

VICINITY MAP - NTS

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GENERAL NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- IN ROLLING AND HILLY TERRAINS, SWEEPINGS OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- CURB AND GUTTER SHOWN ON PLANS ALONG PAPER BIRCH ROAD MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE.
- BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED.
- BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- THERE ARE NO DEMOLITION LANDFILLS PROPOSED FOR THE SITE.

REVISION
APPROVED FOR CONSTRUCTION
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 By: Joshua Weaver 2-20-2015

DEVELOPMENT DATA:

TOTAL SITE AREA:	19.93 AC
EXISTING ZONING:	MX-2
DEVELOP AS:	MX-2
TAX PARCEL #:	108-06-897, 898
PROPOSED DETACHED SINGLE-FAMILY LOTS:	33
PROPOSED ATTACHED MULTI-FAMILY LOTS:	66
MAXIMUM # UNITS ALLOWED BY MX-2 ZONING:	149
DENSITY:	4.88 DUA
OPEN SPACE REQUIRED:	1.86 AC
OPEN SPACE PROVIDED:	5.39 AC

MINIMUM STANDARDS:

SINGLE FAMILY DETACHED:

STREET TYPE & RIGHT-OF-WAY	40' - 50' PUBLIC RW
SIDWALK	4' WIDTH
CURB AND GUTTER	2'-0" VALLEY GUTTER
STREET FRONTAGE	PUBLIC
MIN. LOT SIZE	4,000 S.F.
MIN. STREET SETBACK (FOR FRONT LOADED GARAGE)	20'
MIN. STREET SETBACK (FOR REAR/SIDE LOADED GARAGE)	10'
MIN. SIDEYARD	3'
MIN. REARYARD	15'
MIN. LOT WIDTH	35'
MIN. OFF-STREET PARKING	2 SPACES PER UNIT
MIN. BUILDING SEPARATION	6'
HEIGHT OF FENCES AND WALLS	6' TYP., 5'-6" MIN., 6'-6" MAX.

PREVIOUSLY APPROVED GRADING EXPIRED



APPROVED
 By Brandon Smith (bmsmith@charlottenc.gov) at 4:32 pm, Feb 25, 2015
<http://development.charmeck.org>

ENGINEERING
 PCO / DETENTION / DRAINAGE PLAN

APPROVED
 By Brandon Smith (bmsmith@charlottenc.gov) at 4:32 pm, Feb 25, 2015

EROSION CONTROL
 NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

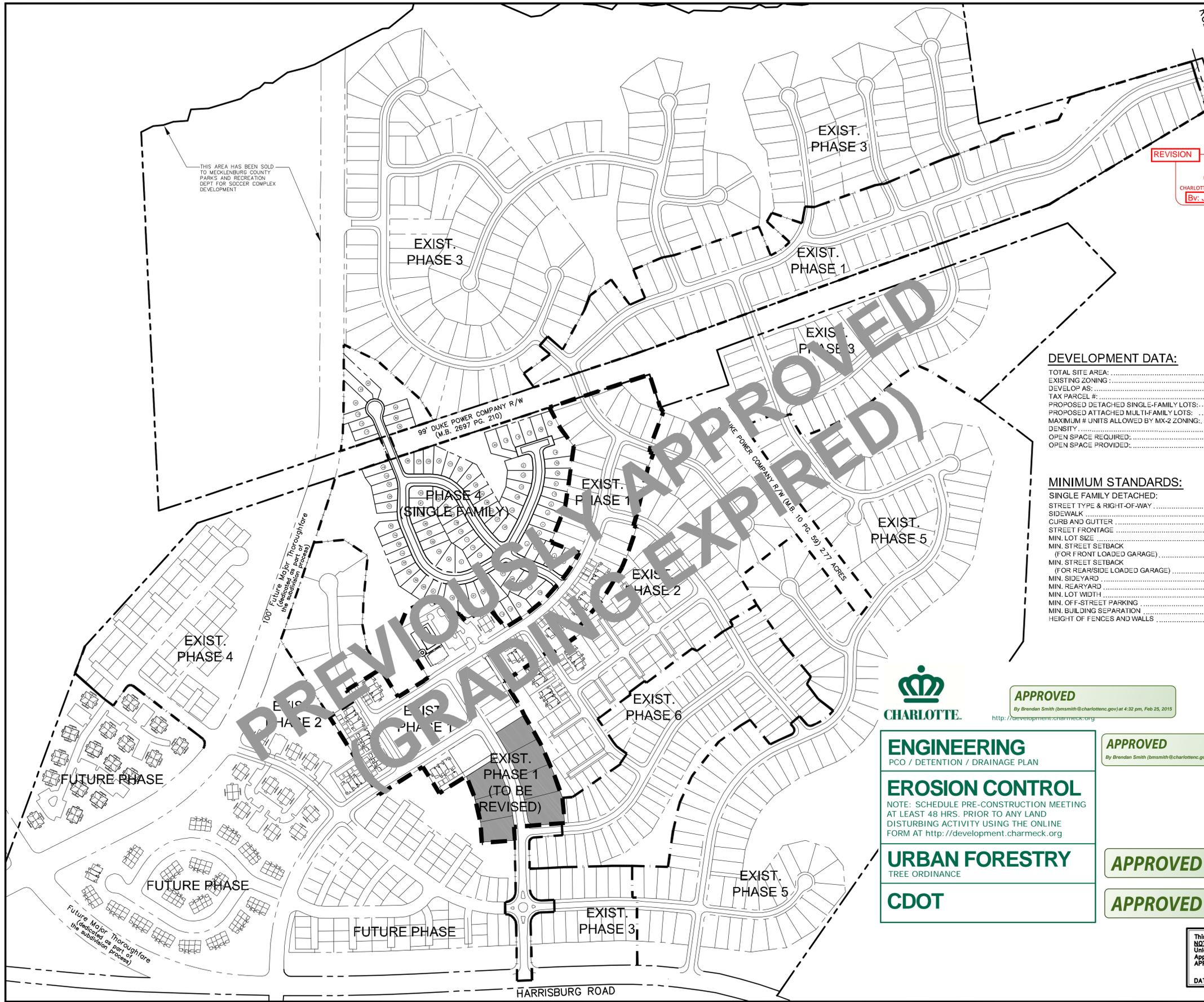
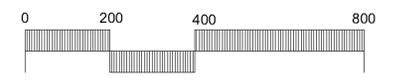
APPROVED

URBAN FORESTRY
 TREE ORDINANCE

APPROVED

CDOT

This Plan is A Final Design.
 NOT Released For Construction Unless Initialed & Dated As Approved:
 APPROVED: _____
 DATE: _____



REVISIONS:				
No.	Date	By	Description	
1	8-19-08	VB	REVISED PER CITY OF CHARLOTTE COMMENTS	
2	11-10-08	RIT	REVISED PER CITY OF CHARLOTTE COMMENTS	

Project Manager	HVN
Drawn By	VPB
Checked By	CG/HVN
Date	6/03/08
Project Number	07038.6



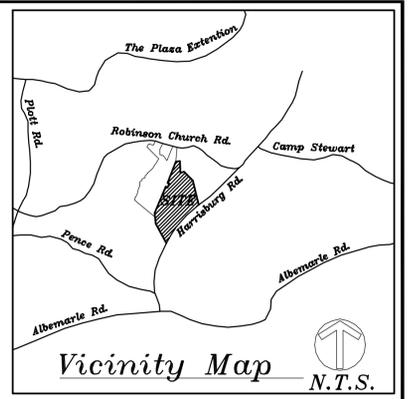
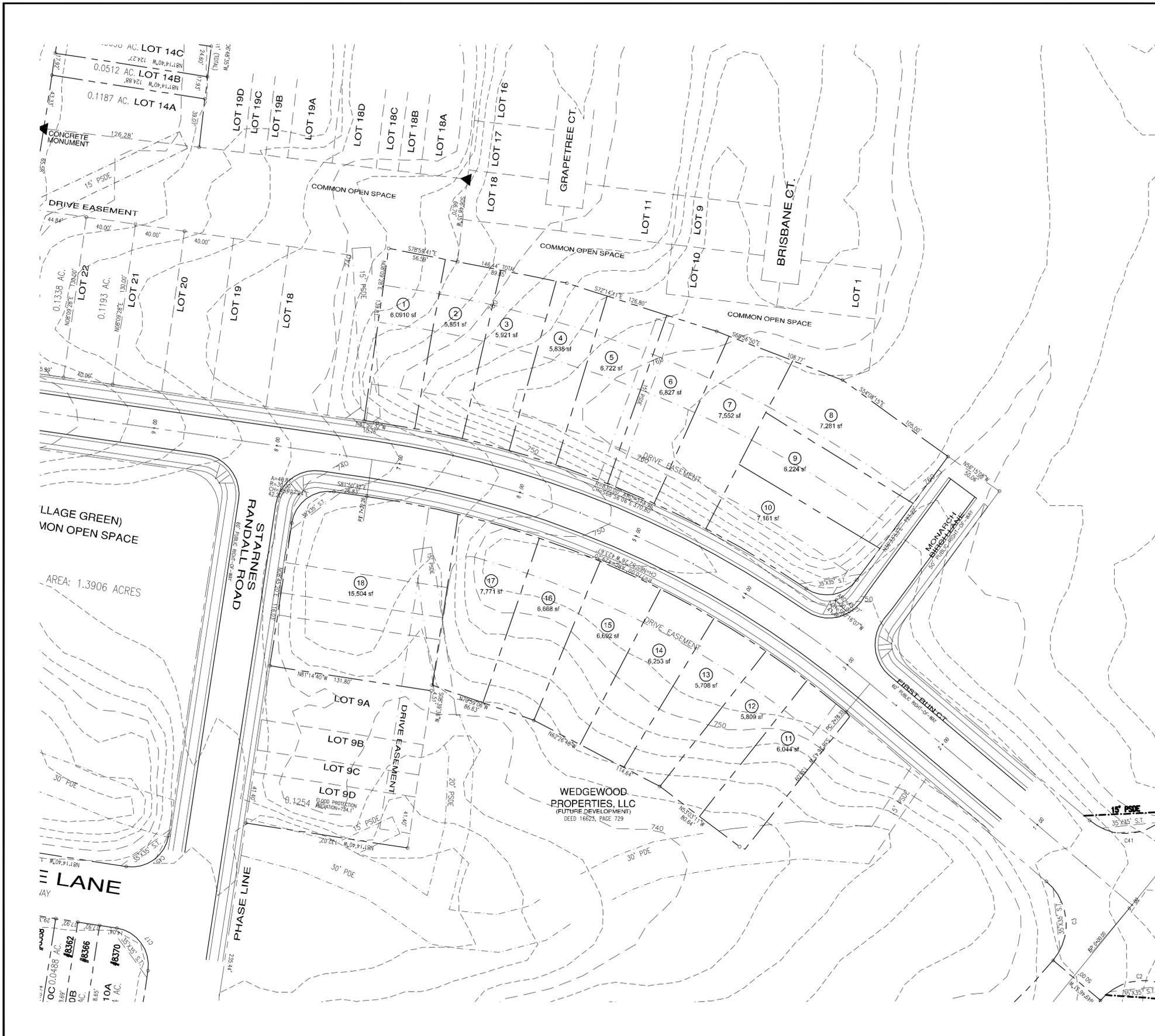
DPR ASSOCIATES
 Landscape Architects
 Planners & Engineers
 420 Hawthorne Lane
 Charlotte, NC 28204
 704/332-1204

COVER SHEET

KINGSTREE - PH 4
 SINGLE FAMILY
 MECKLENBURG COUNTY, NORTH CAROLINA

MULVANEY PROPERTIES
 7301 CARMEL EXECUTIVE PARK
 SUITE 102
 CHARLOTTE, NC 28226
 PHONE: 704.962.3229

Scale:	1" = 200'
Sheet Number	L-1
SHEET 1 OF 10 TOTAL	



DEVELOPER:
 LGI HOMES-NC, LLC
 CONTACT: MR. CEDRIC COMBO
 CCOMBO@LGHOMES.COM
 ADDRESS : 2631 S. TRYON ST., SUITE-D
 CHARLOTTE, NC 28208
 PHONE: 704.780-5160

DESIGN COMPANY:
 PLANS PREPARED BY: DPR ASSOCIATES, INC
 ATTN: DAVID SHERRILL, PE
 DSHERRILL@DPRASSOCIATES.NET
 ADDRESS: 420 HAWTHORNE LANE
 CHARLOTTE, NC 28204
 PHONE: 704-332-1204

LAND SURVEYOR:
 PREPARED BY: SUMMIT LAND SERVICES, P.C.
 ATTN: MARK FISHER, NCPLS
 ADDRESS: 3575 CENTRE CIRCLE DRIVE
 FORT MILL, SC 29711
 PHONE: 704-504-1717

DEVELOPMENT DATA:

TOTAL SITE AREA: ± 19.93 AC
 REVISED SITE AREA: 2.50 AC
 EXISTING ZONING: MX-2 & R-3
 DEVELOP AS: R-3
 TAX PARCEL #: 108-06-897 & 108-06-898
 PROPOSED DETACHED SINGLE-FAMILY LOTS: 18
 MAXIMUM # UNITS ALLOWED BY ZONING: 32
 DENSITY: 5.75 DUA
 OPEN SPACE REQUIRED: 2.86 AC
 OPEN SPACE PROVIDED: 7.66± AC

MINIMUM STANDARDS:

SINGLE FAMILY DETACHED:

STREET TYPE & RIGHT-OF-WAY 50' PUBLIC or 30' PRIVATE
 SIDEWALK 4' WIDTH
 CURB AND GUTTER 2'-6" STD. OR 2' VALLEY
 STREET FRONTAGE PUBLIC OR PRIVATE
 MIN. LOT SIZE 2,600 S.F.
 MIN. STREET SETBACK
 (FOR FRONT LOADED GARAGE) 20'
 MIN. STREET SETBACK 10'
 (FOR REAR/SIDE LOADED GARAGE)
 MIN. SIDEYARD 3'
 MIN. REARYARD 15'
 MIN. LOT WIDTH 35'
 MIN. OFF-STREET PARKING 2 SPACES PER UNIT
 MIN. BUILDING SEPARATION 6'
 HEIGHT OF FENCES AND WALLS 5'-6" MIN. 6'-6" MAX.

NOTE:
 KINGSTREE PHASES 1-6 HAVE BEEN APPROVED BY THE
 CHARLOTTE-MECKLENBURG PLANNING COMMISSION.

SHEET SCHEDULE

LG-1 GRADING/STORM DRAINAGE & EROSION
 CONTROL PLAN - PHASE 1

LG-2 GRADING/STORM DRAINAGE & EROSION
 CONTROL PLAN - PHASE 2

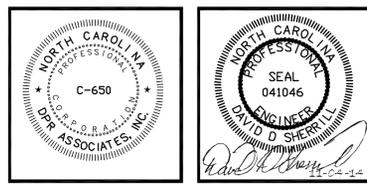
LG-3 SITE DETAILS

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- RIGHT-OF-WAY
- EXISTING EASEMENTS
- EXISTING STORM PIPE
- TD DIVERSION DITCH
- DRAINAGE AREA
- FORMER PARCEL BOUNDARIES
- LOT NUMBER
- LIMITS OF GRADING



REVISIONS:			
No.	Date	By	Description



DPR ASSOCIATES
 Landscape Architects
 Planners & Engineers
 420 Hawthorne Lane
 Charlotte, NC 28204
 704/332-1204

SITE PLAN WITH EXISTING CONDITIONS

KINGSTREE - PHASE 1
 SINGLE FAMILY SUBDIVISION
 FIRST RUN COURT
 MECKLENBURG COUNTY, NORTH CAROLINA

CLIENT / OWNER:
 LGI HOMES-NC, LLC
 2631 S. TRYON ST., SUITE-D
 CHARLOTTE, NC 28208
 PH. #: (704) 780-5160

Scale:
 1" = 40'

Sheet Number
LG-1

SHEET 2 OF 3 TOTAL

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