOT SIZE: 2.03 AC. Sq. Ft./Acres NUMBER OF UNITS/SUITES: 6 LOTS



811

ALL UNSUBSCRIBERS MUST BE CONTACTED DIRECTLY.

Know what's below. Call before you dig.

OWNER / DEVELOPER:

RICK JASINSKI
V.P. LAND ACQUISITION & DEVELOPMENT
Classica Homes
2215 AYRSLEY TOWN BLVD., SUITE G
CHARLOTTE, NC 28273
(w) 704-940-3918
(m) 704-201-8976
rjasinski@classicahomes.com

PERMIT STATUS

DATE	SUBMITTED TO	SUBMITTED FOR	APPROVED	PROJECT/PERMIT NO.
2/15/16	Charlotte Planning	SKETCH PLAN	COMMENTS	SDSKSF-2016-0002
4/22/16	Accela-Subdivision	Preliminary Subdivision	1st Submit	SDRSF-2016-00031
05/27/16	Accela-Subd.	Preliminary Subd.	RECD	1st Review Comments
06/22/16	Accela-Subd.	Preliminary Subd.	Resubmit	2nd Resubmittal
08/03/16	Accela-Subd.	Preliminary Subd.	Resubmit	3rd Resubmittal
08/30/16	Accela-Subd.	Preliminary Subd.	Approved	09-26-16

REVISION TO APPROVED PLAN

NO.	DATE	REVISION		
10/31/16	Accela-Subd.	Preliminary Subd.	1st Subd.	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

REVISIONS

NO.	DATE	REVISION
10/31/16	REVISION TO APPROVED PLAN	

DRAWN BY: WGF

CHECKED BY: WGF

APPROVED BY: WGF

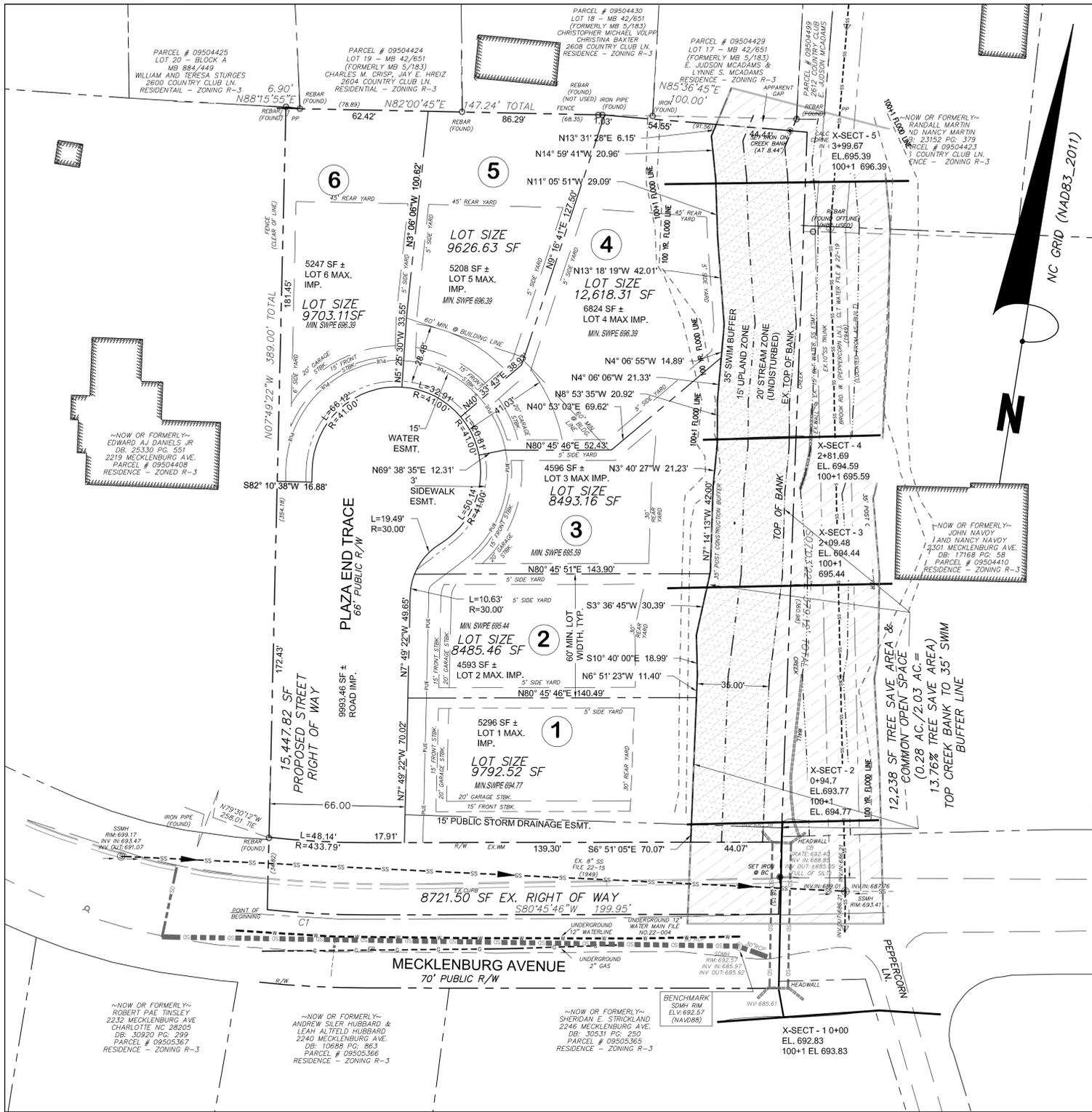
JOB NO. MECK. AVE.

DATE: APRIL 18, 2016

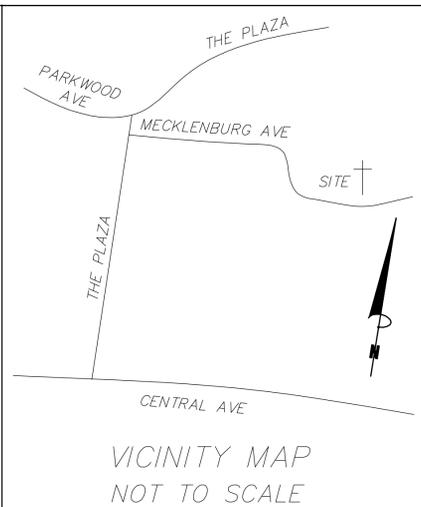
SHEET NO.

C-1.0 OF 21

C:\working\cedar_mek\meck_ave\pco\cedar_village_base_102716.classica_homes.dwg - C:\B COVER_10/29/2016 12:35:29 PM
Adobe PDFS45456-300-106612.pcs ARCH D. 11 WANDA WANDA

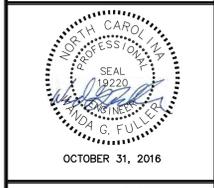


- ZONING DESIGNATION "R-3" (PER CITY OF CHARLOTTE ZONING ORDINANCE) LAYOUT BASED ON R-3 CLUSTER DEVELOPMENT (BASED ON TREE SAVE AREA BEING GREATER THAN 10%) MINIMUM CLUSTER BLDG. SETBACKS.
- TREE ORDINANCE, SECT. 21-95(f)(1) REDUCED YARDS, (3) REDUCED LOT SIZE - CLUSTER DEVELOPMENT.
- FRONT SETBACK = 15 FT. GARAGE SETBACK = 20' FROM STREET R/W (DETACHED GARAGES MAY NOT BE IN FRONT OF THE HOUSE.) SIDE YARD = 5 FT. INTERIOR; 6 FT. EXTERIOR REAR = 45 FT. EXTERIOR; 30 FT. INTERIOR MIN. LOT SIZE = 8,000 SF MIN., LOT 2 - 8485.46 SF±
- MIN. LOT WIDTH = 60'
- MAX. BLDG. HGT. = 40'
- PARCEL # 09504409 EX. ADDRESS 2245 MECKLENBURG AVE. EX. ACREAGE = 2.232 AC.± TO CENTERLINE OF STREET 2.03 AC.± TO EX. STREET R/W
- THE EXISTING LOT IS AN EX. HOME.
- THE EXISTING LOT IS NOT WITHIN A FLOOD ZONE.
- 6 LOTS TO BE SUBDIVIDED FROM THE 1 EX. LOT.
- 13.76% TREE SAVE AREA AND COMMON OPEN SPACE ALONG EASTERN PROPERTY LINE.
- 35' SWIM BUFFER ALONG EASTERN PROPERTY LINE.
- ALL ADJACENT ZONING IS R-3.
- PROPOSED STREET SECTION WILL BE LOCAL RESIDENTIAL MEDIUM STREET - U-02 DETAIL.
- ALL STREET TREE REQUIREMENTS AND LANDSCAPE REQUIREMENTS WILL BE MET.
- REMOVED.
- PUBLIC WATER AND SEWER SERVICE WILL BE FROM EX. PUBLIC LINES IN MECKLENBURG AVE.
- ALL MAPPING SHALL COMPLY WITH GS 47-30.
- NO KNOWN EASEMENTS ON THE PROPERTY.
- OPEN SPACE WILL BE DEDICATED TO THE HOME OWNERS ASSOC.
- DENSITY: PERMITTED 3 DUA / AC = 2.03 AC. X 3 = 6.18 UNITS. SHOWN: 6 LOTS = 3 DUA / AC.
- MINIMUM FINISHED FLOOR ELEVATION FROM 100+1 STUDY, EL. 693.15.
- TREE SAVE AREA AND SWIM BUFFER AREA TO BE FIELD SURVEYED AND PINNED PER CHARLOTTE MECKLENBURG SUBDIVISION, URBAN FORESTRY, POST CONSTRUCTION, AND SWIM BUFFER ORDINANCES.

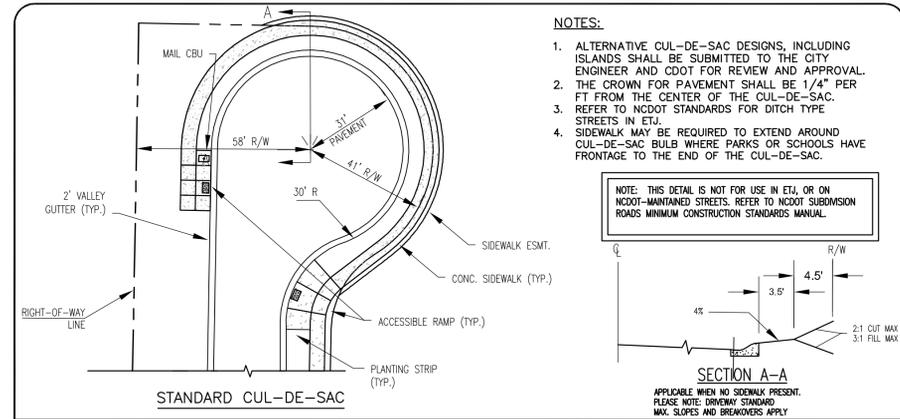


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 3055 Winding Tr.
 Matthews, NC 28105
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 (704) 842-6520
 Fax: (704) 842-6520
 wanda@fullerpe.com
 gmat@fullerpe.com

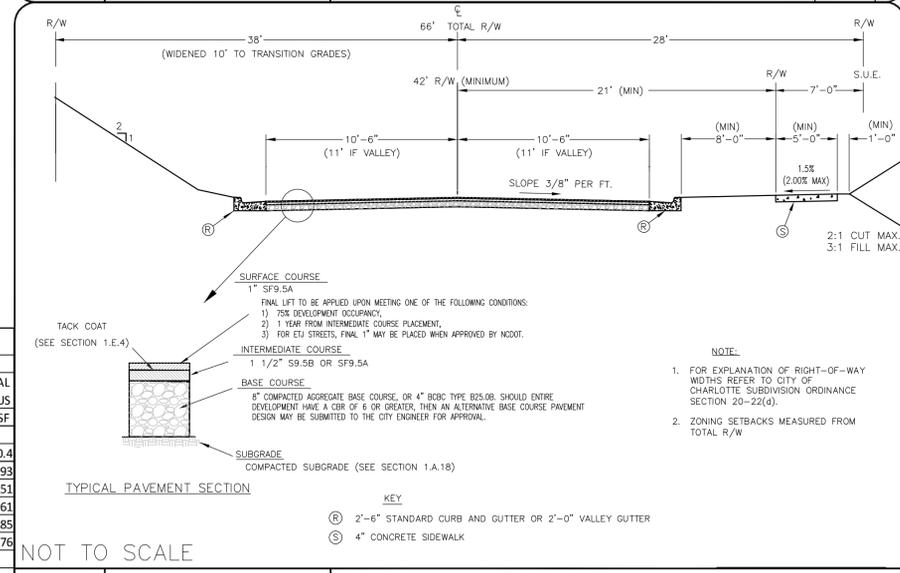


CLASSICA
 HOMES DESIGNED FOR LIVING



- NOTES:
- ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND CDOT FOR REVIEW AND APPROVAL.
 - THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC.
 - REFER TO NCDOT STANDARDS FOR DITCH TYPE STREETS IN E.T.U.
 - SIDEWALK MAY BE REQUIRED TO EXTEND AROUND CUL-DE-SAC BULB WHERE PARKS OR SCHOOLS HAVE FRONTAGE TO THE END OF THE CUL-DE-SAC.

CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS
 CITY OF CHARLOTTE RESIDENTIAL CUL-DE-SAC DETAIL
 NOT TO SCALE
 SHEET NO. 11.16.13



CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS
 LOCAL RESIDENTIAL MEDIUM STREET TYPICAL SECTION
 NOT TO SCALE
 SHEET NO. U-02.13

PRELIMINARY SUBDIVISION PLAN
CEDAR VILLAGE
 2245 MECKLENBURG AVENUE
 CHARLOTTE, MECKLENBURG CO., NC
 SUBDIVISION PLAN

REVISIONS

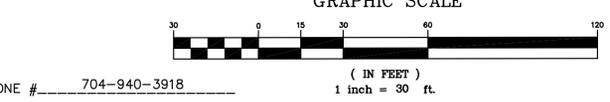
NO.	DATE	REVISION
1	10/31/16	REVISION TO APPROVED PLAN

DRAWN BY: WGF
 CHECKED BY: WGF
 APPROVED BY: WGF
 JOB NO. MECK. AVE.
 DATE: APRIL 18, 2016

SHEET NO. **C-1.2** OF 21

ZONING CODE SUMMARY

PROJECT NAME: CEDAR VILLAGE
 CLIENT: CLASSICA HOMES - RICK JASINSKI PHONE # 704-940-3918
 PLANS PREPARED BY: FULLER CONSULTING SERVICES PHONE: 704-622-6520 or 704-845-2860
 ZONING: R-3 JURISDICTION: CITY OF CHARLOTTE
 PROPOSED USE: RESIDENTIAL CLUSTER SUBDIVISION
 BUILDING HEIGHT: MAX. 40' Feet STORIES: 1-3
 LOT SIZE: 2.03 AC. Sq. Ft./Acres NUMBER OF UNITS/SUITES: 6 LOTS



LINE TABLE

LINE	BEARING	LENGTH
L1	N88°15'55"E	6.90

CURVE TABLE

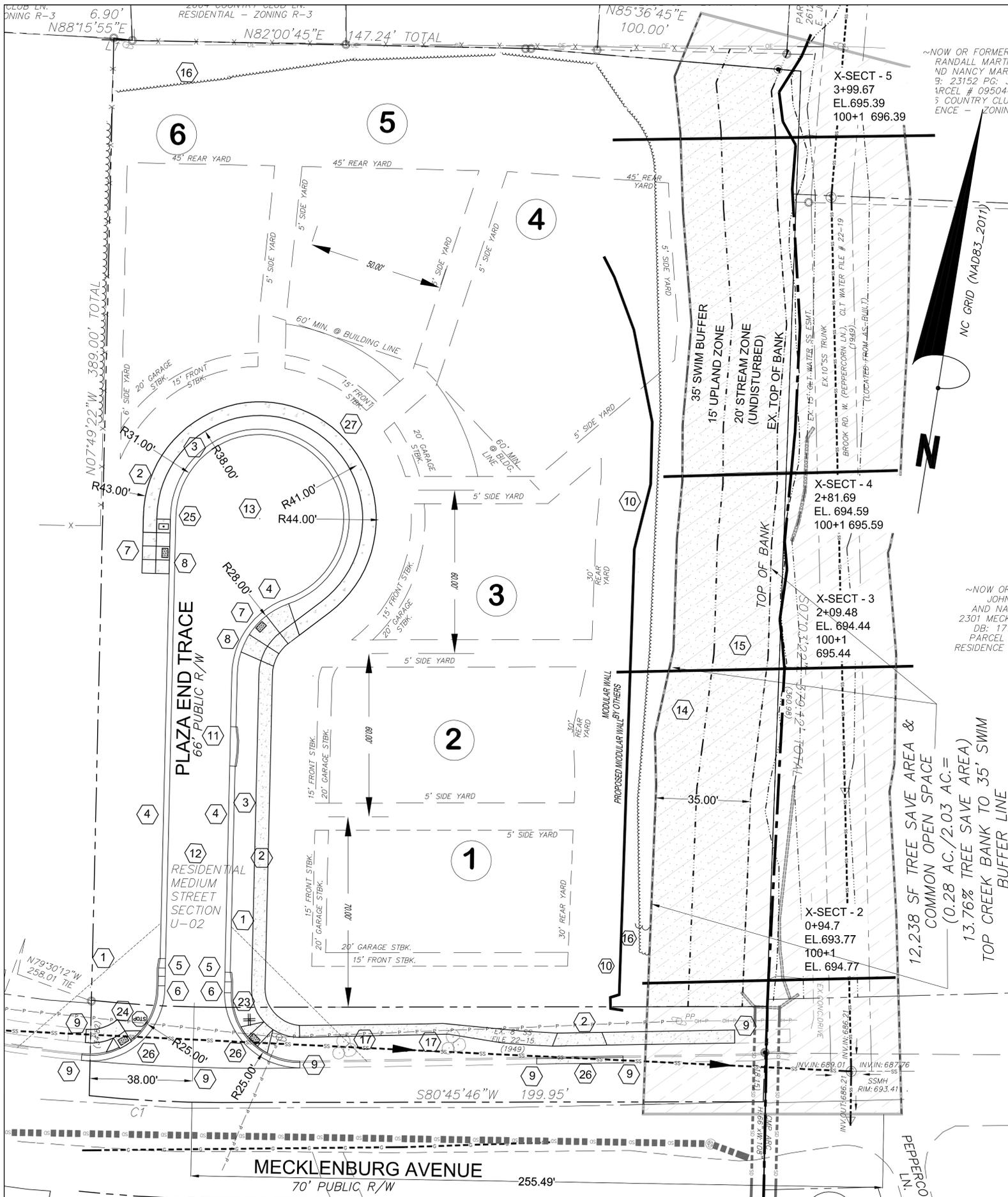
CURVE	RADIUS	LENGTH	BEARING	CHORD
C1	468.79	49.00	S83°31'47"W	48.98

CEDAR VILLAGE LOT INFORMATION

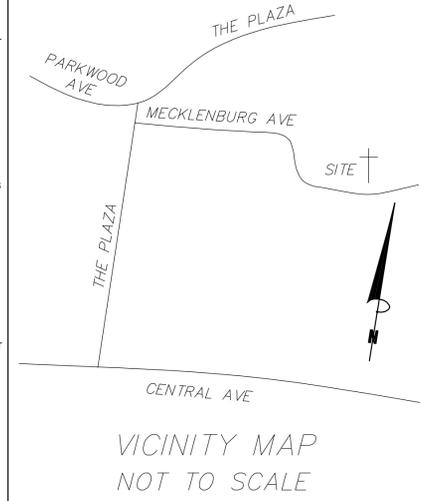
LOT NO.	LOT AREA SF	MAX. HOUSE COVERAGE %	PR. HOUSE COVERAGE SF	% HOUSE COVERAGE	MAX. IMPERVIOUS SF	ACTUAL IMPERVIOUS SF	ADDITIONAL IMPERVIOUS ALLOWED SF	
1	9793.52	35	3427.73	30.95%	5296	3375.6	1920.4	
2	8485.46	40	3394.18	35.72%	4593	3335.07	1257.93	
3	8493.16	40	3397.26	2943.38	34.66%	4596	3454.49	1141.51
4	12618.31	35	4416.41	2499.33	19.81%	6824	3191.39	3632.61
5	9626.63	35	3369.32	2736.23	28.42%	5208	3571.15	1636.85
6	9703.11	35	3396.09	3122.25	32.18%	5247	3822.24	1424.76
ROAD	15447.82					9993.46	9993.46	
	74168.01			17363.43		41757.46	47.46% IMP.	

811
 Know what's below.
 Call before you dig.

ALL UNSUBSCRIBERS MUST BE CONTACTED DIRECTLY.



- SITE GENERAL NOTES:**
1. ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE WITH DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON SITE PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'. CONTROL JOINTS AND EXPANSION JOINTS TO BE AT INDUSTRY STANDARDS.
 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 3. SEE ARCHITECTURAL PLAN FOR COORDINATION OF ALL BUILDING DIMENSIONS, FEATURES, DOORS, RAMPS, DECKS, SIDEWALKS, STAIRS AND HANDRAILS, ETC.
 4. BENCHMARK LOCATIONS AND ELEVATIONS WILL BE VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
 5. ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH CITY OF CHARLOTTE MCDOT, NCDENR AND CLT WATER STANDARDS AND SPECIFICATIONS. WHEN SPECIFICATIONS ARE IN CONFLICT, THE STRICTER SPECIFICATION SHALL BE HELD.
 6. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ONLY. ANY DAMAGE DONE TO EXISTING UTILITIES (SHOWN OR NOT SHOWN) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. TO INSURE PROPER LOCATION OF THE UTILITIES, THE CONTRACTOR SHALL CONTACT NC 811 FOR UTILITY LOCATIONS. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, NON-SUBSCRIBERS SHALL BE CONTACTED DIRECTLY.
 7. FULLER CONSULTING SERVICES HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, OR UNDER THE SUBJECT PROPERTY OR IN ITS WATERS; NOR, IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHERMORE, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN. THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD THEY EXIST.
 8. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER'S REPRESENTATIVE AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE CITY, THE OWNER'S REPRESENTATIVES OR THE ENGINEER.
 9. GRADING AREAS OUTSIDE THE LIMITS SHOWN IS A VIOLATION AND IS SUBJECT TO AN IMMEDIATE FINE.
 10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 11. FULLER CONSULTING SERVICES HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS AND DESIGN IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING EXPRESSED WRITTEN PERMISSION FROM FULLER CONSULTING SERVICES.
 12. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. FULLER CONSULTING SERVICES MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS, CONDITIONS, AND SPECIFICATIONS SHOWN BY THESE DRAWINGS.
 13. CONTRACTOR TO FIELD VERIFY PROPERTY LINE AND BUILDING DIMENSIONS PRIOR TO ANY CONSTRUCTION AND TO NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES ARE PRESENT.
 14. ALL SPOT ELEVATIONS ARE SHOWN AT TOP OF GRADE OR PAVEMENT, UNLESS OTHERWISE NOTED.
 15. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID.
 16. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK.
 17. THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE NOTED.
 18. THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION. CONTRACTOR(S) SHALL PROVIDE ADEQUATE SUPERVISION TO PREVENT DAMAGE AND MOVEMENT FROM EQUIPMENT WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE & BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGED BY THE CONTRACTOR AT NO COST TO THE OWNER.
 19. ALL EXISTING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
 20. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT FOR A SMOOTH EDGE.
 21. TREE SAVE NOTES:
 - a. TEMPORARY TREE SAVE FENCING INSTALLED PRIOR TO ANY GRADING OR CONSTRUCTION OCCURS. CONTRACTOR SHALL MAINTAIN TREE SAVE FENCING UNTIL THE CITY ALLOWS ITS REMOVAL. REMOVAL OF THE FENCING SHALL BE INCLUDED HEREIN.
 - b. THE SITE WORK CONTRACTOR(S) SHALL BE FAMILIAR WITH AND OBSERVE THE APPLICABLE REQUIREMENTS. ANY QUESTIONS SHOULD BE DIRECTED TO THE PROJECT CIVIL ENGINEERING REPRESENTATIVE.
 - c. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - d. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 2% ON CONCRETE OR PAVEMENT, IF POSSIBLE; A MINIMUM OF 0.5% SLOPE ON CURB LINES. SLOPE ALL GRADES AWAY FROM BLDG. FOUNDATIONS. PROVIDE SPLASH PADS AS A MINIMUM AT ALL DOWNSPOUTS.
 - e. COORDINATE ALL INGRESS AND EGRESS INTO THE SITE AND BUILDING WITH OWNER. PROVIDE NECESSARY SAFETY BARRIERS, AS NEEDED, TO CHANGE VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE CONSTRUCTION SITE. COORDINATE MATERIAL LAYDOWN AREA WITH OWNER.
 - f. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES AND OTHER ABOVE AND BELOW-GRADE IMPROVEMENTS ARE APPROXIMATELY AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE AND INVERT ELEVATIONS OF SUCH PRIOR TO START OF CONSTRUCTION.
 - g. ALL "STD" NUMBERS REFER TO THE LATEST EDITION OF THE CHARLOTTE LAND DEVELOPMENT STANDARDS.
 - h. CONTRACTOR SHALL MAINTAIN CREEK OR BACKWASH CHANNEL IN AN UNOBSERVED STATE AND SHALL REMOVE FROM THE CHANNEL ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
 - i. THE CITY OF CHARLOTTE ENGINEERING DEPT. HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
 - j. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION OR SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION.
 - k. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SCHEDULING THE WORK FOR INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES AND REGULATIONS OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK.
 - l. THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
 - m. THIS SITE IS MEETING THE REQUIREMENTS OF THE POST CONSTRUCTION CONTROLS ORDINANCE BY PAYING A MITIGATION FEE AS ALLOWED IN SECTION 1618(B)(3) OF THE ORDINANCE. THE IMPERVIOUS AREA WHICH EXCEEDS THE TOTAL OF ALL NEW IMPERVIOUS AREAS INCLUDING IMPERVIOUS AREAS THAT HAVE BEEN REMOVED AND REPLACED, THE IMPERVIOUS AREA FOR THIS PROJECT IS 0.958 ACRES. THE MITIGATION FEE MUST BE PAID TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT WHEN PLANS ARE APPROVED.
 - n. ALL COMPACTION TO BE PER GEOTECHNICAL ENGINEERS REPORT AND GEOTECHNICAL ENGINEER. ALL 2:1 SLOPES GREATER THAN 10' HIGH MUST BE CERTIFIED BY A GEOTECHNICAL ENGINEER FOR STABILITY AND COMPACTION, SO THE 10' BENCH IS NOT REQUIRED. PROVIDE THE ENGINEER'S RECOMMENDATIONS FOR ALL COMPACTION, LININGS, ETC.
 - o. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL LOCAL AND STATE REQUIREMENTS.
 - p. ALL DISCREPANCIES FOUND IN THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
 - q. COORDINATE ALL DISRUPTION OF ANY UTILITY SERVICES AND INGRESS AND EGRESS WITH THE OWNER OR OWNER'S REP.
 - r. THIS SITE IS LOCATED WITHIN THE CENTRAL CATAWBA PCO DISTRICT.
 - s. SEE DETAILS AND NOTES, SHT. C-1.0
 - t. LOT LAYOUTS ARE APPROXIMATE AND MAY BE ADJUSTED WITHIN THE ZONING PARAMETERS AND THE IMPERVIOUS AREA PARAMETERS.
 - u. COORDINATE ALL DRIVEWAY LOCATIONS WITH STREET TREES, WATER AND SEWER TAPS, ETC.
 - v. THERE WILL BE NO DEMOLITION LANDFILL ON SITE. NO BURIALS WILL BE ALLOWED. DISPOSE OF DEBRIS TO AN APPROVED LEGAL LANDFILL SITE OR AS OTHERWISE DIRECTED BY THE OWNER.
 - w. COMPLETION DATE: CONSTRUCTION SCHEDULE WILL BE COMMENCEMENT UPON RECEIPT OF PERMITS AND ESTIMATING BETWEEN 6 TO 9 MONTHS FOR CONSTRUCTION AND INITIAL GRADING. HOUSE CONSTRUCTION WILL BE STAGGERED.



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RICK JASINSKI
 V.P. LAND ACQUISITION & DEVELOPMENT
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 (m) 704-201-8976
 rjasinski@classicahomes.com

EX. LEGEND:
 PM = POWER METER
 GM = GAS METER
 AC = AIR CONDITIONING
 WM = WATER METER
 R/W = RIGHT OF WAY
 PP = POWER POLE
 LP = LIGHT POLE
 CB = CATCH BASIN
 BC = BACK OF CURB
 EP = EDGE OF PAVEMENT
 OE = OVERHEAD ELECTRICITY

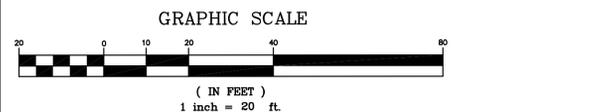
- SITE TAGS:**
- 50' X 50' SIGHT TRIANGLES FROM PROPOSED CURB LINE AND EX. CURB LINE
 - 5" CONCRETE SIDEWALK (10.22)
 - 6" PLANTING STRIP, MINIMUM
 - 2" VALLEY CURB AND GUTTER (10.17)
 - 2" VALLEY CURB TRANSITION TO 2'-6" CURB AND GUTTER (10.30)
 - CATCH BASIN PLACEMENT AT INTERSECTIONS (10.30)
 - WHEEL CHAIR RAMP (10.33A & 10.33B)
 - TRUNCATED DOME DETAIL (10.35B)
 - SAW CUT ALL PAVEMENT AND CONCRETE WHERE BUTTING UP TO NEW PAVEMENT AND/OR CONCRETE
 - MODULAR BLOCK WALL, (DESIGN BY OTHERS)
 - EX. CURB TRANSITION FOR CATCH BASIN (10.29)
 - RESIDENTIAL MEDIUM STREET SECTION (1.02)
 - RESIDENTIAL CUL DE SAC (11.16)
 - SWIM BUFFER
 - TREE SAVE AREA AND COMMON OPEN SPACE
 - PROPOSED TREELINE
 - EX. CREPE MYRTLE, TO REMAIN
 - STREET SIGN (60.05A & B)
 - STOP SIGN
 - MAIL BOX (CBU)
 - 2'-6" CURB AND GUTTER (10.17)
 - 3' WIDE SIDEWALK EASEMENT
 - INSTALL SLEEVE FOR WATERLINE THROUGH WALL

SITE LEGEND	Existing	Proposed
CONTOUR	---	---
TREELINE	---	---
SWIM BUFFER HATCH	---	---
RIGHT OF WAY	---	---
BUILDING	---	---
CONCRETE	---	---
PROPERTY LINE/LOT LINE	---	---
RIGHT OF WAY	---	---
EDGE OF PAVEMENT (EOP)	---	---
CURB AND GUTTER	---	---
SIDEWALK	---	---
GAS	---	---
WATER	---	---
SANITARY SEWER	---	---
POWER	---	---
STORM DRAIN LINE	---	---
CATCH BASIN	---	CB-1
DROP INLET	---	DI-1
SEWER MANHOLE	---	---
WATER METER	---	---
SWIM BUFFER HATCH	---	---

SEE SHT. C-1.0 COVER SHEET FOR PCO SUMMARY CHART

CEDAR VILLAGE LOT INFORMATION

LOT NO.	LOT AREA SF	MAX. HOUSE COVERAGE SF	PR. HOUSE COVERAGE SF	% HOUSE COVERAGE	MAX. IMPERVIOUS SF	ACTUAL IMPERVIOUS SF	ADDITIONAL IMPERVIOUS ALLOWED SF
1	9793.52	35	3427.73	30.91%	5296	3375.6	1920.4
2	8485.46	40	3394.18	39.99%	4593	3335.07	1257.93
3	8493.16	40	3397.26	39.99%	4596	3454.49	1141.51
4	12618.31	35	4416.41	34.98%	6824	3191.39	3632.61
5	9626.63	35	3369.32	34.99%	5208	3571.15	1636.85
6	9703.11	35	3396.09	35.00%	5247	3822.24	1424.76
ROAD	15447.82				9993.46	9993.46	
	74168.01		17363.43		41757.46	47.46% IMP.	



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NORTH CAROLINA PROFESSIONAL SEAL
 19220
 WANDA G. FULLER
 OCTOBER 31, 2016

CLASSICA HOMES
 HOMES DESIGNED FOR LIVING

PRELIMINARY SUBDIVISION PLAN
CEDAR VILLAGE
 2245 MECKLENBURG AVENUE
 CHARLOTTE, MECKLENBURG CO., NC
SUBDIVISION SITE PLAN AND
PROP. MAX. IMPERVIOUS AREA

REVISIONS

NO.	DATE	REVISION TO APPROVED PLAN
1	10/31/16	REVISION TO APPROVED PLAN

DRAWN BY: WGF
 CHECKED BY: WGF
 APPROVED BY: WGF
 JOB NO. MECK. AVE.
 DATE: APRIL 18, 2016
 SHEET NO. **C-1.3** OF 21