

- LAYOUT NOTES:**
- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
  - SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
  - ALL DIMENSIONS AND RADII ARE TO THE **BACK OF CURB** UNLESS OTHERWISE NOTED.
  - ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
  - LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
  - ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  - REQUIRED LIGHTING ALONG PUBLIC AND PRIVATE STREETS TO BE COORDINATED WITH ELECTRICAL ENGINEER.
  - ALL PUBLIC AND PRIVATE STREET SECTIONS PER CLDSM STANDARDS.
  - PROVIDE TWO BIKE SPACES, OR ONE BIKE SPACE PER 20 UNITS (274 UNITS=14 BIKE SPACES)
  - REFER TO CDOT WORK AREA TRAFFIC CONTROL HANDBOOK AND NCDOT ROADWAY STANDARD DRAWINGS (DIVISION 11) FOR ADDITIONAL INFORMATION.
  - ALL TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE CDOT WORK AREA TRAFFIC CONTROL HANDBOOK, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT.
  - ALL CURB AND GUTTER SHALL HAVE A RADIUS OF (5) FIVE FEET AT THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  - PROVIDE 60"x60" CONCRETE LANDING AT EACH DISCHARGE DOOR WITH 2% MAX SLOPE IN ANY DIRECTION. LANDING TO BE PLACED TO PROVIDE MINIMUM OF 18' MANEUVERING CLEARANCE ON LATCH/PULL SIDE OF THE DOOR. TYPICAL FOR ALL DISCHARGE DOORS.
  - ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 30 FEET IN HEIGHT AND BE FULLY SHIELDED. NO WALL PACKS WILL BE INSTALLED ON BUILDINGS WITHIN THE SITE ON ANY WALLS THAT ARE ADJACENT TO RESIDENTIALLY ZONED LAND OR PUBLIC STREET RIGHT-OF-WAY BUT ARCHITECTURAL LIGHTING ON THE BUILDING WILL BE PERMITTED. WHERE WALL PACK TYPE LIGHTING IS USED, IT MUST UTILIZE LIGHT FIXTURES THAT DIRECT THE LIGHT DOWNWARD INTO THE SITE. PEDESTRIAN LIGHTING, AS ESTABLISHED THROUGHOUT THE BEREWICK COMMUNITY, WILL BE INSTALLED AS PART OF THE DEVELOPMENT OF AREAS INCLUDED WITHIN THIS PETITION EXCEPT FOR THE BUSINESS PARK AREAS.

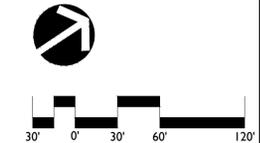
**SITE DATA:**

TAX MAP NO:	19923106 (LOCATED IN CHARLOTTE CITY LIMITS) 19923126, 19924137 (LOCATED IN ETJ)
REZONING PETITION:	2006-078 (JUNE, 2014 ADMINISTRATIVE AMENDMENT 12)
ZONING:	CC - LLWPA
SITE AREA:	+/- 13.26 ACRES
WATERSHED NOTES:	
DENSITY:	HIGH
MAX. IMPERVIOUS:	70%
SITE IMPERVIOUS:	342,592
SITE % IMPERVIOUS:	59.3
PROPOSED USE:	APARTMENTS FOR RENT (MULTI-FAMILY RESIDENTIAL)
PROPOSED UNITS:	275
DENSITY:	22 DUA
TOTAL UNITS ALLOWED:	910 UNITS FOR PARCEL A, REZONING 2006-078
TOTAL UNITS DEVELOPED:	516 UNITS FOR PARCEL A, REZONING 2006-078 (75 SINGLE FAMILY, 441 MULTI-FAMILY)
TOTAL UNITS REMAINING:	119 UNITS FOR PARCEL A, REZONING 2006-078**
PARKING REQUIRED:	1.5 SPACE PER UNIT (413 TOTAL SPACES)
PARKING PROVIDED:	464 SPACES - 409 SURFACE, 20 GARAGE, 20 ON-STREET (PRIVATE), & 15 ON-STREET (PUBLIC).
BICYCLE PARKING REQUIRED:	1 SHORT TERM SPACE/20 UNITS = 14 NO LONG TERM SPACES REQUIRED
BICYCLE PARKING PROVIDED:	15 SPACES
TREE SAVE REQUIRED:	10% (1.32 ACRES) OF OVERALL BEREWICK MASTER DEVELOPMENT
OPEN SPACE REQUIRED:	40% (5.30 AC) OF OVERALL BEREWICK MASTER DEVELOPMENT
OPEN SPACE PROVIDED:	± 5.4 ACRES
FRONT SETBACK:	15' - FROM BACK OF RIGHT-OF-WAY, PER SECTION 9.303(19)(F) OF ZONING ORDINANCE.
INTERNAL SIDE YARD:	5' - ADJACENT TO CC ZONING
EXTERNAL SIDE YARD:	70' - ADJACENT TO R-3 ZONING
REAR YARD:	40'
BUILDING SEPARATION:	16' MINIMUM
MAXIMUM BUILDING HEIGHT:	40' PER ZONING ORDINANCE
PROPOSED BUILDING HEIGHT:	± 70'-0" (4 LEVEL, 1 BASEMENT), SIDEYARD SETBACK ADJACENT TO EXISTING R-3 ZONING INCREASED FROM REQ 10' TO 70' PER ZONING ORDINANCE, TABLE 9.305(1)(g)(B).
TRASH & RECYCLING:	(1) 8 CY COMPACTOR PER 90 UNITS = +25.5 CY PICK UP REQUIRED MINIMUM 4 X 144 SF RECYCLING STATIONS (576 SF)
TRASH & RECYCLING:	(1) 40 CY TRASH COMPACTORS PICK UP PROVIDED +576 SF RECYCLING AREA
DEVELOPMENT SCHEDULE:	PROPOSED JUNE, 2016 - JULY OF 2017
GENERAL NOTES:	ALL UTILITIES WILL BE UNDERGROUND AS REQUIRED BY CURRENT DEVELOPMENT STANDARDS.

\*\* DENOTES THAT RETAIL AND OFFICE SPACE WITHIN THE PARCEL 'A' CAN BE CONVERTED TO RESIDENTIAL UNITS, UP TO A MAX. OF 200 ADDITIONAL UNITS, PER APPROVED REZONING, #2006-078. IN ORDER TO CONVERT SPACE, AN ADMINISTRATIVE APPROVAL WILL BE REQUIRED.

**LEGEND:**

- PROPERTY LINE
- CURB AND GUTTER
- ROADWAY UTILITY EASEMENT
- SIDEWALK EASEMENT
- SITE SETBACK LINE
- MODULAR BLOCK WALL
- CMU WALL WITH STONE VENEER



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15 Jun 2016



**SOLIS BEREWICK  
MULTI-FAMILY DEVELOPMENT  
OVERALL LAYOUT PLAN**

TERWILLIGERIPAPPAS, CHARLOTTE, NC  
5602 CADEN RD, CHARLOTTE, NC

DATE: 03.08.2016  
DESIGNED BY: JCV  
DRAWN BY: JCV  
CHECKED BY: JSI  
C.C. BY: KWW  
PROJECT #: 1015388  
SHEET #: **C-2.0**