

CIVIL CONSTRUCTION PLANS FOR:

# SOVEREIGN AT BELGATE

8075 IKEA BOULEVARD  
CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA

PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
By Brent Wilkinson 1/9/15

UTILITY AND GOVERNING AGENCIES  
CONTACT LIST AND MATRIX:

WATER COMPANY

CHARLOTTE-MECKLENBURG UTILITIES DEPT.  
5100 BROOKSHIRE BOULEVARD  
CHARLOTTE, NC 28216  
(704) 399-2221

SANITARY SEWER COMPANY

CHARLOTTE-MECKLENBURG UTILITIES DEPT.  
5100 BROOKSHIRE BOULEVARD  
CHARLOTTE, NC 28216  
(704) 399-2221

NATURAL GAS COMPANY

PIEDMONT NATURAL GAS  
4339 SOUTH TRYON STREET  
CHARLOTTE, NC 28217  
(704) 587-3160 TEL  
(704) 529-1247 FAX

FIRE MARSHAL

MECKLENBURG COUNTY/CITY FIRE  
700 N. TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 336-3814 TEL

EROSION CONTROL

CITY OF CHARLOTTE  
ENGINEERING AND PROPERTY MANAGEMENT  
600 E. 4TH STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 517-7570 TEL

ENGINEERING DEPARTMENT

CITY OF CHARLOTTE  
ENGINEERING & PROPERTY MANAGEMENT  
600 E. 4TH STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 432-0406 TEL

POWER COMPANY

DUKE POWER  
526 SOUTH CHURCH STREET  
CHARLOTTE, NC 28202  
(800) 777-9898

TELEPHONE COMPANY

BELL SOUTH SMALL BUSINESS  
(866) 620-6000 EXT. 11067

CABLE TELEVISION COMPANY

TIME WARNER CABLE  
(704) 378-2866 TEL

DEPARTMENT OF TRANSPORTATION

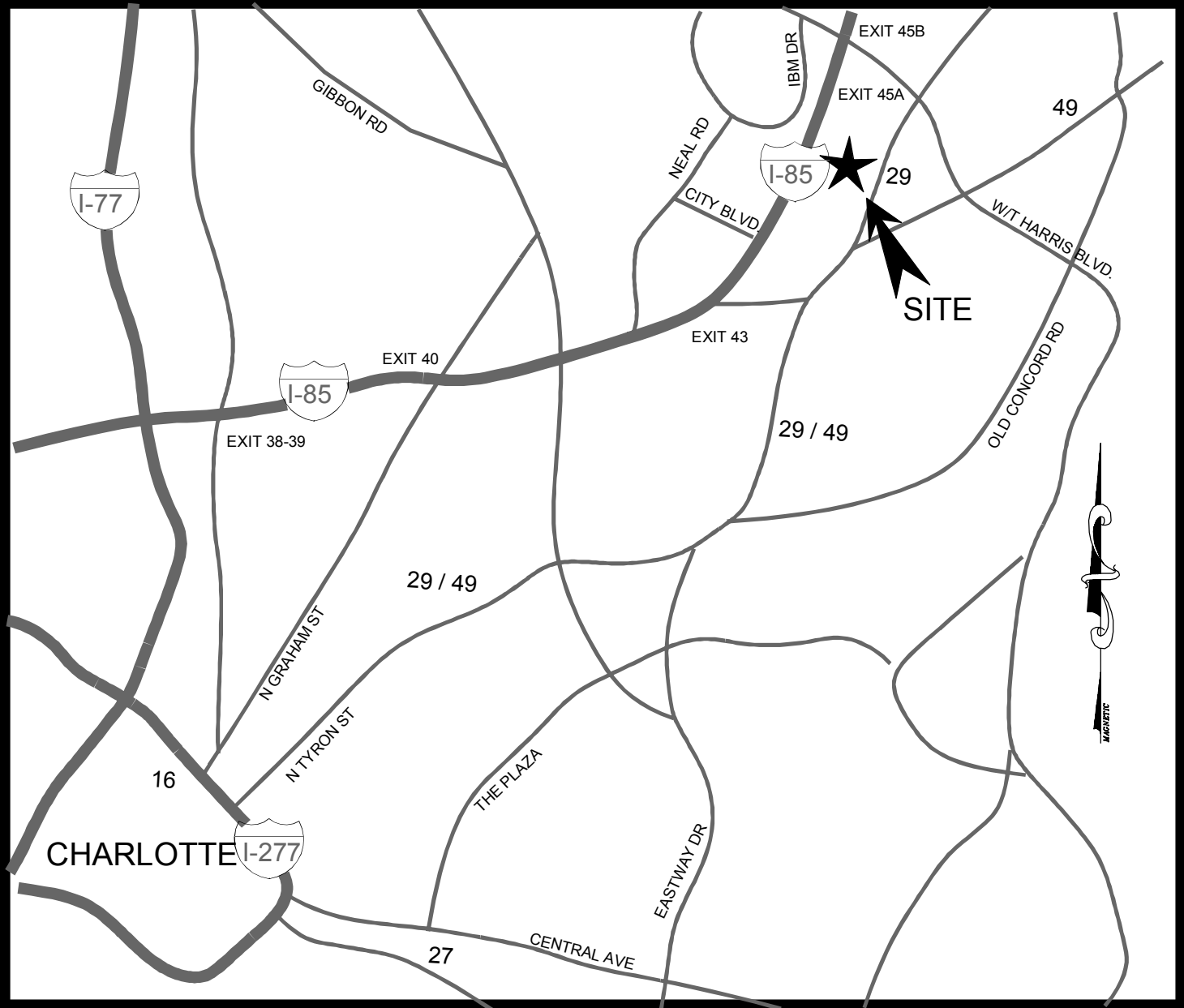
CHARLOTTE DEPARTMENT OF TRANSPORTATION  
600 E. 4TH STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 432-1563 TEL

PLANNING DEPARTMENT

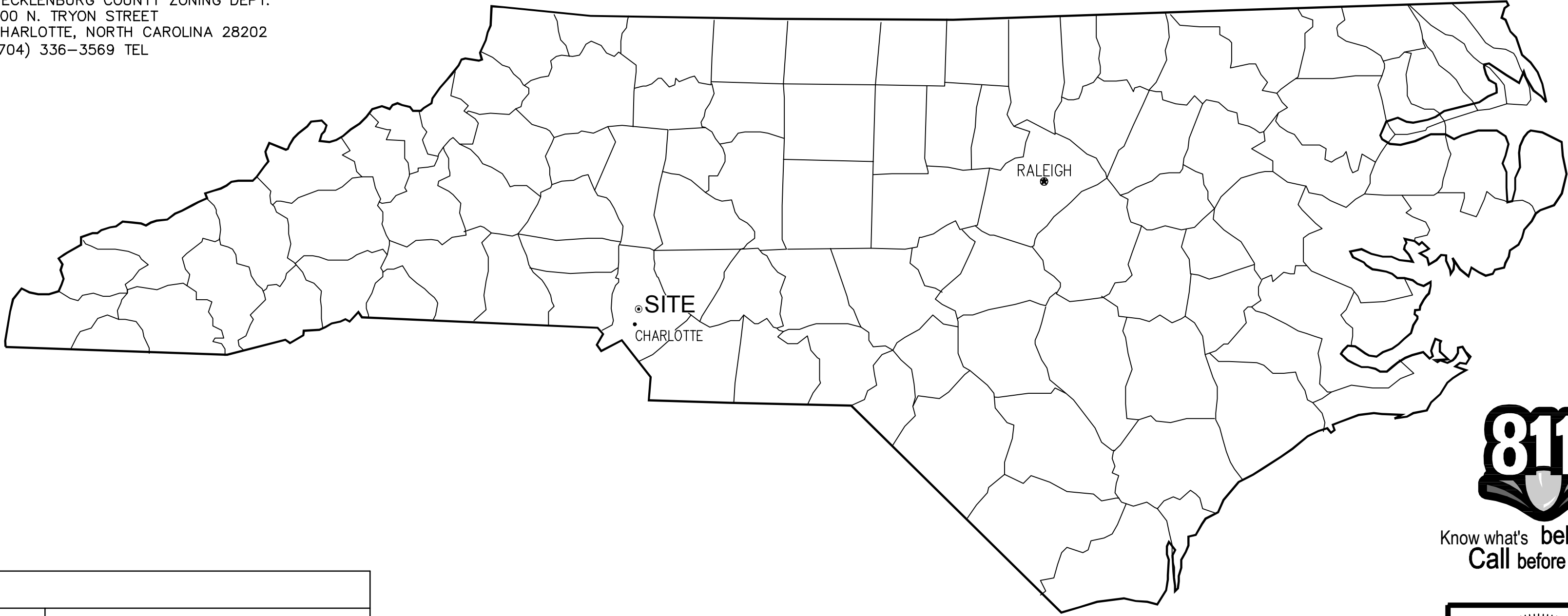
CHARLOTTE MECKLENBURG PLANNING DEPARTMENT  
600 E. 4TH STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 336-2205 TEL  
(704) 336-5123 FAX

ZONING DEPARTMENT

MECKLENBURG COUNTY ZONING DEPT.  
700 N. TRYON STREET  
CHARLOTTE, NORTH CAROLINA 28202  
(704) 336-3569 TEL



SITE LOCATION MAP  
NOT TO SCALE




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C1-2	DEMOLITION PLAN AND EROSION CONTROL PLAN - PH 1
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C7-2	DRAINAGE AREA MAP

SDRMF-2014-00018  
SET 1 OF 2

**FINAL APPROVAL**  
<http://development.charmeck.org>

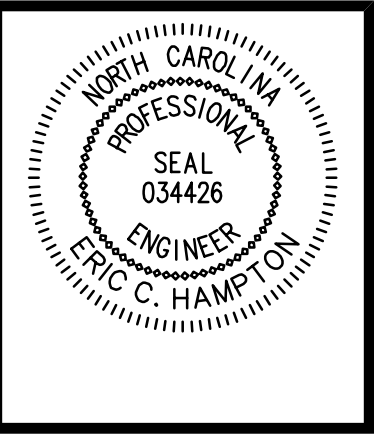
<b>ENGINEERING</b> PCO / DETENTION / DRAINAGE PLAN
<b>EROSION CONTROL</b> NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <a href="http://development.charmeck.org">http://development.charmeck.org</a>
<b>URBAN FORESTRY</b> TREE ORDINANCE
<b>CDOT</b> NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTCG AT 704-336-3829 FOR MORE INFORMATION.

**APPROVED**  
By Mark Chapman at 3:46 pm, Jan 07, 2015

**APPROVED** [on behalf of Stan Armstrong](#)  
By Mark Chapman at 3:46 pm, Jan 07, 2015

**APPROVED** [on behalf of R. Grochoske](#)  
By Mark Chapman at 3:46 pm, Jan 07, 2015

PREPARED BY:  
**Kimley»Horn**



PROJECT OWNER AND CONSULTANT INFORMATION		
<b>OWNER:</b> DAVIS DEVELOPMENT 403 CORPORATE CENTER DRIVE SUITE 200 STOCKBRIDGE, GA 30281 (770) 474-4345 TEL  CONTACT: WILLIAM HAMRICK	<b>ENGINEER:</b> KIMLEY-HORN AND ASSOCIATES, INC. 2000 SOUTH BOULEVARD SUITE 440 CHARLOTTE, NORTH CAROLINA 28203 (704) 333-5131 TEL  CONTACT: ERIC C. HAMPTON, P.E.	<b>SURVEYOR:</b> CESI LAND DEVELOPMENT SERVICES 45 SPRING STREET SW CONCORD, NORTH CAROLINA 28025 (704) 786-5404 TEL  CONTACT: JAMES E. CRADDOCK, P.L.S.

REV.	DATE	REVISIONS	PAGES
C	12/18/14	REVISIONS PER CITY/COUNTY COMMENTS	ALL
B	10/30/14	REVISIONS PER CITY/COUNTY COMMENTS	ALL
A	09/03/14	REVISIONS PER CITY/COUNTY COMMENTS	ALL
DATE	04/02/14	FILE NUMBER 018478001	SHEET NUMBER C0-0
		TOTAL SHEETS 41	

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## ZONING CODE SUMMARY

**OPEN SPACE SUMMARY**

PARCEL AREA:	33.91 ACRES
TOTAL IMPERVIOUS AREA (PAVEMENT, WALKS, AND BUILDING):	
EXISTING:	0.41 ACRES
PROPOSED:	8.60 ACRES (8.19 ACRES OF "NEW" IMPERVIOUS (25.4% IMPERVIOUS))

## AUTO AND BIKE PARKING SUMMARY

PRIVATE ROAD PARKING REQUIREMENTS

LEWIS STREET & CENTRAL PLACE:	747.5 LF OF ROAD,	309.2 LF OF PARKING – 41.4%
ROYAL DRIVE:	440.1 LF OF ROAD,	164.0 LF OF PARKING – 37.3%
TOTAL:	1187.6 LF OF ROAD,	473.2 LF OF PARKING – 39.8%

REQUIRED: 14 SPACES  
PROVIDED: 44 SPACES

## SOLID WASTE AND RECYCLING SUMMARY

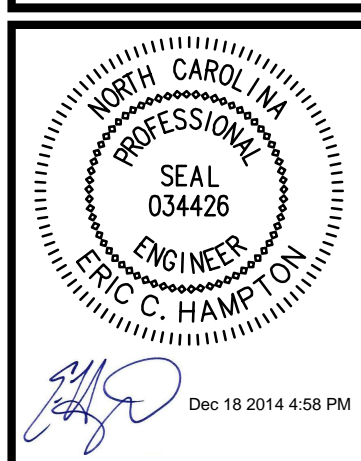
RECYCLING REQUIREMENT:	ONE 144 SF RECYCLING STATION PER 80 UNITS
REQUIRED:	NORTH: MINIMUM 328 SF RECYCLING STATION
	SOUTH: MINIMUM 152 SF RECYCLING STATION
PROVIDED:	NORTH: 328 SF RECYCLING STATION
	SOUTH: 191 SF RECYCLING STATION

## SITE NOTES

1. ALL DIMENSIONS ARE BASED FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. SEE EXISTING CONDITIONS SHEET FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
3. SEE GENERAL NOTES SHEET FOR SITE PLAN AND ZONING NOTES.
4. THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, FIRM PANEL 3710457600J DATED MARCH 2, 2009.
5. ALL ON-SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED ALL STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC STRIPING.
6. BUILDINGS SHALL HAVE A MINIMUM OF 16' SEPARATION PER ZONING CODE REQUIREMENTS.
7. NO SITE LIGHTS ARE ALLOWED WITHIN 30' OF TREES. VERIFY LOCATION OF TREES BEFORE INSTALLING LIGHTS.

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2000 SOUTH BOULEVARD  
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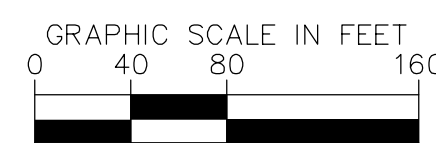
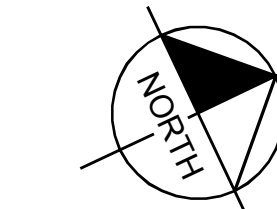
**DAVIS DEVELOPMENT**  
1050 EAGLES LANDING PARKWAY  
SUITE 300  
STOCKBRIDGE, GA 30281

**SOVEREIGN AT  
BELGATE**  
8075 IKEA BOULEVARD  
CHARLOTTE, NORTH CAROLINA

OVERALL SITE PLAN

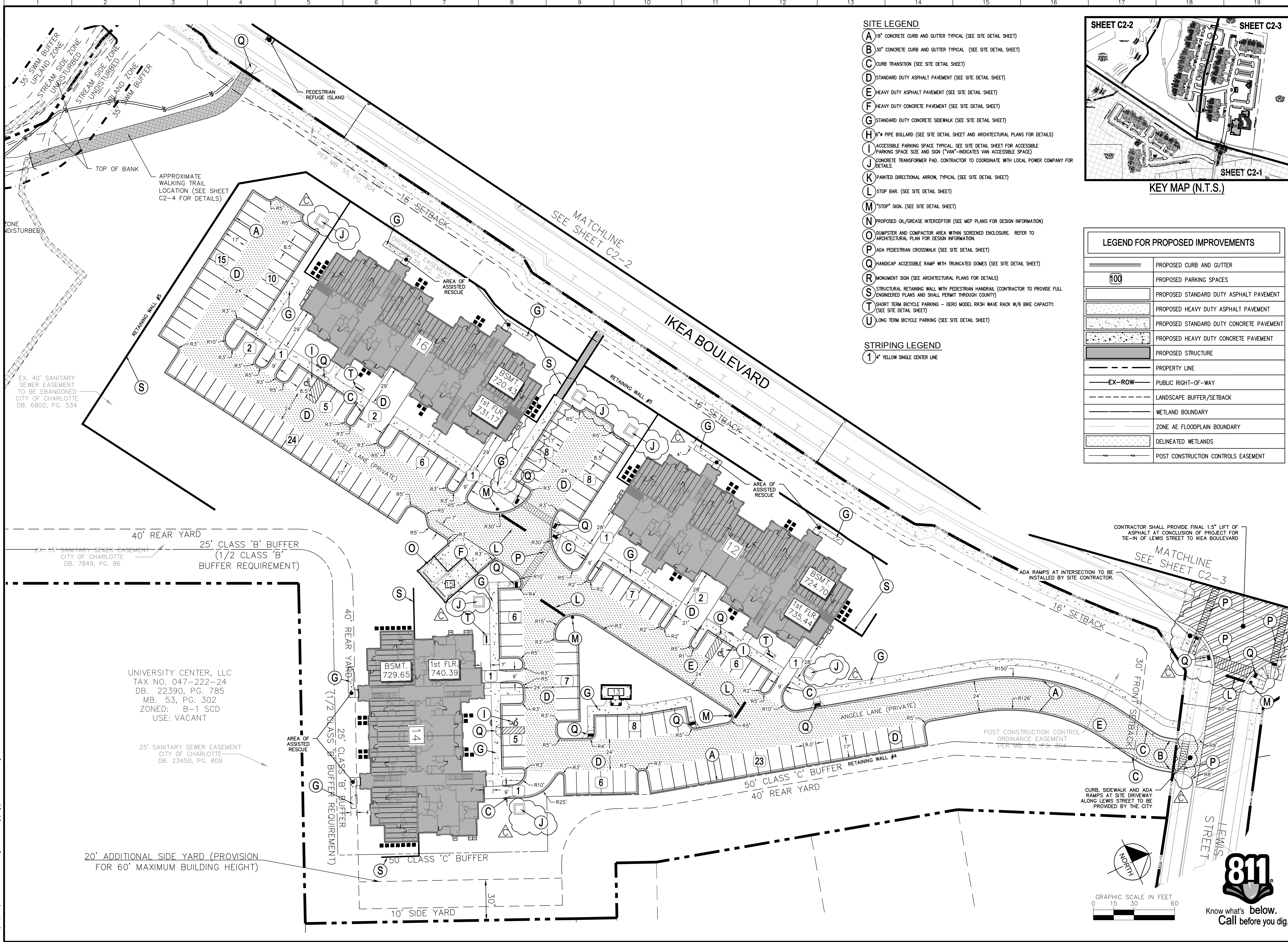
DESIGNED BY:	KRT
DRAWN BY:	DMH
CHECKED BY:	ECH
DATE:	04/02/14
PROJECT#:	018478001

C2-0



Know what's **below**.  
**Call** before you dig.





SITE LEGEND

- A 18" CONCRETE CURB AND GUTTER TYPICAL (SEE SITE DETAIL SHEET)
- B 30" CONCRETE CURB AND GUTTER TYPICAL (SEE SITE DETAIL SHEET)
- C CURB TRANSITION (SEE SITE DETAIL SHEET)
- D STANDARD DUTY ASPHALT PAVEMENT (SEE SITE DETAIL SHEET)
- E HEAVY DUTY ASPHALT PAVEMENT (SEE SITE DETAIL SHEET)
- F HEAVY DUTY CONCRETE PAVEMENT (SEE SITE DETAIL SHEET)
- G STANDARD DUTY CONCRETE SIDEWALK (SEE SITE DETAIL SHEET)
- H 6" PIPE BOLLARD (SEE SITE DETAIL SHEET AND ARCHITECTURAL PLANS FOR DETAILS)
- I ACCESSIBLE PARKING SPACE TYPICAL SEE SITE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE AND SIGN ("VAN" INDICATES VAN ACCESSIBLE SPACE)
- J CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- K PAINTED DIRECTIONAL ARROW, TYPICAL (SEE SITE DETAIL SHEET)
- L STOP BAR. (SEE SITE DETAIL SHEET)
- M "STOP" SIGN. (SEE SITE DETAIL SHEET)
- N PROPOSED OIL/GREASE INTERCEPTOR (SEE MEP PLANS FOR DESIGN INFORMATION)
- O DUMPSTER AND COMPACTOR AREA WITHIN SCREENED ENCLOSURE. REFER TO ARCHITECTURAL PLAN FOR DESIGN INFORMATION.
- P ADA PEDESTRIAN CROSSWALK (SEE SITE DETAIL SHEET)
- Q HANDICAP ACCESSIBLE RAMP WITH TRUNCATED DOMES (SEE SITE DETAIL SHEET)
- R MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- S STRUCTURAL RETAINING WALL WITH PEDESTRIAN HANDRAIL (CONTRACTOR TO PROVIDE FULL ENGINEERED PLANS AND SHALL PERMIT THROUGH COUNTY)
- T SHORT TERM BICYCLE PARKING - DERO MODEL RR3H WAVE RACK W/6 BIKE CAPACITY. (SEE SITE DETAIL SHEET)
- U LONG TERM BICYCLE PARKING (SEE SITE DETAIL SHEET)

STRIPING LEGEND

- 1 4" YELLOW SINGLE CENTER LINE

SHEET C2-2

SHEET C2-3

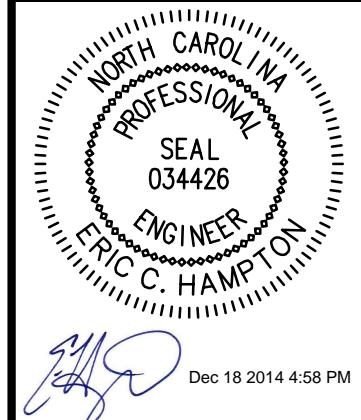
KEY MAP (N.T.S.)

LEGEND FOR PROPOSED IMPROVEMENTS

	PROPOSED CURB AND GUTTER
	PROPOSED PARKING SPACES
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED STRUCTURE
	PROPERTY LINE
	PUBLIC RIGHT-OF-WAY
	LANDSCAPE BUFFER/SETBACK
	WETLAND BOUNDARY
	ZONE AE FLOODPLAIN BOUNDARY
	DELINEATED WETLANDS
	POST CONSTRUCTION CONTROLS EASEMENT

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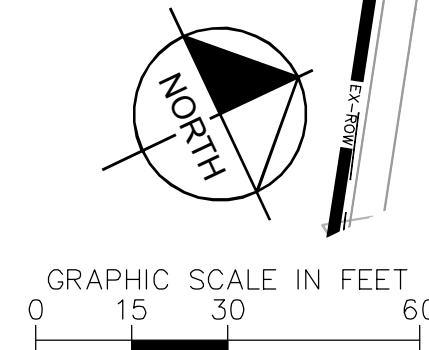
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**SOVEREIGN AT BELGATE**  
8075 IKEA BOULEVARD  
CHARLOTTE, NORTH CAROLINA

SITE PLAN

TITLE:  
DESIGNED BY: KRT  
DRAWN BY: DMH  
CHECKED BY: ECH  
DATE: 04/02/14  
PROJECT#: 018478001

C2-1





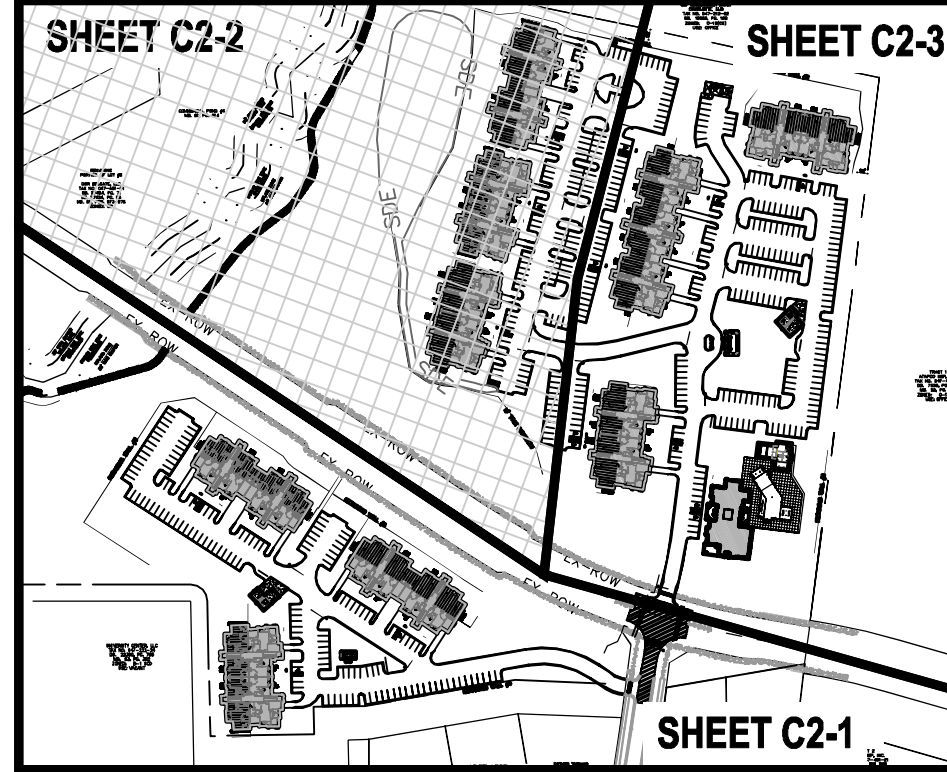
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STRIPING LEGEND

- (1) 4" YELLOW SINGLE CENTER LINE

RELOCATED STORM DRAINAGE EASEMENT TO BE RECORDED PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY. PLAT TO BE REVIEWED AND APPROVED BY THE CITY OF CHARLOTTE PRIOR TO RECORDATION.

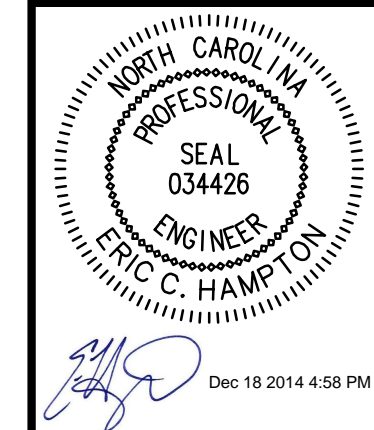


LEGEND FOR PROPOSED IMPROVEMENTS

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	PROPOSED PARKING SPACES
	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
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	WETLAND BOUNDARY
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	DELINEATED WETLANDS
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SITE PLAN

DESIGNED BY: KRT  
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C2-2

