

HUNTINGTON PARK DRIVE SUB-DIVISION

CHARLOTTE, NORTH CAROLINA

SEPTEMBER 8, 2014



ENGINEERING PCO / DETENTION / DRAINAGE PLAN	APPROVED By Brandon Smith (bsmith@charlottesville.gov) at 4:57 pm, Jun 07, 2015
EROSION CONTROL NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org	APPROVED By Brandon Smith (bsmith@charlottesville.gov) at 4:57 pm, Jun 07, 2015
URBAN FORESTRY TREE ORDINANCE	APPROVED
CDOT	APPROVED

APPROVED FOR CONSTRUCTION CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT BY: Joshua Weaver 1-8-2014

PROJECT LOCATION:

1031 HUNTINGTON PARK DRIVE
CHARLOTTE, NC 28211

DRAWING INDEX:

SEQ REF NO. TITLE

GENERAL INFORMATION:

1 COV COVER SHEET

CIVIL:

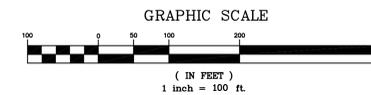
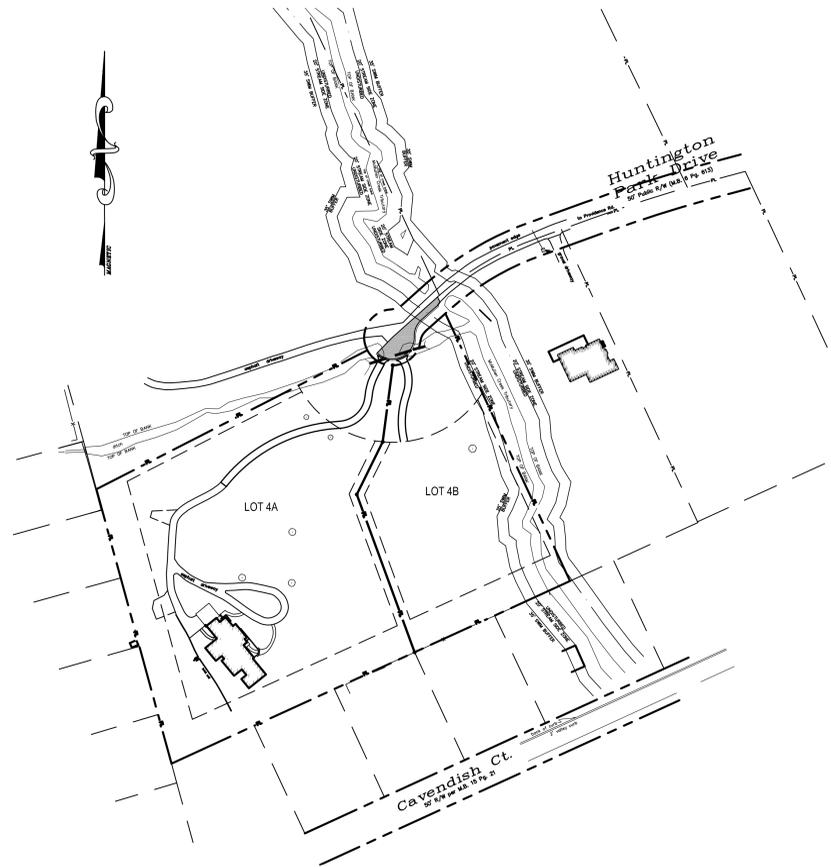
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- 3 C2.00 DEMOLITION PLAN
- 4 C3.00 SITE PLAN
- 5 C3.10 ROAD & DRIVEWAY IMPROVEMENTS PLAN
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SITE DATE TABLE:

1031 HUNTINGTON PARK DRIVE
DEED BOOK: 27283 PAGE: 072
PARCEL NUMBER: 18308108
INSIDE CHARLOTTE (X) YES () NO
FEMA PANEL #: 3710455100K
POST CONSTRUCTION DISTRICT: CENTRAL CATAWBA
PROPERTY ACREAGE: 5.49 +/- ACRES
PROJECT ACREAGE: 1.69 +/- ACRES
EXISTING ZONING: R-3

PROJECT DESCRIPTION:

THIS PROJECT INCLUDES THE SUBDIVISION OF AN EXISTING PARCEL, IMPROVEMENTS NECESSARY TO BRING THE SITE UNDER THE CURRENT ORDINANCE, AND A FLOOD STUDY.

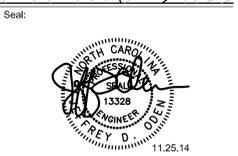
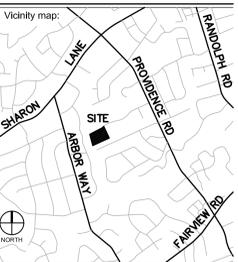


Know what's below.
Call before you dig.



Client:
1031 HPD, LLC
2701 COLTSGATE ROAD
SUITE 300
CHARLOTTE, NC 28211-3923

Project:
**HUNTINGTON
PARK DRIVE
SUB-DIVISION**



Issued for:
CONSTRUCTION DOCUMENTS

No.	Date	Description
1	11.25.14	Per City of Charlotte Comments.

Scale: AS SHOWN

Title:

COVER SHEET

Project number: X141019 Sheet:
Date: 09/08/2014
Drawn by: DLS
Approved by: JDO **C0.00**

OWNER/DEVELOPER:

1031 HPD, LLC
2701 COLTSGATE ROAD, SUITE 300
CHARLOTTE, NC 28211

CONTACT:
CHARLES CAMPBELL
OFFICE: 704.971.4894
FAX: 704.367.0196
MOBILE: 704.724.6911
Charles@brackettflagship.com

CIVIL ENGINEER:

STEWART
200 SOUTH COLLEGE STREET, SUITE 720
CHARLOTTE, NC 28202

PLANS PREPARED BY: JDO
DATE DESIGN COMPLETED: SEPTEMBER 8, 2014

CONTACT:
JEFFREY D. ODEN, PE
P: 704.334.7925
F: 704.334.7926
joden@stewartinc.com

SURVEYOR:

A.G. ZOUTEWELLE SURVEYORS
1418 EAST FIFTH STREET
CHARLOTTE, NC 28204

DATE SURVEY COMPLETED: NOVEMBER 8, 2013

CONTACT:
PETE NORDSTROM
P: 704.372.9444
F: 704.372.9555
peten@carolina.rr.com

CONTRACTOR:

INSPECTOR:

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY A. G. ZOUTEWELLE SURVEYORS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL EXISTING LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ALL "STD." NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
- NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET-MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm).
- PRIOR TO PLAT RECORDATION, OFFSITE RW AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS". THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE SITE PLAN.
- CONTRACTOR SHALL CONTACT CDOT AT 704-432-1562 A MINIMUM OF 7 WORKING DAYS PRIOR TO CONSTRUCTION, TO OBTAIN THE NECESSARY RIGHT OF WAY PERMITS FOR ANY CONSTRUCTION ACTIVITIES WITHIN THE CITY OF CHARLOTTE RIGHT OF WAY.
- PER SECTION 16-175(E) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION EXCEPT WHERE GRANDFATHERED BY CITY ENGINEERING.
- TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6992 FOR REQUIRED PERMITS.
- BEFORE YOU DIG STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.

SITE NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM HUNTINGTON PARK DRIVE UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
- ALL DIMENSIONS ARE IN FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE SITE SHALL BE STABILIZED AND SEEDDED PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY.
- CURB AND GUTTER SHOWN ON PLANS ALONG MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING.

ZONING CODE SUMMARY:

PROJECT NAME: HUNTINGTON PARK SUBDIVISION
 ADDRESS: 1031 HUNTINGTON PARK DRIVE, CHARLOTTE, NC 28211 PARCEL ID#: 18308108
 OWNER: 1031 HPD, LLC PHONE # _____
 PLANS PREPARED BY: STEWART, INC. PHONE # 704/334-7925
 ZONING: R-3 JURISDICTION: CITY OF CHARLOTTE

PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

EXISTING LOT SIZE: 5.49 ACRES

YARD REQUIREMENTS:

SETBACK (FRONT):	30 FEET
SIDE YARD (L):	6 FEET
SIDE YARD (R):	6 FEET
REAR YARD:	45 FEET
MIN. LOT AREA:	10,000 SQ. FT.
MAX. BUILDING HEIGHT:	40 FEET
MAX. BUILDING COVERAGE:	30%
OPEN SPACE REQUIRED:	65%

EXISTING IMPERVIOUS AREA: 15,536 SQ. FT. (6.5%)

EXISTING PERVIOUS AREA: 223,518 SQ. FT. (93.5%)

LOT 4A - PCCO SUMMARY

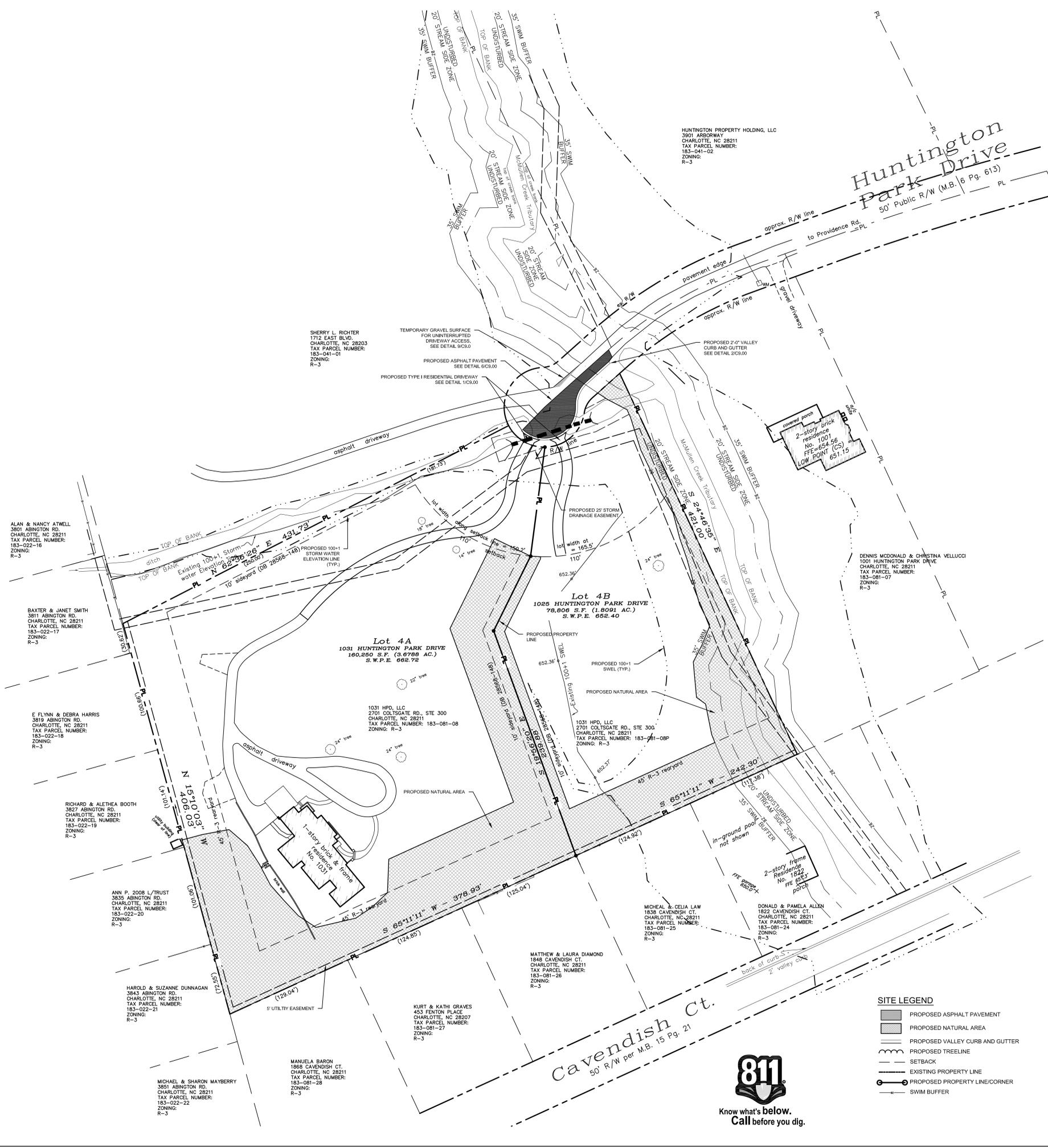
Original Parcel ID Number(s)	183-081-08
Development Type	Single Family
Subject to PCCO? Y/N	Y
- FNO, why? -	- Click for Dropdown -
Watershed	Central Catawba
Disturbed Area (ac)	0.53
Site Area (ac)	3.6788
Total on-site Drainage Area (ac)	3.68
Existing Built-upon area (SF)	15,536
Existing BUA to be removed (SF)	3,017
Existing BUA to remain (SF)	12,519
Proposed New BUA (SF)	15,467
Proposed % BUA	24.0%
Density (High / Low)	Low
Total Post-Project BUA for site	47,998 sf = 1.10 Ac
Development or Redevelopment?	Development
Natural Area Required (ac)	0.92 (25% of site)
Natural Area provided, total (ac)	0.96
Undisturbed Traced Natural Area Preserved (ac)	0.43
Total stream buffer protected on-site (ac)	0
Transect Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorus Mitigation? Y/N	N

LOT 4B - PCCO SUMMARY

Original Parcel ID Number(s)	183-081-08P
Development Type	Single Family
Subject to PCCO? Y/N	Y
- FNO, why? -	- Click for Dropdown -
Watershed	Central Catawba
Disturbed Area (ac)	1.65
Site Area (ac)	1.8091
Total on-site Drainage Area (ac)	1.81
Existing Built-upon area (SF)	0
Existing BUA to be removed (SF)	0
Existing BUA to remain (SF)	0
Proposed New BUA (SF)	18,913
Proposed % BUA	24.0%
Density (High / Low)	Low
Total Post-Project BUA for site	18,913 sf = 0.43 Ac
Development or Redevelopment?	Development
Natural Area Required (ac)	0.45 (25% of site)
Natural Area provided, total (ac)	0.55
Undisturbed Traced Natural Area Preserved (ac)	0.23
Total stream buffer protected on-site (ac)	0.31
Transect Station Area? Y/N	N
Distressed Business District? Y/N	N
Mitigation Type (if applicable)	N/A
Natural Area mitigation? Y/N	N
Buffer Mitigation? Y/N	N
Total Phosphorus Mitigation? Y/N	N

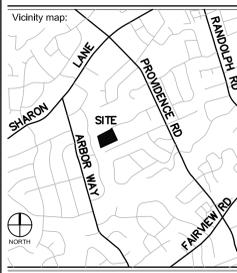
SITE LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED NATURAL AREA
- PROPOSED VALLEY CURB AND GUTTER
- PROPOSED TREELINE
- SETBACK
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE/CORNER
- SWIM BUFFER



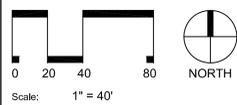
Client:
1031 HPD, LLC
 2701 COLTSGATE ROAD
 SUITE 300
 CHARLOTTE, NC 28211-3923

HUNTINGTON PARK DRIVE SUB-DIVISION



Issued for:
CONSTRUCTION DOCUMENTS

No.	Date	Description
1	11.25.14	Per City of Charlotte Comments.



SITE PLAN

Project number: X14019 Sheet:
 Date: 09/08/2014
 Drawn by: DLS
 Approved by: JDO **C3.00**