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PROSPERITY VILLAGE SQUARE

CHARLOTTE, NORTH CAROLINA

WP EAST ACQUISITIONS, LLC
1001 MOREHEAD SQUARE DRIVE, SUITE 250
CHARLOTTE, NORTH CAROLINA 28203
(704) 332-8995

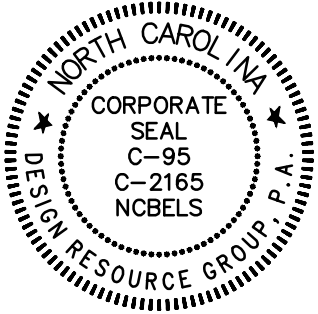
**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
[By Brent Wilkinson 12/16/15]



design resource group

- landscape architecture
- civil engineering
- urban design
- land planning
- traffic engineering
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2459 wilkinson boulevard, suite 200
charlotte, nc 28208
p 704.343.0608 f 704.358.3093
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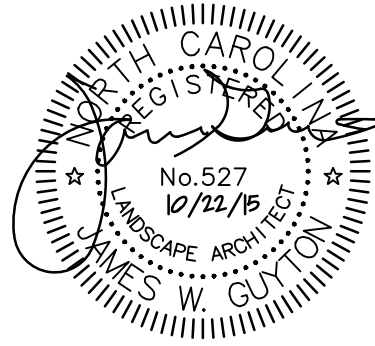
WP EAST ACQUISITIONS, LLC

1001 MOREHEAD SQUARE DRIVE, SUITE 250

CHARLOTTE, NC 28203

704-332-8995

CONSTRUCTION
DOCUMENTS



PROJECT #: 041-187
DRAWN BY: MB
CHECKED BY: SK

COVER
SHEET

OCTOBER 22, 2015

REVISIONS:
1.

C0.00

SITE DATA:

SITE AREA: ±11.08 AC
TAX MAP #s: 027-561-04; 027-561-07
REZONING PETITION: 2013-094
ZONING: CC
PROPOSED USE: MULTI-FAMILY RESIDENTIAL APARTMENTS FOR RENT
TOTAL # OF UNITS: 292
DENSITY: 26.4 UNITS PER ACRE
BUILDING USE:
4 MULTI-FAMILY BUILDINGS
7 CARRIAGE UNIT BUILDINGS
2 TOWNHOME STYLE BUILDINGS
1 CLUBHOUSE BUILDING
PARKING REQUIRED: 1.5 SPACES PER UNIT = 438 SPACES (MIN.)
PARKING PROVIDED:
REGULAR SPACES: 274 SPACES
ACCESSIBLE SPACES: 14 SPACES
COMPACT SPACES: 62 SPACES (12.62%)
ATTACHED GARAGE SPACES: 50 SPACES
ATTACHED ACC. GARAGE: 1 VAN SPACE
TANDEM SPACES: 10 SPACES
ON-STREET SPACES: 76 SPACES
490 TOTAL SPACES (1.68 SPACES PER UNIT)

BIKE PARKING REQUIRED: 1 SHORT TERM SPACE/20 UNITS
BIKE PARKING PROVIDED: 24 SHORT TERM SPACES
SETBACK:
SIDE YARD: 10', 36.67' FOR BUILDING B, 36.17' FOR BUILDING D
REAR YARD: 40', 66.67' FOR BUILDING B, 66.17' FOR BUILDING D
BUILDING SEPARATION: 16' MIN
BUILDING HEIGHT: UP TO 4 STORIES
BASE MAXIMUM AVERAGE HEIGHT: 40' - MEASURED AT THE REQUIRED SETBACK, SIDE, AND REAR YARD LINES
HEIGHT RATIO: ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY ADDITIONAL TWO FEET IN DISTANCE. THE PORTION OF THE BUILDING IS FROM THE REQUIRED SETBACK, SIDE AND REAR YARD LINES LOCATED ALONG ALL BOUNDARY(S) ADJACENT TO A SINGLE FAMILY ZONING DISTRICT

PROPOSED BUILDING HT:
BUILDING A: PEAK 53'-6"
BUILDING B: PEAK 53'-4"
BUILDING C: PEAK 53'-4"
BUILDING D: PEAK 53'-1"
TOWNHOUSE E (1-2): PEAK 42'8"
CARRIAGE HOUSE F (1-7): PEAK 28'-8"
CLUBHOUSE G: PEAK 23'-6"
MAINTENANCE: PEAK 17'-5"
1.0 MAX
FLOOR AREA RATIO: 0.88
FLOOR AREA RATIO PROVIDED: 0.88

TRASH REQUIRED: (1) 8 CY COMPACTOR PER 90 UNITS = 26 CY MIN.
RECYCLING REQUIRED: 241-320 UNITS REQUIRES (4) 144 SF = 576 SF MIN.
TRASH & RECYCLING PROV.: (1) 40 CY COMPACTOR
(1) 576 SF RECYCLING STATION
OPEN SPACE REQUIRED: 40%
OPEN SPACE PROVIDED: 46%
ESTIMATED TIME OF COMPLETION: MAY 2017
BUILDING FACADE ALONG ROW: 40% BRICK
FIRE DEPARTMENT: SEE NOTES, CALCULATIONS, AND FIRE HYDRANT INFORMATION ON SHEETS C2.00 AND C5.00.

SDRMF-2015-00034



ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY
TREE ORDINANCE

CDOT

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

APPROVED
By mchapman at 3:56 pm, Nov 09, 2015

APPROVED
By Stan Armstrong at 2:19 pm, Nov 05, 2015

APPROVED
By Rick Grochoske at 4:38 pm, Nov 13, 2015

GENERAL NOTES:

- SURVEY INFORMATION OBTAINED BY JAMES MAUNEY & ASSOCIATES, PA ON 2/27/2015.
- ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT RIDGE ROAD AND PROSPERITY CHURCH ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT AND NCDOT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CDSMAY 50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG RIDGE ROAD AND PROSPERITY CHURCH ROAD AND BRICE KNOLL LANE MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBTSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO CITY OF CHARLOTTE ENGINEERING FOR APPROVAL.
- PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
- NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
- ALL CONSTRUCTION TO CONFORM TO CHARLOTTE / MECKLENBURG LAND DEVELOPMENT STANDARDS.
- FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE CITY FIRE MARSHALL DURING THE BUILDING PERMIT PROCESS.

ENGINEER'S NOTES:

- CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
- CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE PER AGENCY STANDARDS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
- THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
- PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH N.C.D.E.N.R. REGULATIONS IN THE PRESENCE OF THE ENGINEER. RECEIPT OF FINAL ACCEPTANCE SHALL BE REQUIRED PRIOR TO ACTIVATION OF FACILITIES.
- EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND CMUD REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY. EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND THE ORDERING OF MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
- CHARLOTTE WATER WILL INSTALL THE TAPS AND METERS.
- SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
- IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
- IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
- FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
- FDC LOCATIONS SHALL BE IN ACCORDANCE W/ CFD REQUIREMENTS.
- FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.

SITE ACCESSIBILITY NOTES

- ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE STATED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED THAT CONFORM TO THE REQUIREMENTS OF "THE AMERICANS WITH DISABILITIES ACT", "FAIR HOUSING STANDARDS", ICC ANSI A 117.1-209 AND GOVERNING STATE HANDICAP CODE STANDARDS.

THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:

MAXIMUM WALK SLOPE = 1:20
MAXIMUM RAMP SLOPE = 1:12 WITH RAILING
MAXIMUM CROSS SLOPE = 1/4" PER FOOT (2%)
ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS.
MAXIMUM ACCESSIBLE ROUTE LENGTH (NC) = 200'

- THE PAVEMENT SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
- CONTRACTOR TO CONTACT DESIGN RESOURCE GROUP FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.

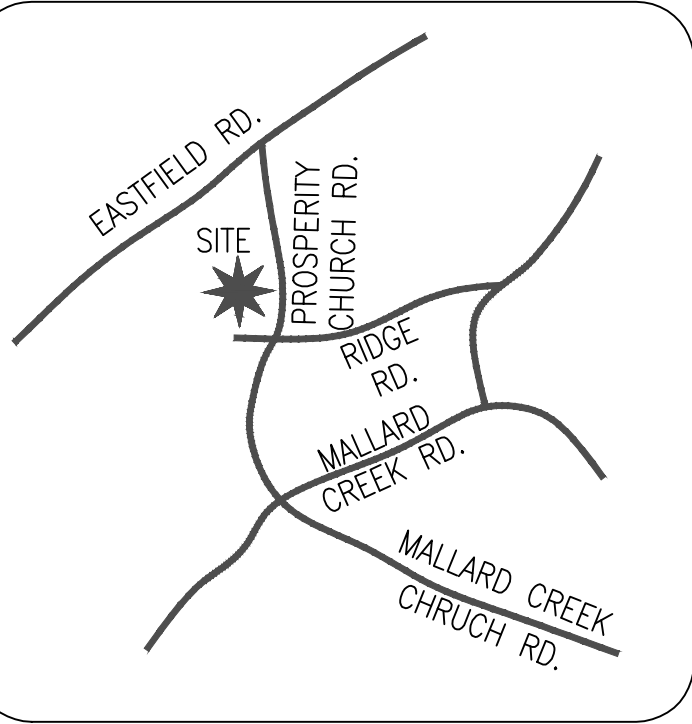
ADDITIONAL ACCESSIBLE ROUTE NOTES FOR ACCESSIBILITY COMPLIANCE WITH ICC/ANSI A117.1-2009, AND 2010 ADA STANDARDS.

- PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN COMMON USE AREAS TO COMPLY WITH ANSI 2009 SECTION 307, INCLUDING:
 - PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. EXCEPTIONS INCLUDE HANDRAILS, DOOR CLOSERS, AND DOOR STOPS.
 - POST MOUNTED OBJECTS: OBJECTS ON POSTS OR PYLONS SHALL BE PERMITTED TO OVERHANG 4" MAXIMUM WHERE MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR. OBJECTS ON MULTIPLE POSTS OR PYLONS WHERE THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12" SHALL HAVE THE LOWEST EDGE OF SUCH OBJECT EITHER 27" MAXIMUM OR 80" MINIMUM ABOVE THE FLOOR.
 - REDUCED VERTICAL CLEARANCE: GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED BY SECTIONS 307.2 AND 307.3, AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.
- PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN PUBLIC USE AREAS TO COMPLY WITH 2010 ADA SECTION 307, INCLUDING:
 - 2010 ADA SECTION 307.2: OBJECTS PROJECTING FROM WALLS
 - 2010 ADA SECTION 307.4: MINIMUM CLEAR HEADROOM
- FLOOR AND GROUND SURFACES IN COMMON USE AREAS SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTIONS 302.
- FLOOR AND GROUND SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL COMPLY WITH 2010 ADA SECTION 302.
- CHANGES IN LEVEL IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303, INCLUDING:
 - ANSI 2009 SECTION 303.2: VERTICAL
 - ANSI 2009 SECTION 303.3: BEVELED
 - ANSI 2009 SECTION 303.4: RAMPS
- CHANGES IN LEVEL ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL COMPLY WITH 2010 ADA SECTION 303, INCLUDING:
 - 2010 ADA SECTION 303.2: VERTICAL
 - 2010 ADA SECTION 303.3: BEVELED
 - 2010 ADA SECTION 303.4: RAMPS
- IF TREES OR OTHER PLANTINGS OVERHANG ALONG THE CIRCULATION ROUTES AT THE SIDEWALK WITHOUT PROTECTION AT 27" A.F.F. OR LOWER, ASSURE THEY DO NOT EXTEND GREATER THAN 4" INTO CIRCULATION ROUTE AT A HEIGHT OF 80" ABOVE GRADE OR LOWER. (1986 ANSI, SECTION 4.4.1)
- THE CONTROLS AT ANY ADDITIONAL COMMON USE ELEMENT SUCH AS THE GATE HARDWARE, FIRE PIT, POOL SHOWER, ETC. WHICH ARE INTENDED TO BE USED BY THE RESIDENTS AND THEIR GUESTS ARE LOCATED ON AN ACCESSIBLE ROUTE, WITHIN THE REQUIRED REACH RANGE OF 15"-48" A.F.F. AND ARE OPERABLE WITH ONE HAND USING SLB MAXIMUM PRESSURE WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST (1986 ANSI, SECTION 4.25 & ANSI 2009, SECTION 308)

CONSULTANTS:

DEVELOPER: WP EAST ACQUISITIONS, LLC
1001 MOREHEAD SQUARE DRIVE
CHARLOTTE, NC 28203
(704) 332-8995
ARCHITECT: HOUSING STUDIO
333 WEST TRADE STREET
SUITE 300
CHARLOTTE, NC 28202
(704) 333-7862
LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA
2459 WILKINSON BOULEVARD
SUITE 200
CHARLOTTE, NC 28208
(704) 343-0608
CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA
2459 WILKINSON BOULEVARD
SUITE 200
CHARLOTTE, NC 28208
(704) 343-0608
SURVEYOR: JAMES MAUNEY & ASSOCIATES, P
6405 WILKINSON BLVD
SUITE 11
BELMONT, NC 28012
(704) 829-9623

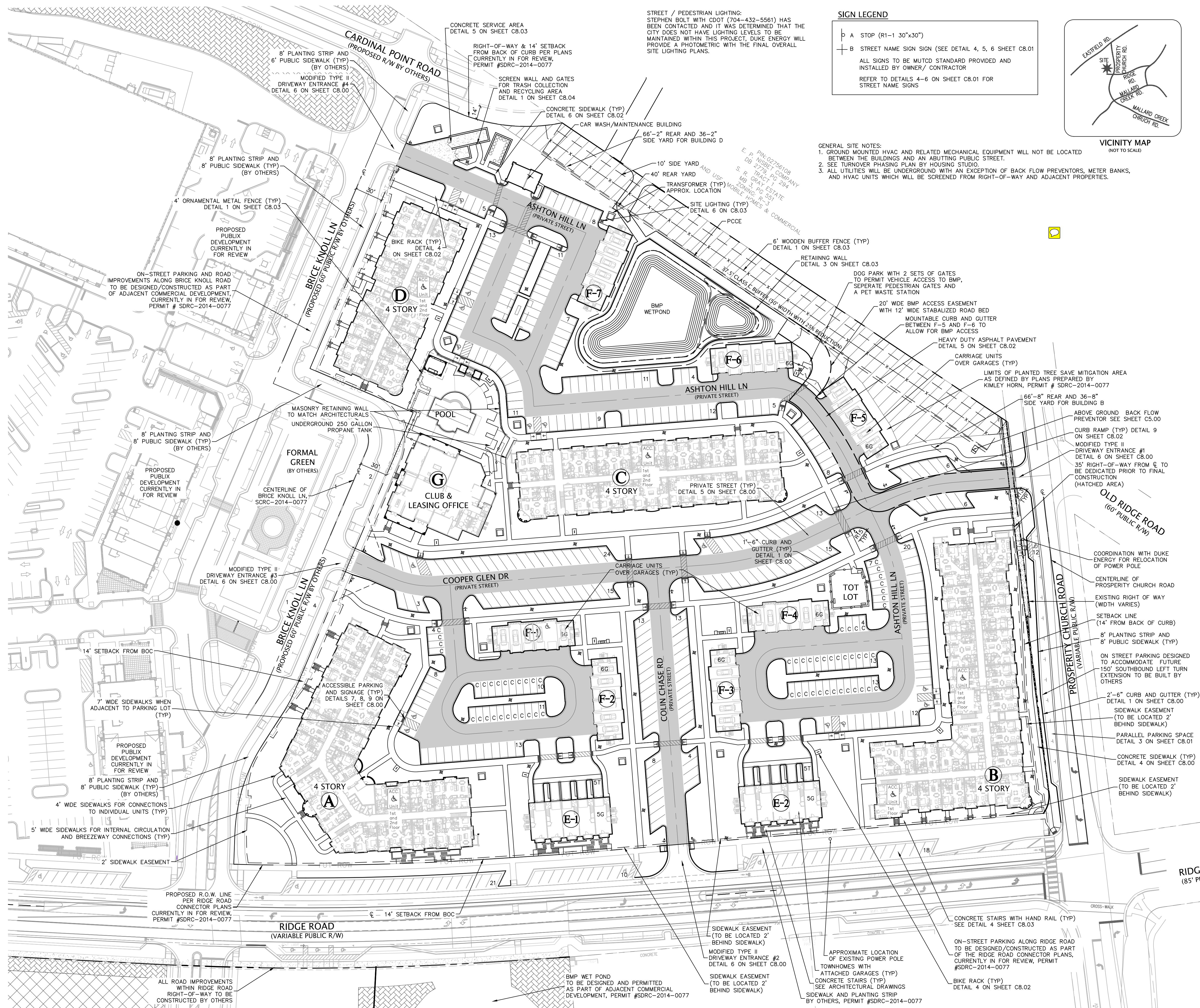
-Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the Charlotte Department of Transportation/North Carolina Department of Transportation before installation. For City of Charlotte maintained streets, contact CDOT at (704) 336-3888.
-Any work within the City's R/W that requires closure of the sidewalk or travel lane for less than 30 days requires a R/W use permit. Traffic control plans for any sidewalk or travel lane closures must be submitted as part of the R/W use permit request. Traffic control plans must be in accordance with CDOT's Work Area Traffic Control Handbook (WATCH) and must be reviewed and approved. Contractor shall contact CDOT at least 5 business days in advance of beginning of work at (704) 432-1562.
-Construction staging within City R/W lasting more than 30 days requires a R/W Lease agreement. Contractor shall contact CDOT at (704) 336-2562.
-Right-of-way closures longer than 30 days require a R/W Lease agreement which will include the submittal of a traffic control plan. Traffic control plans required through a lease agreement may be different from the one required during the Land Development plan review and are subject to revisions. The revised traffic control plans must be submitted as part of the lease agreement process for approval prior to start of R/W closures. Contractor shall contact CDOT at (704) 336-2562



VICINITY MAP
(NOT TO SCALE)

SHEET SCHEDULE

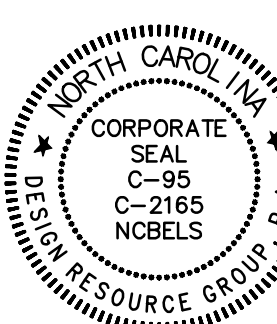
C0.00	COVER SHEET
C1.00	SURVEY
C1.01	SURVEY
C2.00	SITE PLAN
C2.01	ACCESSIBLE ROUTE PLAN
C3.00	EROSION CONTROL PHASE I
C3.01	EROSION CONTROL PHASE II
C3.02	EROSION CONTROL PHASE III
C4.00	GRADING PLAN
C4.01	GRADING PLAN
C4.10	STORM DRAINAGE PLAN
C4.11	STORM DRAINAGE AREAS
C4.12	AREA DRAIN PLAN
C4.13	BMP DETAILS
C4.14	STORMWATER MANAGEMENT PLAN
C5.00	OVERALL UTILITY PLAN
C5.01	SANITARY SEWER PROFILES
C5.02	SANITARY SEWER PROFILES
C6.00	REQUIRED PLANTING PLAN
C6.01	WETPOND PLANTING PLAN
C7.00	PROSPERITY CHURCH ROAD IMPROVEMENTS
C7.01	ISD PLAN
C7.02	TRAFFIC CONTROL PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SITE DETAILS
C8.03	SITE DETAILS
C8.04	TRASH COMPACTOR AREA DETAILS
C9.00	CIVIL DETAILS
C9.01	CIVIL DETAILS
C9.02	CIVIL DETAILS
C9.03	CIVIL DETAILS
C9.04	CIVIL DETAILS
RZ-1	APPROVED REZONING TECH PLAN
RZ-2	APPROVED REZONING SITE PLAN
RZ-3	APPROVED REZONING DEV STANDARDS
A0.6	EXTERIOR MATERIAL PERCENTAGE
A0.7	EXTERIOR MATERIAL PERCENTAGE
A5.A1	BUILDING A
A5.B1	BUILDING B
A5.C1	BUILDING C
A5.D1	BUILDING D
A5.E1	BUILDING E
A5.F1	BUILDING F
A5.G1	BUILDING G
A5.H1	BUILDING H AND I



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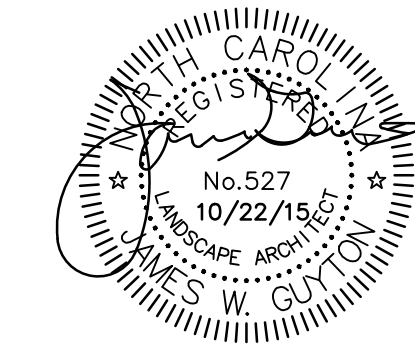


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CONSTRUCTION DOCUMENTS



25 0 25 50
SCALE: 1" = 50'

PROJECT #: 041-187
DRAWN BY: MB
CHECKED BY: SK

SITE PLAN

OCTOBER 22, 2015

REVISIONS:
1.