

Revision

APPROVED FOR CONSTRUCTION

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

By Brent Wilkinson 6/30/15

*Reclassification of Marshall Bridge Road and Woodbine Walk Road from public to private.

Solis Waverly

City of Charlotte, Mecklenburg County, North Carolina

Terwilliger Pappas

ENGINEERING	PCO / DETENTION / DRAINAGE PLAN
EROSION CONTROL	NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org
URBAN FORESTRY	TREE ORDINANCE
CDOT	
PLANNING	UMUDD / MUDD / PED / TOD
NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.	

APPROVED

By Brandon Smith (bmsmith@charlotte.gov) at 3:05 pm, Jun 22, 2015

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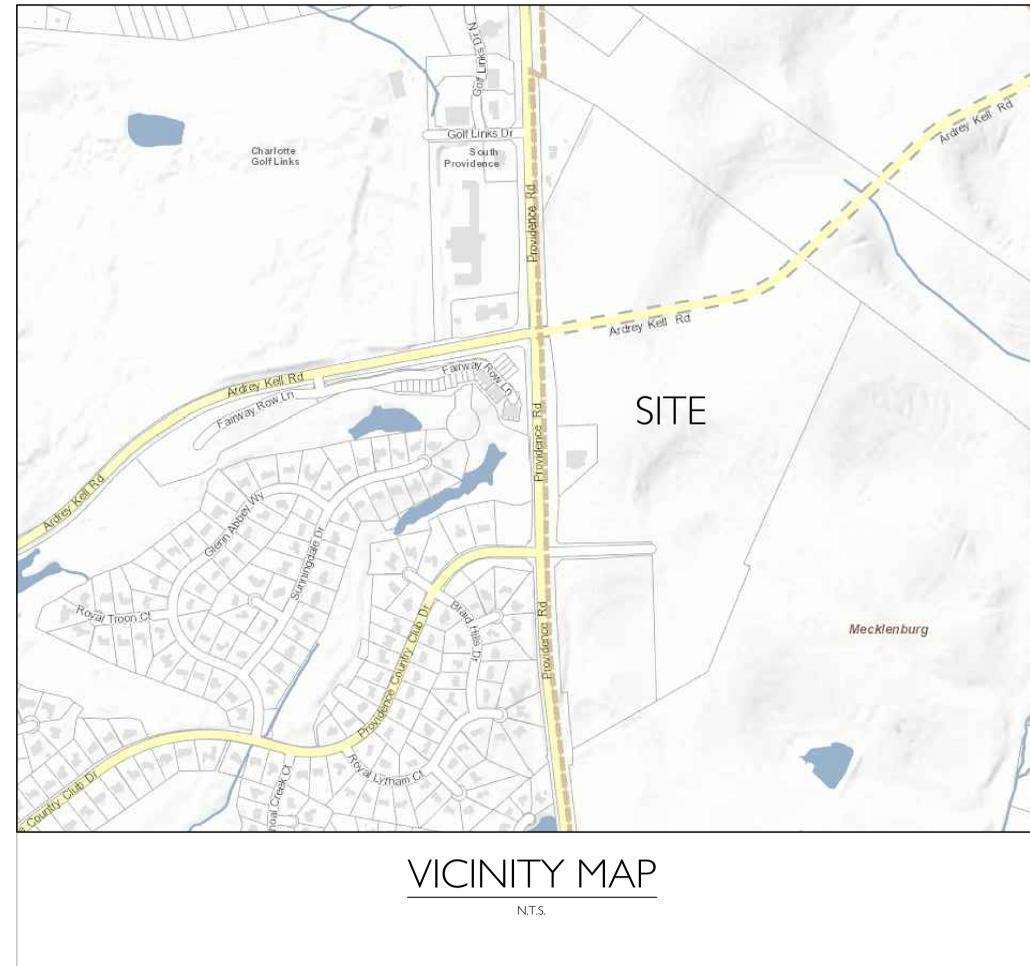
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DEVELOPER	Terwilliger Pappas 111 East Hargett Street, Suite 300 Raleigh, NC 27601 919.995.1259
LANDSCAPE ARCHITECT/ CIVIL ENGINEER	LandDesign, Inc. 223 North Graham St. Charlotte, NC 28202 704.333.0325
ARCHITECT	The Preston Partnership 115 Perimeter Center Place Atlanta, GA 30346 770.396.7248
SURVEYOR	R.B. Pharr and Associates 420 Hawthorne Lane Charlotte, NC 28204

SHEET INDEX:

Chapter 1 - Existing Conditions	
C-1.0	Cover Sheet
C-1.1	Existing Conditions Plan
RZ-1 - RZ-6	Rezoning Plans
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C-2.10	Street Paving
C-2.11	Fire Truck Access
C-2.12	ISD and Signage
C-2.13	Duke Lighting Plan
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Chapter 3 - Grading and Storm Drainage	
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Chapter 4 - Erosion Control	
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C-5.1 - C-5.4	Private Water Plan
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L-1.8	Pool Lighting Plan
Chapter 7 - Architectural Elevations	
SP-01-A4-10B	Building Elevations

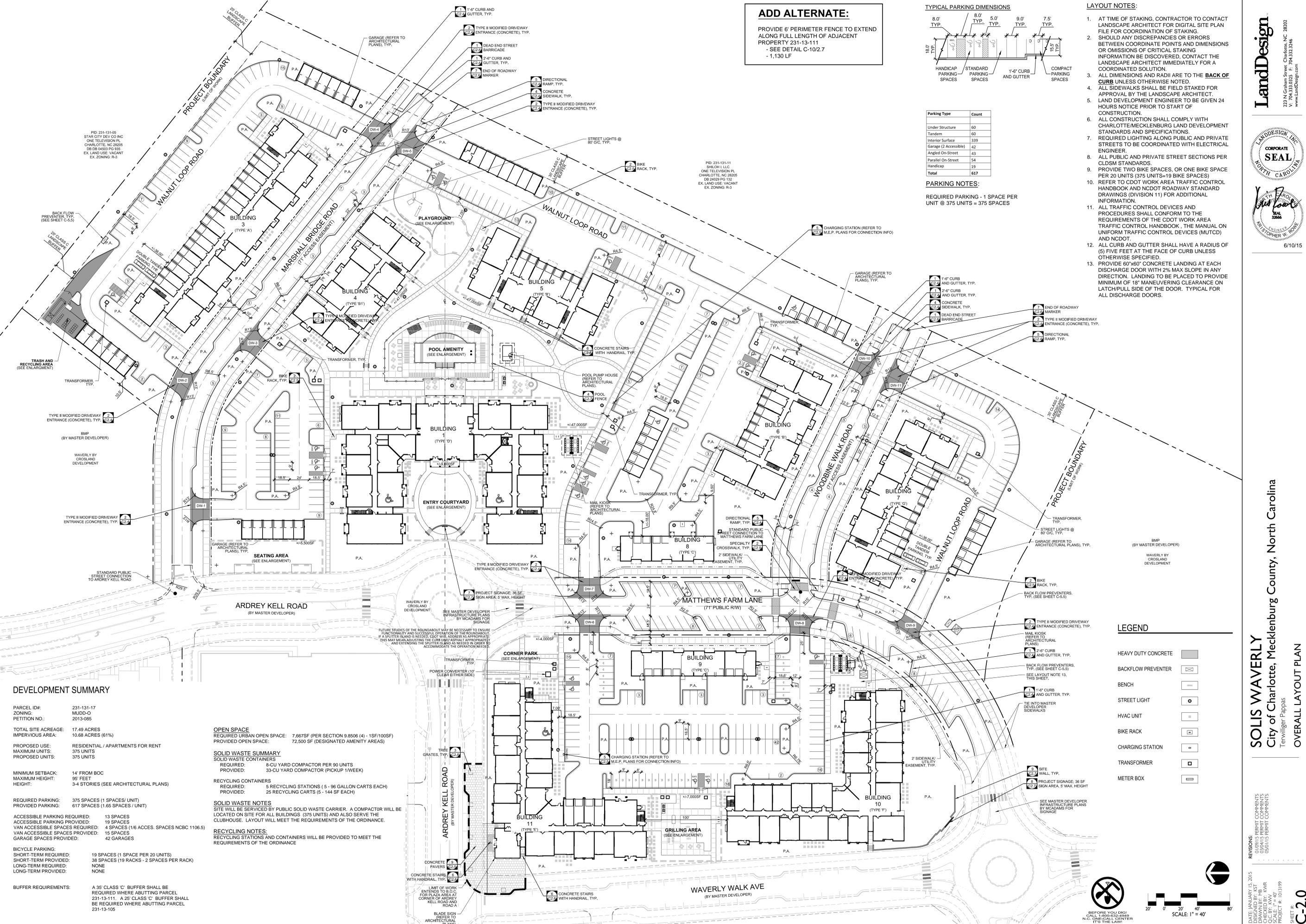


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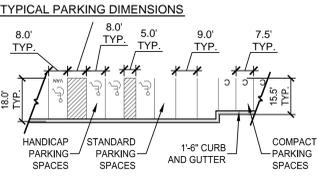
REVISIONS:

01/09/15	PERMIT COMMENTS
02/17/15	PERMIT COMMENTS
03/04/15	PERMIT COMMENTS
03/04/15	PERMIT COMMENTS
04/01/15	PERMIT COMMENTS

DATE: January 15, 2015
 DESIGNED BY: MST
 CHECKED BY: KWR
 O.C. BY: MWV
 PROJECT #: 1013199
 SHEET #: **C-1.0**



ADD ALTERNATE:
 PROVIDE 6' PERIMETER FENCE TO EXTEND ALONG FULL LENGTH OF ADJACENT PROPERTY 231-13-111
 - SEE DETAIL C-10/2.7
 - 1,130 LF



Parking Type	Count
Under Structure	60
Tandem	60
Interior Surface	339
Garage (2 Accessible)	42
Angled On-Street	43
Parallel On-Street	54
Handicap	19
Total	617

PARKING NOTES:
 REQUIRED PARKING - 1 SPACE PER UNIT @ 375 UNITS = 375 SPACES

- LAYOUT NOTES:**
- AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING.
 - SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION.
 - ALL DIMENSIONS AND RADII ARE TO THE **BACK OF CURB** UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 - LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS AND SPECIFICATIONS.
 - REQUIRED LIGHTING ALONG PUBLIC AND PRIVATE STREETS TO BE COORDINATED WITH ELECTRICAL ENGINEER.
 - ALL PUBLIC AND PRIVATE STREET SECTIONS PER CLDSM STANDARDS.
 - PROVIDE TWO BIKE SPACES, OR ONE BIKE SPACE PER 20 UNITS (375 UNITS=19 BIKE SPACES)
 - REFER TO CDOT WORK AREA TRAFFIC CONTROL HANDBOOK AND NCDOT ROADWAY STANDARD DRAWINGS (DIVISION 11) FOR ADDITIONAL INFORMATION.
 - ALL TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE CDOT WORK AREA TRAFFIC CONTROL HANDBOOK, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT.
 - ALL CURB AND GUTTER SHALL HAVE A RADIUS OF (5) FIVE FEET AT THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - PROVIDE 60"x60" CONCRETE LANDING AT EACH DISCHARGE DOOR WITH 2% MAX SLOPE IN ANY DIRECTION. LANDING TO BE PLACED TO PROVIDE MINIMUM OF 18" MANEUVERING CLEARANCE ON LATCH/PULL SIDE OF THE DOOR. TYPICAL FOR ALL DISCHARGE DOORS.

DEVELOPMENT SUMMARY

PARCEL ID#: 231-131-17
 ZONING: MUDD-O
 PETITION NO.: 2013-085

TOTAL SITE ACREAGE: 17.49 ACRES
 IMPERVIOUS AREA: 10.68 ACRES (61%)

PROPOSED USE: RESIDENTIAL / APARTMENTS FOR RENT
 MAXIMUM UNITS: 375 UNITS
 PROPOSED UNITS: 375 UNITS

MINIMUM SETBACK: 14' FROM BOC
 MAXIMUM HEIGHT: 35 FEET
 HEIGHT: 3-4 STORIES (SEE ARCHITECTURAL PLANS)

REQUIRED PARKING: 375 SPACES (1 SPACES/ UNIT)
 PROVIDED PARKING: 617 SPACES (1.65 SPACES/ UNIT)

ACCESSIBLE PARKING REQUIRED: 13 SPACES
 PROVIDED ACCESSIBLE PARKING: 19 SPACES

VAN ACCESSIBLE SPACES REQUIRED: 4 SPACES (1/6 ACES. SPACES NCBC 1106.5)
 VAN ACCESSIBLE SPACES PROVIDED: 15 SPACES

GARAGE SPACES PROVIDED: 42 GARAGES

BIKE PARKING:
 SHORT-TERM REQUIRED: 19 SPACES (1 SPACE PER 20 UNITS)
 LONG-TERM PROVIDED: NONE

LONG-TERM PROVIDED: NONE

BUFFER REQUIREMENTS:
 A 35' CLASS 'C' BUFFER SHALL BE REQUIRED WHERE ABUTTING PARCEL 231-13-111. A 25' CLASS 'C' BUFFER SHALL BE REQUIRED WHERE ABUTTING PARCEL 231-13-105

OPEN SPACE
 REQUIRED URBAN OPEN SPACE: 7,867 SF (PER SECTION 8.8506 (4) - 1SF/100SF)
 PROVIDED OPEN SPACE: 72,500 SF (DESIGNATED AMENITY AREAS)

SOLID WASTE SUMMARY
 SOLID WASTE CONTAINERS REQUIRED: 8-CU YARD COMPACTOR PER 80 UNITS
 PROVIDED: 33-CU YARD COMPACTOR (PICKUP 1/WEK)

RECYCLING CONTAINERS REQUIRED: 5 RECYCLING STATIONS (5 - 96 GALLON CARTS EACH)
 PROVIDED: 25 RECYCLING CARTS (5 - 144 SF EACH)

SOLID WASTE NOTES
 SITE WILL BE SERVICED BY PUBLIC SOLID WASTE CARRIER. A COMPACTOR WILL BE LOCATED ON SITE FOR ALL BUILDINGS (375 UNITS) AND ALSO SERVE THE CLUBHOUSE. LAYOUT WILL MEET THE REQUIREMENTS OF THE ORDINANCE.

RECYCLING NOTES:
 RECYCLING STATIONS AND CONTAINERS WILL BE PROVIDED TO MEET THE REQUIREMENTS OF THE ORDINANCE

LEGEND

- HEAVY DUTY CONCRETE
- BACKFLOW PREVENTER
- BENCH
- STREET LIGHT
- HVAC UNIT
- BIKE RACK
- CHARGING STATION
- TRANSFORMER
- METER BOX

