

## SHEET INDEX

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## GENERAL NOTES

1. THIS PRELIMINARY SUBDIVISION PLAN IS SUBMITTED, AND SHALL BE CONSTRUCTED, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CHARLOTTE (ZONING AND SUBDIVISION ORDINANCES), AND THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
2. BOUNDARY SURVEY INFORMATION PER SURVEY PREPARED BY R. B. PHARR & ASSOC.
3. TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY BY R. B. PHARR & ASSOC.
4. CHIEF SUBDIVISION INSPECTOR SHALL BE GIVEN 48 HOURS ADVANCE NOTICE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. LOT DIMENSIONS ARE APPROXIMATE; REFERENCE RECORD FOR EXACT LOT DIMENSIONS.
6. ALL STORM DRAINAGE PIPE SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. PIPE LENGTHS INDICATED ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.
7. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY AS DETERMINED NECESSARY BY THE INSPECTOR.
8. REFERENCE SHEETS 5 & 6 FOR EROSION CONTROL PLAN AND NOTES. REFERENCE SHEET 7 FOR EROSION CONTROL DETAILS.
9. CONSTRUCTION OF ALL DEVELOPMENT IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL. REFERENCE SHEET 9 FOR SITE DETAILS. THE FOLLOWING ADDITIONAL DETAILS ARE INCLUDED BY REFERENCE:

ITEM	CLD/CDDOT STD. NO.
CURB AND GUTTER	10.17
CATCH BASIN LOCATION	10.24 & 10.30
(C) BRICK CATCH BASIN	8.40.1 & 8.40.2
STREET NAME SIGN	50.25
SIDEWALK	10.22

10. APPROXIMATE COMPLETION TIME IS FALL 2014.
11. WATER AND SANITARY SEWER SERVICE SHALL BE PROVIDED BY EXTENSION OF THE EXISTING CHARLOTTE-MECKLENBURG UTILITY SYSTEM.
12. SIDEWALK NOTE: THE CONTRACTOR SHALL COORDINATE WITH THE SUBDIVISION INSPECTOR FOR LATEST REVISION OF HANDICAP RAMP DETAILS PRIOR TO PLACEMENT OF ANY H/C RAMPS AND/OR SIDEWALK.
13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNDEGRADED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, LIMB, JUNK AND OTHER ACCUMULATIONS.
14. DRAINAGE EASEMENTS INDICATED AS SOE (STORM DRAINAGE EASEMENT) ARE EASEMENTS WHICH ARE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
15. DEVELOPER WILL PROVIDE STREET SIGNS PER CLD#H 50.05 (1" SIGNS ONLY).
16. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH THE CITY INSPECTOR.
17. NON-STANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE) DEPARTMENT OF TRANSPORTATION NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
18. "AS-BUILT" DRAININGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY COUNTY SUBDIVISION ORDINANCE.
19. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
20. IN ROLLING AND HILLY TERRAINS, SHEEPING OF THE STONE BASE AND/OR APPLICATION OF TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.

21. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
22. SITE BENCHMARK FOR PROJECT IS THE RIM OF AN EXISTING SAN. SMR. M4 INMAN STREET, ELEV. = 670.24 (NAVD 1988).
23. THE CITY OF CHARLOTTE WILL NEITHER BE RESPONSIBLE FOR THE GROUNDS WITHIN THE PERMANENT STORM DRAINAGE EASEMENT NOR REMOVAL OF ANY OBSTRUCTIONS IN THAT AREA.
24. COMMON OPEN SPACE TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION IN ACCORDANCE WITH THE CHARLOTTE ZONING ORD. 9.205.
25. ANY ROAD IMPROVEMENTS ON THE EXISTING STREETS ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
26. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE STD. GUIDELINES STD.
27. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTRY STAFF.
28. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION, MATS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN TREE SAVE AREA.
29. VIOLATIONS OF THE TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES, AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.
30. NO DEMOLITION LANDFILLS WILL BE LOCATED ON THIS SITE.

31. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (604.4202.336-3086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION. EQUIPMENT. 60-40 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED COSTS AND/OR REPAIR COSTS CAUSED BY THE CONTRACTOR/DEVELOPER.
32. COMMON OPEN SPACE/TREE/SAVE AREA TO REMAIN IN A NATURAL STATE. AREAS TO BE CLEANED OF TRASH AND DEBRIS.
33. THE PURPOSE OF THE STORM DRAINAGE EMT. (SOE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPED STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
34. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
35. SIGHT TRIANGLES SHOWN ARE MINIMUM REQUIRED.
36. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
37. PRIOR TO PLAY RECORPORATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED. TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
38. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 1 DAYS PROCESSING FOR PERMITS. FOR INFORMATION CONTACT CDOT (704-336-4025) OR VISIT <http://www.charmck.org/departments/transportation/street%20maintenance/home.htm>
39. PER SECTION 18-175 (E) OF THE CITY CODE AND SECTION 10.0 OF THE CITY POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL. ALL REQ'D NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
40. TREESAVE AREA MUST HAVE INVASIVE PLANTS INCLUDING ENGLISH IVY REMOVED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY BEING ISSUED. ANY GAPS IN THE EXISTING TREESAVE AREA WILL BE PLANTED WITH 2" CALIBER LARGE MATURING TREES FROM THE APPROVED SPECIES LIST. COORDINATE WITH URBAN FORESTRY SPECIALIST.

**DEVELOPMENT STANDARDS**

SITE ACREAGE: 4.71 AC  
TAX PARCEL NO.: 125-234-08/10/15/17/18/22/28  
ZONING JURISDICTION: CITY OF CHARLOTTE  
ZONING CLASSIFICATION: UR-2 (CD) #2014-024  
TREE SAVE REQUIRED: 10% x 4.71 AC = 0.471 AC  
TREE SAVE PROVIDED: 0.63 AC = 13.4%  
COMMON OPEN SPACE REQUIRED: 10% x 4.71 AC = 0.571 AC  
COMMON OPEN SPACE PROVIDED: 0.71 AC = 15.0%  
NATURAL AREA REQ'D (15%): PROVIDED: 0.82 AC / 1.0% AC  
REVEGETATED AREA = 0.88 AC REQUIRING PLANTING 25 TREES  
PARKING PROPOSED: 1 SPACES (MIN. 2 SPACES MAX) PER UNIT  
MAX PROPOSED DENSITY: 15 DU/A  
PROPOSED USE: SINGLE FAMILY(2 DUPLEX LOTS)  
MAX. NO. OF LOTS PROPOSED: 33  
**THE AVERAGE BUA IS 2,600 SF PER LOT\***  
\*LOT BUA AND TOTAL WILL APPEAR AS LOTS ARE PLATTED

UR-2 (CD) LOT DATA:  
MIN. LOT SIZE = 3,000 SF  
MIN. LOT WIDTH = 20'  
MIN. SETBACK = 14' FROM B/C (GARAGE 20' FROM BACK OF SIDEWALK)  
MIN. SIDE YARD = 5'  
MIN. REAR YARD = 10'  
MAX. BUILDING HEIGHT = 40'  
MAX. FLOOR AREA RATIO = 1.0  
(400 SF OF OPEN SPACE WILL BE PROVIDED WITH EACH DUPLEX UNIT)

WITH EACH DUPLEX UNIT:  
BUILDING BUA (BLN) MEANS THAT PORTION OF A PROPERTY THAT IS COVERED BY IT'S FLOOR AREA OR PARTITIONED INTO AREAS INCLUDING BUT NOT LIMITED TO BUILDINGS, DRIVEWAYS AND GRAVEL AREAS, SUCH AS ROADS, PARKING LOTS AND PATHS, AND RECREATION AREAS, ARE INCLUDED IN THE BUA. BUILDING BUA DOES NOT INCLUDE DESIGNED TO DRAINAGE DRAINAGE OF RUNOFF, SUCH AS CONSTRUCTION OR MAINTENANCE OF THE PROPERTY. BUILDING BUA DOES NOT INCLUDE CONSIDERED BUILDING AREA (BLN) AREA DOES NOT INCLUDE A WOODEN SLATED DECK OR THE WATER AREA OF A SWIMMING POOL.



**FINAL APPROVAL**

**ENGINEERING**

PGO / DETENTION / DRAINAGE PLAN

**EROSION CONTROL**

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmck.org>

**URBAN FORESTRY**

TREE ORDINANCE

**CDOT**

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## CURVE DATA

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING
C-1	53.8	50.00	26.87	52.91	N60°37'17"E

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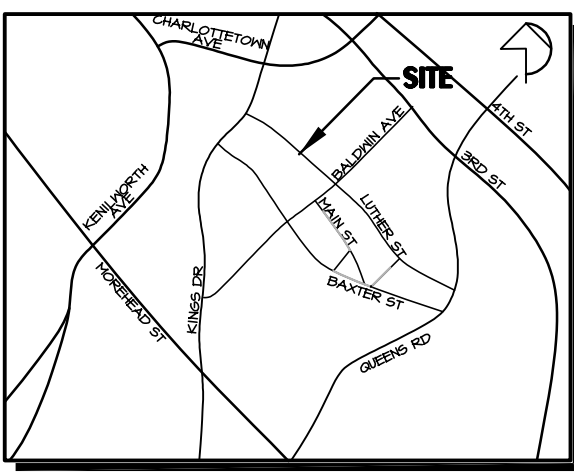
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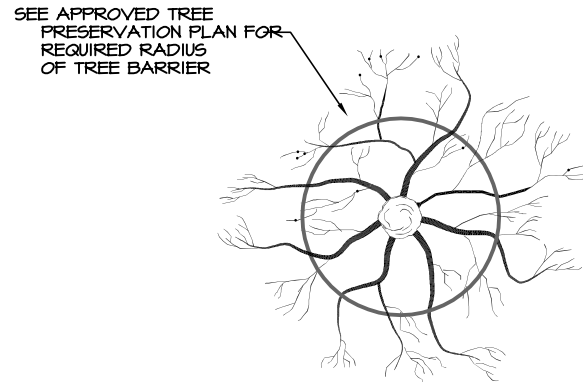
VICINITY MAP NTS

### SHEET INDEX

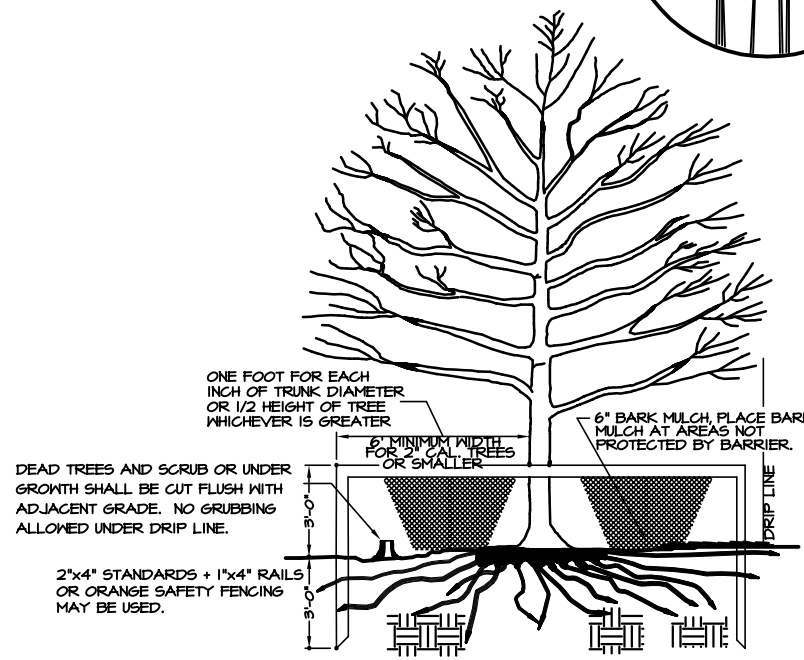
SHEET No. SHEET Title

- 1 Preliminary Subdivision Site/Landscape Plan
- 2 Storm Drainage and Grading Plan

LANDSCAPE PLAN NOTES:  
MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER, 8' TALL. IF SINGLE STEM, MINIMUM 8' TALL AND 3 STEMS MAXIMUM IF MULTI-STEM. MULCH IS REQUIRED. STAKING/STYING IS OPTIONAL.  
FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE, AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE PLANTING AREA OF 1/4" SQUARE FEET PER TREE). CALL 704-336-4824 FOR AN INSPECTION OF SOIL BEFORE PLANTING TREES.  
ALL EXISTING AND 24" OF NEW BARK MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 10" OF THE DUMP FROM ROOT BALL.  
PLEASE CALL 704-336-4824 FOR FINAL INSPECTION OF TREES, 7 TO 10 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.  
PREPARED TREE SPACING IS:  
50' FOR SMALL-MATURING TREES (DOWNHILL IS PANTED IN GROUPS)  
10'-40' FOR LARGE-MATURING TREES (20' MAXIMUM IF PLANTED IN GROUPS)  
ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLACE 10'-30" OFF SEWER AND STORM DRAINAGE LINES, 10'-15" OFF GAS, WATER, PHONE AND UNDERGROUND ELECTRICAL LINES.  
EXISTING HEALTHY TREES WITHIN 25 FEET OF THE RIGHT-OF-WAY LINE MAY LINE MAY BE CREDITED TOWARD THE FORESTER REQUIREMENT IF SHOWN LANDSCAPE PLAN BY THE FORESTER.  
LARGE-MATURING TREES MAY NOT BE PLANTED WHERE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES EXIST. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.



PLAN VIEW OF ROOT ZONE



### TREE PROTECTION NOTES

NOTE: NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.  
TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION/CLEARING/GRADING/CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL INSPECTION BY URBAN FORESTER.  
TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE ORDINANCE STANDARDS (IN CITY OF CHARLOTTE TREE ORDINANCE GUIDELINES APPENDIX).  
BEFORE GRADING/CONSTRUCTION BEGINS, CALL 704-336-4824 FOR INSPECTION OF TREE PROTECTION BARRICADES BY URBAN FORESTER. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO FINES AND/OR IMMEDIATE CORRECTIVE ACTION/MITIGATION.

- NOTES:
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
  2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL TREE PROTECTION FENCES.
  3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 01000 FOR GENERAL SPECIFICATION REGARDING TREE PROTECTION.

### TREE PROTECTION DETAIL

NO SCALE OLD STD # 40.02

### TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)

NO SCALE OLD STD # 40.01

### TREE REQUIREMENTS

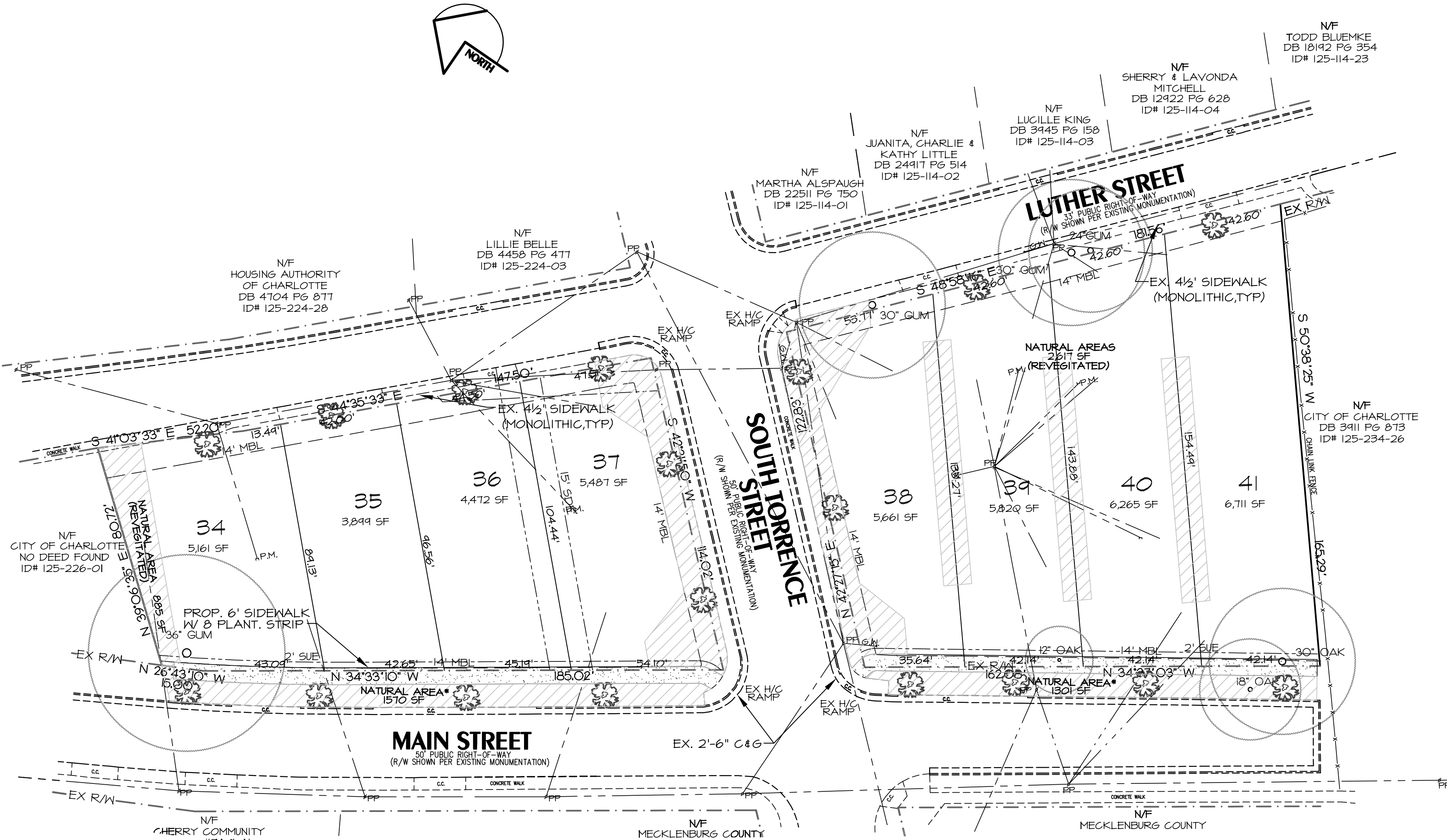
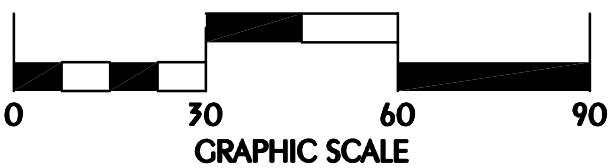
FRONTAGE LF (2 SIDES)	L6 TREES	SM TREES	STREET NAME
975	84	0	LUTHER STREET
250	5	0	ELI STREET
350	7	0	MAIN STREET
975	20	0	TOTAL

ROAD FRONTAGE: 975 LF  
STREET TREES REQUIRED: 475 / 50 = 20 (LARGE MATURING)  
STREET TREES PROPOSED: 20 (LARGE, 0 SMALL)  
\* USE EXISTING TREES THAT QUALIFY, WHERE ALLOWED  
(1) LARGE MATURING TREES SHALL BE FROM APPROVED URBAN FORESTRY SPECIES LIST.  
DIFFERENT SPECIES OF TREES SHALL BE USED ON DIFFERENT STREET  
NO HERITAGE TREES EXIST ON THIS PROPERTY

### DEVELOPMENT STANDARDS

SITE ACREAGE: 1.00 AC  
TAX PARCEL NO.: 125-226-02, 03, 4 125-234-25  
ZONING JURISDICTION: CITY OF CHARLOTTE  
ZONING CLASSIFICATION: UR-2 (CD) #2014-024  
PARKING PROPOSED: 1 SPACES (MIN) 2 SPACES (MAX) PER UNIT  
PROPOSED USE: SINGLE FAMILY  
MAX. NO. OF LOTS PROPOSED: 8

UR-2 (CD) LOT DATA:  
MIN. LOT SIZE = 3,000 SF  
MIN. LOT WIDTH = 20'  
MIN. SETBACK = 14' FROM BIC  
MIN. SIDE YARD = 5'  
MIN. REAR YARD = 10'  
MAX. BUILDING HEIGHT = 40'  
MAX. FLOOR AREA RATIO = 1.0



### LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- PROP. LOT LINE
- ROADWAY R/W
- EXIST PAVEMENT/CURB
- EXIST TOPOGRAPHY
- PROP CURB & GUTTER
- EXIST SIDEWALK
- ADJOINING PROPERTY LINES
- EXISTING BUILDINGS
- PROPOSED 5' SIDEWALK
- TREE PROTECTION FENCE
- PROPOSED TREE SAVE AREA
- NATURAL AREA (UNDISTURBED/REVEGETATED)
- PLANTING STRIP (AT 75%)

Preliminary Subdivision Site/Landscape Plan

**The Grove at Cherry**

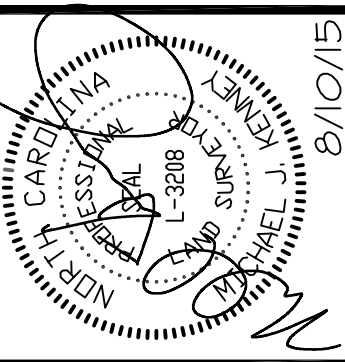
City of Charlotte, Mecklenburg County, North Carolina  
Virgate I, LLC, 1001 Elizabeth Ave, Ste 1C, Charlotte, NC 28233

Sheet No.

1

or 2

Revisions:  
1. 8/10/15  
2. 8/10/15  
3. 8/10/15  
4. 8/10/15



Scale:	1"=20'
Date:	8/13/14
Drawn By:	MIK
Designed By:	MIK
Job No.:	2213