



FINAL
APPROVAL
http://development.charmeck.org

ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

CDOT

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By: Joshua Weaver 12-17-2015

APPROVED
By Brendan Smith at 9:51 am, Dec 16, 2015

APPROVED

APPROVED
By gturner at 12:18 pm, Dec 17, 2015

APPROVED

LEGEND

- EXISTING PAVEMENT/CURB
- PROPOSED PAVEMENT/CURB
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- PROPOSED TREE SAVE AREA
- PROPOSED NATURAL AREA
- TREE PROTECTION FENCE



GENERAL NOTES

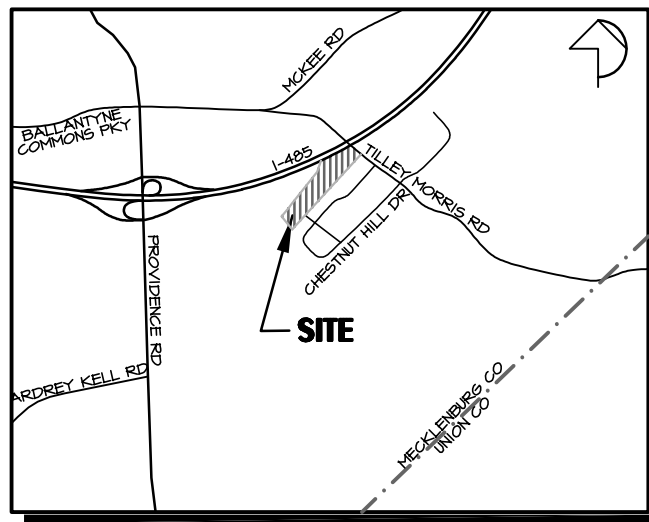
- THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING AND SUBDIVISION ORDINANCES, AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY PHOENIX AND SURVEYING.
- TOPOGRAPHIC INFORMATION TAKEN FROM PHOTOGRAMMETRIC MAPPING BY CITY OF CHARLOTTE SUPPLEMENTED WITH FIELD SHOTS.
- CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD PLAT FOR EXACT LOT DIMENSIONS.
- ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DEEMED NECESSARY BY THE INSPECTOR.
- REFERENCE SHEETS 6-4 FOR EROSION CONTROL PLAN AND NOTES, REFERENCE SHEET 11 & 12 FOR EROSION CONTROL DETAILS.
- CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 11 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:
 - ITEM: CURB AND GUTTER 10/11
 - ITEM: CURB TRANSITION 10/11
 - ITEM: CATCH BASIN LOCATION 10/24 & 10/30
 - ITEM: (C) BRICK CATCH BASIN 840.01 & 840.02
 - ITEM: (DC) DOUBLE CATCH BASIN 20/03 & 20/04
 - ITEM: STREET NAME SIGN 30/05
 - ITEM: SIDEWALK 10/22
- APPROXIMATE COMPLETION TIME IS FALL 2016.
- WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
- SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY HIC RAMPS AND/OR SIDEWALK.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNRESTRICTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- DRAINAGE EASEMENTS INDICATED AS SDE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50.05 (1" SIGNS ONLY).
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
- NON-STANDARD ITEMS (IE. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE CITY R/W REQUIRES A R/W ENCROACHMENT AGREEMENT WITH CDOT BEFORE INSTALLATION, CONTACT CDOT AT (704) 336-3668.

THE COVER SHEET IS FOR
THE OVERALL LOT LAYOUT
SEE THE SITE PLAN FOR
DETAILED INFORMATION

- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/ COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/ COUNTY SUBDIVISION ORDINANCE.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. M.H. IN CHESTNUT HILL RD., ELEVATION: 120.65 (NAD 83).
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmeck.org/departments/transportation/street-maintenance/home.htm>
- COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 9.205
- ALL ROAD IMPROVEMENTS AT TILLEY MORRIS RD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING & CDOT PRIOR TO CONSTRUCTION.
- TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORD. GUIDELINES STD.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
- NO SOIL DISTURBANCE OR CONSTRUCTION, CONSTRUCTION, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
- VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/ MITIGATION.
- NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.
- THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR ANY REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
- COMMON OPEN SPACE/ TREESAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEARED OF TRASH AND DEBRIS.
- THE PURPOSE OF THE STORM DRAINAGE ESMT. (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- IF SEaled SHOP DRAININGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
- SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- PER SECTION 16-115 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL ROAD NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA WILL BE PLANTED WITH 2" GALIPEE LARGE MATURING TREES FROM THE APPROVED SPECIES LIST. COORDINATE WITH URBAN FORESTRY SPECIALIST.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE AREA TRAFFIC CONTROL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- THIS SITE IS CURRENTLY IN THE PROCESS OF VOLUNTARY ANNEXATION, CONTACT CHARLOTTE-MECKLENBURG PLANNING COMMISSION FOR MORE INFORMATION.
- LOT 11 WILL BE HELD OFF THE MARKET FOR SALE HOME CONSTRUCTION UNTIL ALL OTHER LOTS HAVE BEEN CONSTRUCTED AND SOLD, FOR THE PURPOSE OF A TEMPORARY TURNAROUND FOR EMERGENCY VEHICLES.

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5	STORM DRAINAGE AND GRADING PLAN
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7	EROSION CONTROL PLAN (PRE)
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9	EROSION CONTROL PLAN (POST)
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11	SITE CONSTRUCTION DETAILS & X-SECTIONS
12	SITE CONSTRUCTION DETAILS
13	Tilley Morris Rd
14	BMP Plan & Details
15	Watershed DA MAP

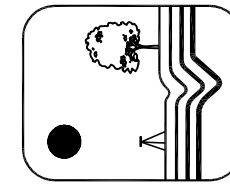


VICINITY MAP

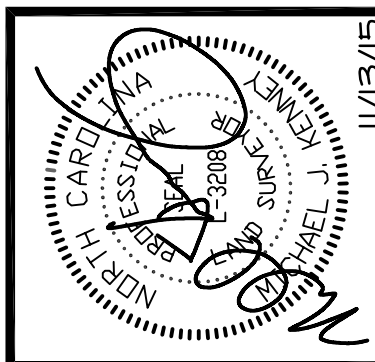
NTS

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Revisions: 1. 1/15/15 REVISED PER CAP/CE/CDOT AND NCOT REVIEW



Scale: 1"=80'
Date: 8/7/15
Drawn By: MKK
Designed By: MKK
Job No.: 0415

COVER SHEET

Tilley Manor

City of Charlotte ETJ*, Providence Twp., Mecklenburg County, North Carolina
Livewell Homes, 310 Springcrest Drive, Fort Mill, SC 29715

Sheet No.

1

of 15

DEVELOPMENT DATA

TAX PARCEL NO.: 231-121-02
ZONING CLASSIFICATION: R-3 (DEVELOPED AS R-4 CLUSTER*)
ZONING JURISDICTION: CITY OF CHARLOTTE
SITE ACRES: 14.80 AC
NO. OF UNITS ALLOWED BY ZONING: 14.80 x 3 = 44
NO. OF UNITS PROPOSED: 34

TREE SAVE REQUIRED: 10% x 14.80 AC = 1.48 AC
TREE SAVE PROPOSED: 4.26 AC (28.7%)
COMMON OPEN SPACE REQUIRED: 10% x 14.80 AC = 1.48 AC
COMMON OPEN SPACE PROVIDED: 3.41 AC = 36.4%

R-4 CLUSTER* LOT DATA:
MIN. LOT SIZE = 6000 SF
MIN. LOT WIDTH = 50'
MIN. SETBACK = 20'
MIN. SIDE YARD = 6' EXTERNAL, 5' INTERNAL
MIN. REAR YARD = 45' EXTERNAL, 30' INTERNAL

* TREESAVE INCENTIVE W/ SPECIMEN TREES

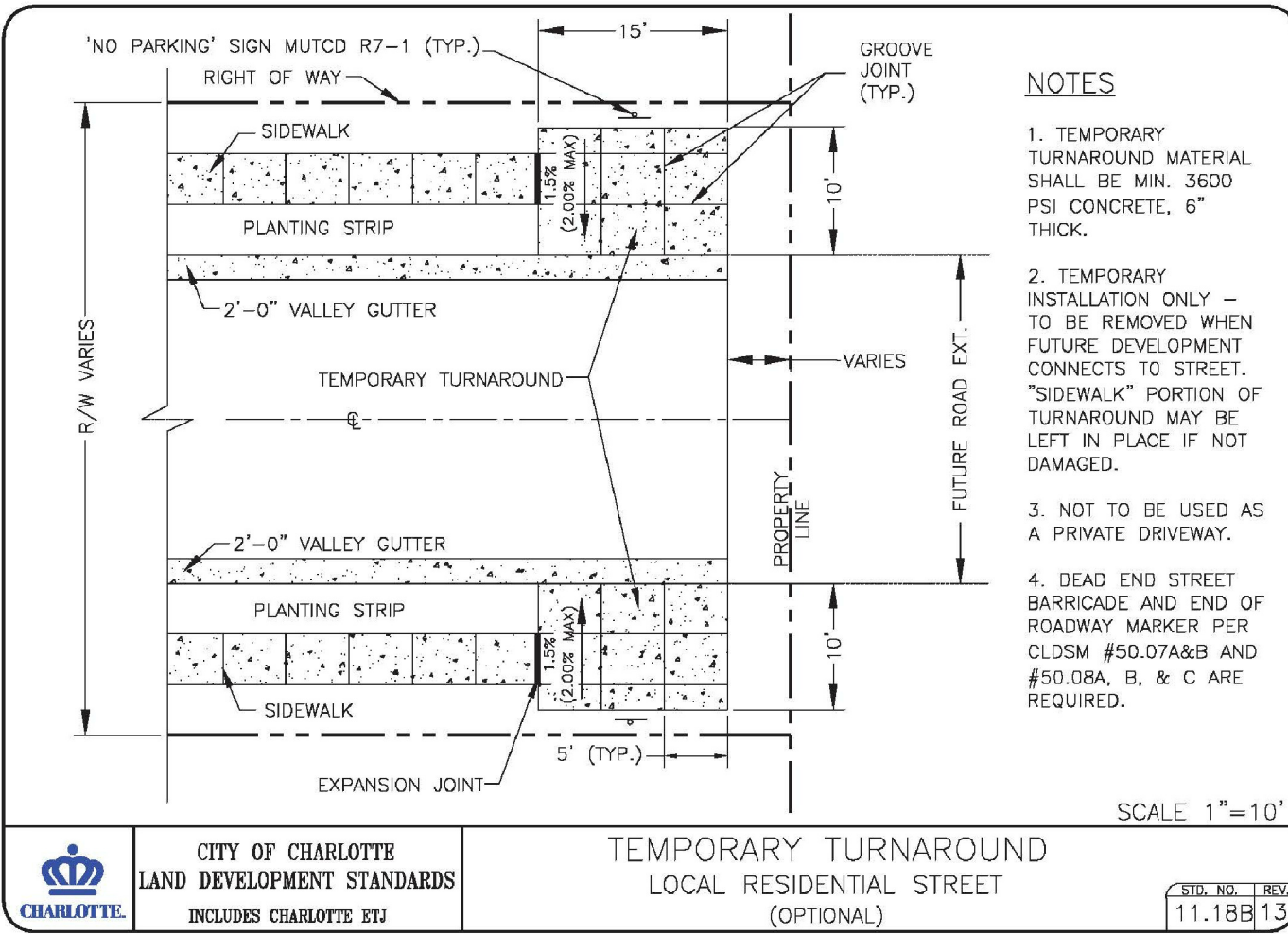
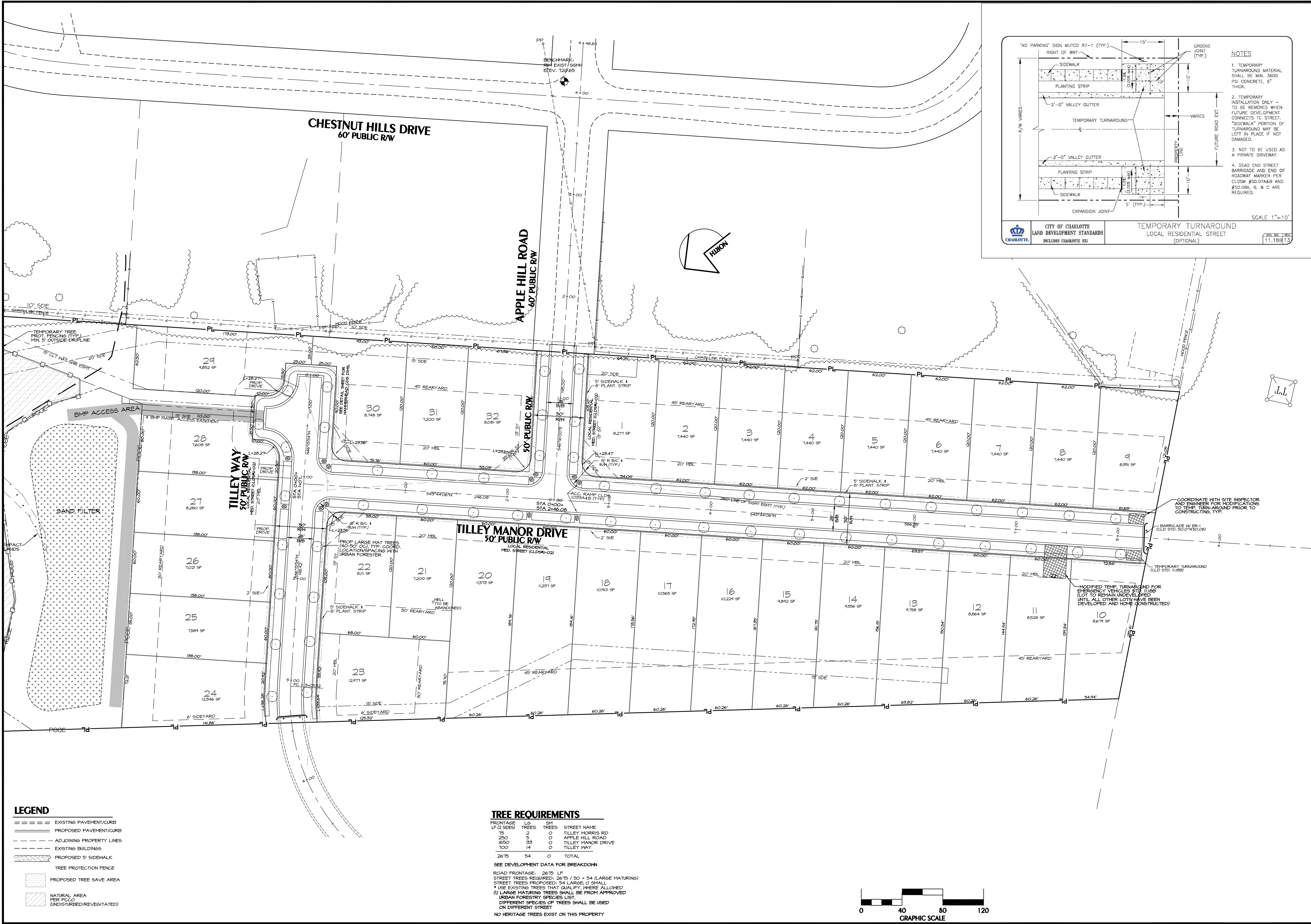
ALLOWED BUA SUMMARY (PER LOT)

LOT NO.	DRAINAGE	ALLOWED BUA
1 - 32	DA 1	3682
33 - 34	DA 3	3615
35	DA 2	14263

* REFERS TO PCO SUMMARY TABLE ON DRAINAGE PLAN

BUILT-UPON AREA (BUA) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IMPERVIOUS OR PARTIALLY IMPERVIOUS SURFACE INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVEMENT AND GRAVEL AREAS SUCH AS ROADS, PARKING LOTS, AND PATHS, AND RECREATION FACILITIES SUCH AS TENNIS COURTS, ACTIVITY FIELDS THAT HAVE BEEN DESIGNED TO ENHANCE DRAINAGE, SUCH AS CONCRETE, GRASS, AND GRADING OR INSTALLATION OF SODDED TURF, AND UNDERGROUND CONSIDERED BUILT-UPON AREA. BUILT-UPON AREA DOES NOT INCLUDE A WOODEN SLATTED DECK OR THE WATER AREA OF A SWIMMING POOL.

SINGLE FAMILY LOT SIZE (SF)	MAX. BLDG COVERAGE
UP TO 4000	32%
4001 - 6500	45%
6501 - 8500	48%
8501 - 10000	52%
10001 OR GREATER	52%



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REVISIONS:

1. ILLUSTRATIONS REVISED PER COMMENTS AND COMMENTS

2. ILLUSTRATIONS REVISED PER COMMENTS AND COMMENTS

12/15/15

Scale:	1"=40'
Date:	8/7/15
Drawn By:	MLK
Designed By:	MLK
Job No.:	0415

Preliminary Subdivision Site/Landscape Plan

Tilley Manor

City of Charlotte ETJ, Providence Twp., Mecklenburg County, North Carolina

LiveWell Homes, 310 Springfield Drive, Fort Mill, SC 29715

