

ENGINEERING
PCO / DETENTION / DRAINAGE PLAN

APPROVED
By Brendan Smith (brendan@charlottemeck.org) at 1:36 pm, Aug 19, 2014

EROSION CONTROL
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

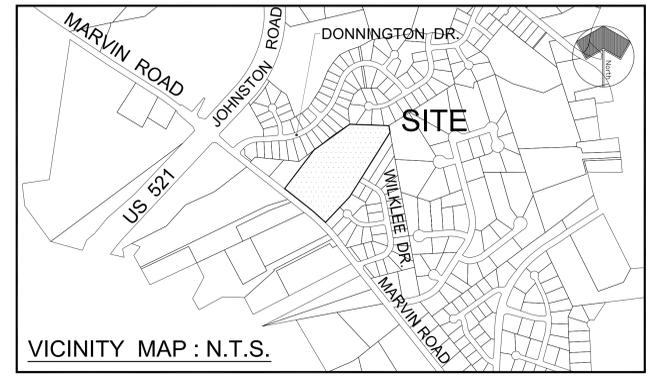
APPROVED
By Brendan Smith (brendan@charlottemeck.org) at 1:36 pm, Aug 19, 2014

URBAN FORESTRY
TREE ORDINANCE

APPROVED
By Gary Turner (704-336-4330) at 5:17 pm, Aug 19, 2014

CDOT

APPROVED
By Keith Bryant at 2:00 pm, Aug 19, 2014



SITE DATA

TAX PARCEL:	223-271-62, 223-271-63, 223-271-85
SITE AREA:	11.38 ACRES
EXISTING ZONING:	MX-1 (INNOVATIVE) PER REZONING
PROPOSED USES:	PETITION # 2013 - 091
MAXIMUM NUMBER OF UNITS:	SINGLE-FAMILY RESIDENTIAL
PROPOSED NUMBER OF UNITS:	51
PROPOSED DENSITY:	4.56 D.U./AC.
MAXIMUM BUILDING HEIGHT:	35 FEET (TWO STORIES)
TREE SAVE REQUIRED :	± 2.9 AC. (25%)
TREE SAVE PROVIDED :	± 3.08 AC. (27.07%)
OPEN SPACE REQUIRED:	± 4.0 AC. (± 35%)
OPEN SPACE PROVIDED:	± 5.14 AC. (± 45.17%)

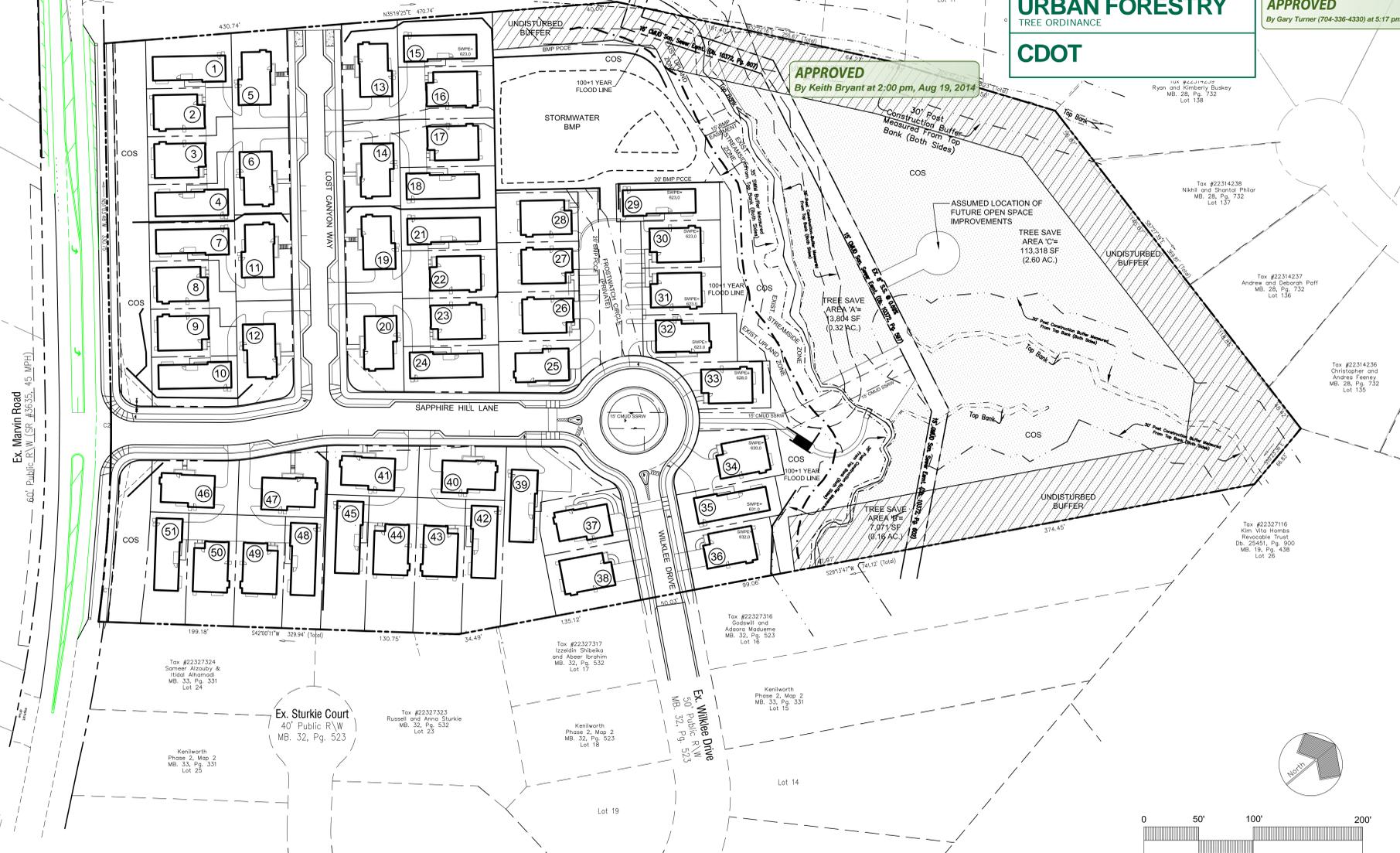
APPROVED FOR CONSTRUCTION
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Joshua Weaver 8-19-2014

SHEET SCHEDULE

L-1	COVER SHEET
L-2	EXISTING CONDITIONS AND DEMOLITION PLAN
L-3	SITE PLAN
L-3A	SITE PLAN - NOTES AND DETAILS
L-4	PLANTING PLAN
L-5	GRADING AND STORM DRAINAGE PLAN
L-6	BMP ENLARGEMENT PLAN AND DETAILS
L-7	EROSION CONTROL PLAN - PHASE 1
L-7A	EROSION CONTROL PLAN - PHASE 2
L-8	EROSION CONTROL PLAN - PHASE 3
L-9	ROAD PROFILES
L-10	DRAINAGE AREA PLAN
L-11	DETAILS
L-12	DETAILS
L-13	FLOOD STUDY CROSS SECTIONS
L-14	PRIVATE STORM DRAIN SYSTEM PLAN
RD-1	ROAD WIDENING - WIDENING PLAN
RD-2	ROAD WIDENING - STRIPING PLAN
RD-3	ROAD WIDENING - TRAFFIC CONTROL PLAN
RD-4	ROAD WIDENING - CROSS SECTIONS
RD-5	ROAD WIDENING - CROSS SECTIONS

CURVE TABLE

Curve	Radius	Length	Chord	Offset
C1	1370.04'	139.88'	139.78'	14.553137'
C2	1370.04'	44.03'	44.02'	14.553137'



NOTES FROM APPROVED REZONING PETITION 2013-091
DEVELOPMENT STANDARDS

- GENERAL PROVISIONS**
- THESE DEVELOPMENT STANDARDS, THE PROPOSED SITE PLAN AND CONCEPTUAL ELEVATIONS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY SHEA INVESTMENT FUND 1, L.P. TO REZONE AN APPROXIMATELY 11.38 ACRE SITE LOCATED NEAR THE NORTHEASTERN QUADRANT OF THE INTERSECTION OF MARVIN ROAD AND JOHNSTON DRIVE AND WALLE DRIVE (THE "SITE").
- THE PURPOSE OF THIS PETITION IS TO REQUEST REZONING OF THE SITE TO THE MX-1 (INNOVATIVE) ZONING DISTRICT TO ACCOMMODATE THE CONSTRUCTION OF UP TO 52 SINGLE-FAMILY HOMES ON THE SITE. THE INNOVATIVE PROVISIONS ON THE MX-1 DISTRICT WILL ALLOW THE PETITIONER TO CREATE AN ATTRACTIVE SINGLE-FAMILY NEIGHBORHOOD BY CLUSTERING THE HOMES, REDUCING DRIVEWAY CONNECTIONS AND STREET-FACING GARAGES, AND PRESERVING OVER 30% OF THE SITE AS OPEN SPACE.
- UNLESS THE PROPOSED SITE PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MX-1 ZONING DISTRICT SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE, SUBJECT TO THE INNOVATIVE DEVELOPMENT STANDARDS SET OUT BELOW.
- THE DEVELOPMENT DEPICTED ON THE PROPOSED SITE PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF PROPOSED USES ON THE SITE, BUT THE FINAL CONFIGURATIONS, PLACEMENTS AND SIZES OF INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED SO LONG AS THE MAXIMUM BUILDING ENVELOPE LINES AND INTENSITY LIMITATIONS ESTABLISHED ON THE TECHNICAL DATA SHEET ARE NOT VIOLATED AND THE PROPOSED ALTERATIONS OR MODIFICATIONS DO NOT EXCEED THE PARAMETERS ESTABLISHED UNDER THESE DEVELOPMENT STANDARDS AND UNDER THE ORDINANCE FOR THE MX-1 ZONING DISTRICT. HOWEVER, ANY ALTERATIONS OR MODIFICATIONS WHICH, IN THE OPINION OF THE PLANNING DIRECTOR, SUBSTANTIALLY ALTER THE CHARACTER OF THE DEVELOPMENT OR SIGNIFICANTLY ALTER THE TECHNICAL DATA SHEET OR ITS RESPECTIVE CONDITIONS AS WELL AS ANY CHANGES WHICH INCREASE THE INTENSITY OF DEVELOPMENT SHALL NOT BE DEEMED TO BE MINOR AND MAY ONLY BE MADE IN ACCORDANCE WITH THE PROVISIONS OF SUBSECTIONS 6.20(1)(I) OR (J) OF THE ORDINANCE, AS APPLICABLE.
- 1. INNOVATIVE DEVELOPMENT STANDARDS**
- PURSUANT TO SECTION 11.206 OF THE ORDINANCE, THE PETITIONER SEEKS TO OBTAIN THE APPROVAL OF THE USE OF THE FOLLOWING INNOVATIVE DEVELOPMENT STANDARDS CONCURRENTLY WITH THE APPROVAL OF THIS REZONING PETITION:
- WALKER OF THE REQUIREMENT THAT EVERY LOT MUST ABUT A STREET
 - MINIMUM FRONT YARD: 5 FEET
 - MINIMUM SIDE YARD: 5 FEET
 - MINIMUM REAR YARD: 5 FEET
 - MINIMUM LOT AREA: 300 S.F.
 - MINIMUM LOT WIDTH: 30 FEET
 - MINIMUM SPACING BETWEEN BUILDINGS: 10 FEET
 - HOMES WILL BE PERMITTED TO FRONT COMMON OPEN SPACE, TREE SAVE AREAS, AMENITY AREAS, PARKING AREAS AND WATER QUALITY FEATURES
 - STREET DESIGN AND STREETSCAPE TREATMENTS AS GENERALLY DEPICTED ON R-2.
- 2. PERMITTED USES**
- THE SITE MAY BE DEVELOPED WITH UP TO 52 DETACHED RESIDENTIAL UNITS AND ANY ACCESSORY USES WHICH ARE PERMITTED UNDER THE ORDINANCE.
- 3. TRANSPORTATION**
- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THIS PROPOSED SITE PLAN. THE LOCATION OF THE STREET SHOWN ON THE SITE PLAN IS SUBJECT TO CHANGE TO COMPLY WITH THE CITY DRIVEWAY REGULATIONS AND THE CITY TREE ORDINANCE.
 - PETITIONER SHALL PROVIDE A 3' FOOT BIKE LANE ALONG THE SITE'S FRONTAGE ON MARVIN ROAD.
 - PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR A STRUCTURE ON THE SITE, PETITIONER SHALL PROVIDE A LEFT-TURN LANE ON MARVIN ROAD WITH A MINIMUM OF 150 FEET OF STORAGE, TO SERVE THE PROPOSED PUBLIC STREET CONNECTION TO THE SITE.
- 4. ARCHITECTURAL STANDARDS**
- ATTACHED/HERE TO ARE CONCEPTUAL RENDERINGS OF THE FRONT ELEVATIONS OF HOMES PROPOSED TO BE CONSTRUCTED ON THE SITE. THESE RENDERINGS ARE INTENDED TO DEPICT THE GENERAL CONCEPTUAL ARCHITECTURAL STYLE, CHARACTER AND ELEMENTS OF THESE BUILDINGS. ACCORDINGLY, ANY BUILDING CONSTRUCTED ON THE SITE MUST BE SUBSTANTIALLY SIMILAR IN APPEARANCE TO THE RELEVANT ATTACHED CONCEPTUAL, SCHEMATIC, ARCHITECTURAL RENDERINGS IN TERMS OF ITS ARCHITECTURAL STYLE, CHARACTER AND ELEMENTS. CHANGES AND ALTERATIONS WHICH DO NOT MATERIALLY CHANGE THE OVERALL CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER ARE PERMITTED BASED UPON FINAL DESIGN/CONSTRUCTION DRAWINGS.
 - THE PRIMARY EXTERIOR BUILDING MATERIALS FOR THE HOMES TO BE CONSTRUCTED ON THE SITE SHALL BE A COMBINATION OF SHAKE, HARD-PHANK, OR CEMENTITIOUS SIDING MATERIAL. VINYL SIDING SHALL NOT BE PERMITTED AS AN EXTERIOR BUILDING MATERIAL. HOWEVER, VINYL ELEMENTS MAY BE USED FOR SOFFITS, WINDOWS, AND OTHER ARCHITECTURAL ACCENT MATERIALS.
 - AT LEAST 25% OF THE EXTERIOR OF EACH BUILDING, EXCLUSIVE OF WINDOWS, DOORS AND ROOFS, WILL BE CONSTRUCTED OF MASONRY MATERIALS, INCLUDING BUT NOT LIMITED TO STONE, SYNTHETIC STONE, BRICK, PRECAST CONCRETE, OR CEMENTITIOUS SIDING MATERIAL.
- 5. STREETScape AND LANDSCAPING**
- INTERNAL AREA OF THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
 - A MINIMUM 30 FOOT REAR YARD SHALL BE PROVIDED ALONG THE SITE'S EASTERN PROPERTY BOUNDARY AS SHOWN
 - PETITIONER SHALL PROVIDE ENHANCED/DECORATIVE PAVING FEATURES WITH INTERNAL "VEHICLE COURTS" AS GENERALLY DEPICTED ON R-2.
 - PETITIONER SHALL PROVIDE AN 8 FOOT PLANTING STRIP AND 6 FOOT SIDEWALK ALONG THE SITE'S FRONTAGE ON MARVIN ROAD.
- 6. ENVIRONMENTAL FEATURES**
- THE SITE SHALL COMPLY WITH THE REQUIREMENTS OF THE PCO, THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTED AND ARE NOT MATERIALLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.
- 7. PARKS, GREENWAYS AND OPEN SPACE**
- PETITIONER SHALL PROVIDE AT LEAST 4 ACRES OF OPEN SPACE AND TREE SAVE AREAS AS GENERALLY DEPICTED ON THE PROPOSED SITE PLAN. (A) AN UNDISTURBED BUFFER SHALL BE PROVIDED ALONG THE PERIMETER OR THE NORTHERN PORTION OF THE SITE. THE LOCATION AND WIDTH OF THIS UNDISTURBED BUFFER IS DEPICTED ON R-2. "UNDISTURBED" SHALL MEAN THAT THE EXISTING VEGETATION IS ALLOWED TO REMAIN, AND NO GRADING OR OTHER IMPROVEMENTS SHALL BE ALLOWED. ROUTINE MAINTENANCE SUCH AS TRASH REMOVAL, REMOVAL OF VINES AND INVASIVE PLANT SPECIES OR DEAD OR DANGEROUS TREES OR LIMBS WILL BE ALLOWED.
 - AREAS OF COMMON OPEN SPACE NOT INCLUDED WITHIN THE UNDISTURBED BUFFER AREA MAY BE USED FOR PASSIVE RECREATIONAL ACTIVITIES AND MAY INCLUDE WALKING TRAILS, BENCHES, TRONC TABLES, BRIDGES, AND A GAZEBO OR PICNIC SHELTER. HOWEVER, NO LIGHTING OR OTHER PERMANENT STRUCTURES SHALL BE PERMITTED IN OPEN SPACE AREAS.
 - WATER QUALITY AREA SHALL BE SCREENED AND FENCED AS GENERALLY DEPICTED ON R-2. FENCING SHALL BE AT LEAST FOUR (4) FEET IN HEIGHT AND SCREENING PLANTINGS SHALL BE EVERGREENS PLANTED SIX (6) FEET ON CENTER AND SHALL BE EXPECTED TO REACH FIVE (5) FEET IN HEIGHT WITHIN THREE (3) YEARS OF PLANTING.
 - ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE SHALL BE SHIELDED WITH FULL CUT-OFF FIXTURES, CAPPED AND DOWNWARDLY DIRECTED.
- 8. SIGNAGE**
- SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE ORDINANCE.
- 9. LIGHTING**
- THE MAXIMUM HEIGHT OF ANY DETACHED LIGHTING FIXTURES ERRECTED ON THE SITE SHALL NOT EXCEED TWENTY FIVE (25) FEET IN HEIGHT.
 - ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE SHALL BE SHIELDED WITH FULL CUT-OFF FIXTURES, CAPPED AND DOWNWARDLY DIRECTED.
- 10. AMENDMENTS TO REZONING PLAN**
- FUTURE AMENDMENTS TO THE TECHNICAL DATA SHEET, OTHER SHEETS ACCOMPANYING THE PETITION AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE PARCEL OR PARCELS WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.
- 11. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS**
- IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE TECHNICAL DATA SHEET WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONERS AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
 - THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS "PETITIONERS" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, SUCCESSORS, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONERS OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.
 - ANY REFERENCE TO THE ORDINANCE HEREIN SHALL BE DEEMED TO REFER TO THE REQUIREMENTS OF THE ORDINANCE IN EFFECT AS OF THE DATE THIS REZONING PETITION IS APPROVED.

DRAINAGE AREA #2 NOTE:

0.15 ac. of future impervious area has been assumed to account for future open space improvements on east side of stream. When improvements are made at a future date by developer and/or HOA the maximum impervious area that is allowed on the east side of the stream is 0.15 ac.

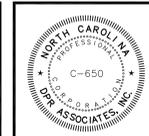
PCCO SUMMARY

Original Parcel ID Number(s):	223-271-63, 223-271-62, 223-271-85 - Sonoma	
Development Type:	Single-Family	
Subject to PCCO? Y/N	YES	
IF NO, why?	-- Click for Dropdown --	
Watershed:	McAlpine-Clem Creek Watershed, Central Catawba District	
Disturbed Area (ac):	+/- 7.9	
Site Area (ac):	11.38	
	DA#1 -BMP 1 Sand Filter	DA #2 COS East of Creek
Total on-site Drainage Area (ac):	7.2	3.36
Existing Built-upon-area (ac):	0.61	0
Existing BUA to be removed (ac):	0.61	0
Existing BUA to remain (ac):	0.00	0
Proposed New BUA (ac):	3.76	0.15
Proposed % BUA:	52.2%	(Used 54% for Design Calcs)
Density (High/Low)	High	Low
Total Post-Project BUA for site:	+/- 3.76 ac = 163,927 SF	
Development or Redevelopment?	Development	
Natural Area Required (ac):	17.5% = 1.99	
Natural Area Provided (ac):	4.16	
Total stream buffer protected on-site (ac):	PCCO WQ buffer = +/- 2.0 AC.	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	High	
Natural Area mitigation? Y/N	N/A	
Buffer Mitigation? Y/N	N/A	
Total Phosphorous Mitigation? Y/N	N/A	

REVISIONS:

No.	Date	By	Description
1	7/7/14	CG	Per City- 1st review
2	8/6/14	CG	Per City- 2nd review

Project Manager	CAG
Drawn By	CAG / CFC
Checked By	HVN
Date	05 / 02 / 2014
Project Number	13004



DPR Associates, Inc. landscape architecture civil engineering planning

DPR Associates, Inc. • 420 Hawthorne Lane • Charlotte, NC 28204
phone 704.332.1204 • fax 704.332.1210 • www.dprassociates.net

COVER SHEET

SONOMA
CHARLOTTE, NC
SHEA INVESTMENT FUND 1

Scale: 1" = 50'

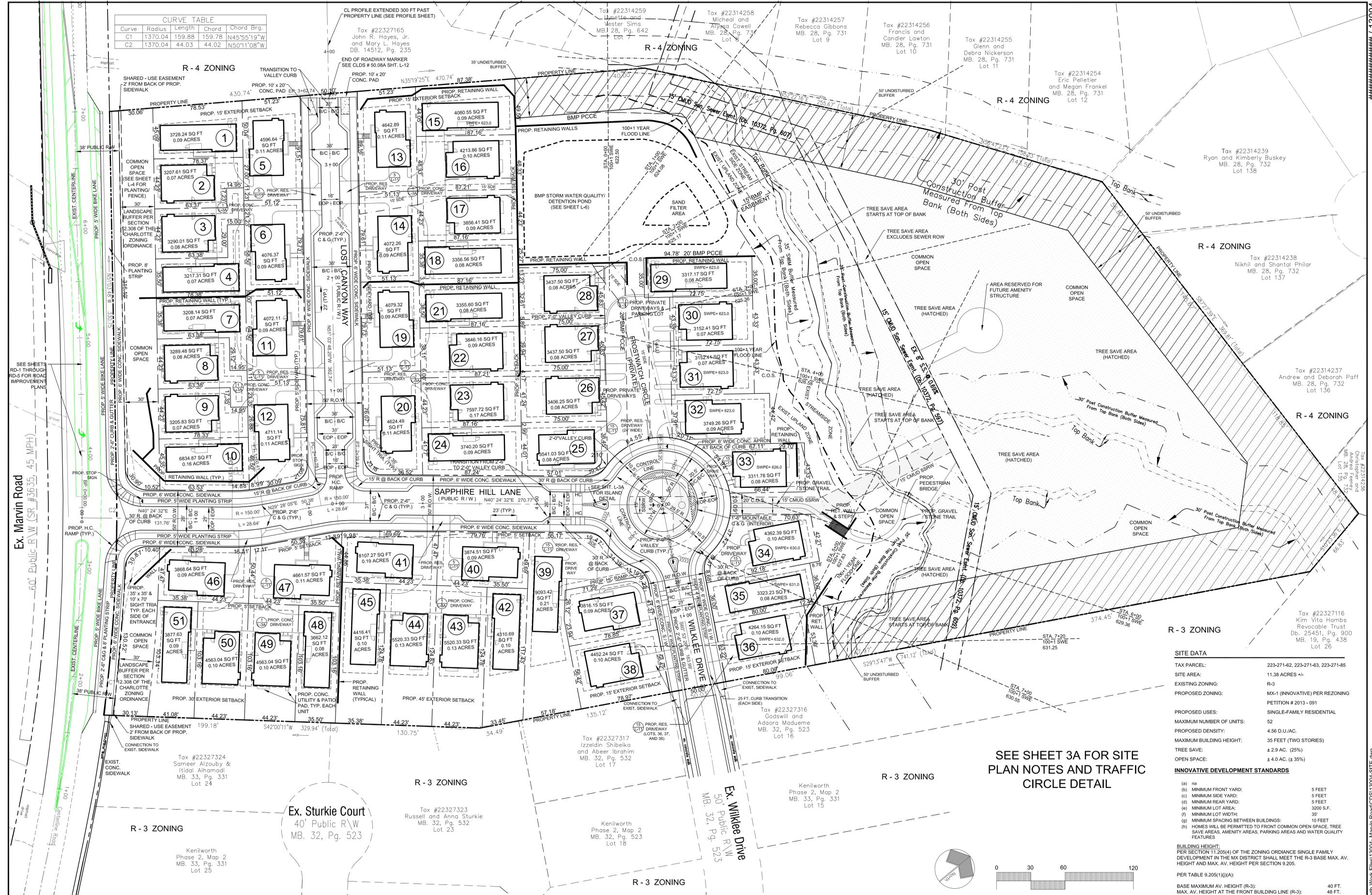
Sheet Number: **L-1**

SHEET 1 OF 16 TOTAL

CLIENT / OWNER: SHEA INVESTMENT FUND 1
CONTACT: MR. CHASE KERLEY
EMAIL: chase.kerley@sheainvest.com
8008 CORPORATE CENTER DRIVE, SUITE 300
CHARLOTTE, NC 28228
PHONE: 704-319-9001
FAX: 704-319-5001

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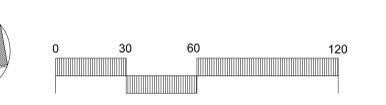
CURVE TABLE				
Curve	Radius	Length	Chord	Chord Brg.
C1	1370.04	159.88	159.78	N45°55'19"W
C2	1370.04	44.03	44.02	N50°11'08"W



SITE DATA	
TAX PARCEL:	223-271-62, 223-271-63, 223-271-65
SITE AREA:	11.38 ACRES +/-
EXISTING ZONING:	R-3
PROPOSED ZONING:	MX-1 (INNOVATIVE) PER REZONING PETITION # 2013-091
PROPOSED USES:	SINGLE-FAMILY RESIDENTIAL
MAXIMUM NUMBER OF UNITS:	52
PROPOSED DENSITY:	4.56 D.U./AC.
MAXIMUM BUILDING HEIGHT:	35 FEET (TWO STORIES)
TREE SAVE:	± 2.9 AC. (25%)
OPEN SPACE:	± 4.0 AC. (± 35%)

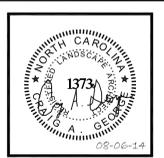
INNOVATIVE DEVELOPMENT STANDARDS	
(a) MINIMUM FRONT YARD:	5 FEET
(b) MINIMUM SIDE YARD:	5 FEET
(c) MINIMUM REAR YARD:	5 FEET
(d) MINIMUM LOT AREA:	3200 S.F.
(e) MINIMUM LOT WIDTH:	35'
(f) MINIMUM SPACING BETWEEN BUILDINGS:	10 FEET
(g) HOMES WILL BE PERMITTED TO FRONT COMMON OPEN SPACE, TREE SAVE AREAS, AMENITY AREAS, PARKING AREAS AND WATER QUALITY FEATURES	
BUILDING HEIGHT:	PER SECTION 11.205(4) OF THE ZONING ORDINANCE SINGLE FAMILY DEVELOPMENT IN THE MX DISTRICT SHALL MEET THE R-3 BASE MAX. AV. HEIGHT AND MAX. AV. HEIGHT PER SECTION 9.205.
PER TABLE 9.205(1)(J)(A):	
BASE MAXIMUM AV. HEIGHT (R-3):	40 FT.
MAX. AV. HEIGHT AT THE FRONT BUILDING LINE (R-3):	48 FT.

SEE SHEET 3A FOR SITE PLAN NOTES AND TRAFFIC CIRCLE DETAIL



REVISIONS:	
No.	Date
1	7/7/14
2	8/6/14

No.	Date	By	Description
1	7/7/14	CG	Per City-1st Review
2	8/6/14	CG	Per City-2nd Review



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SITE PLAN

SONOMA
CHARLOTTE, NC
SHEA INVESTMENT FUND 1

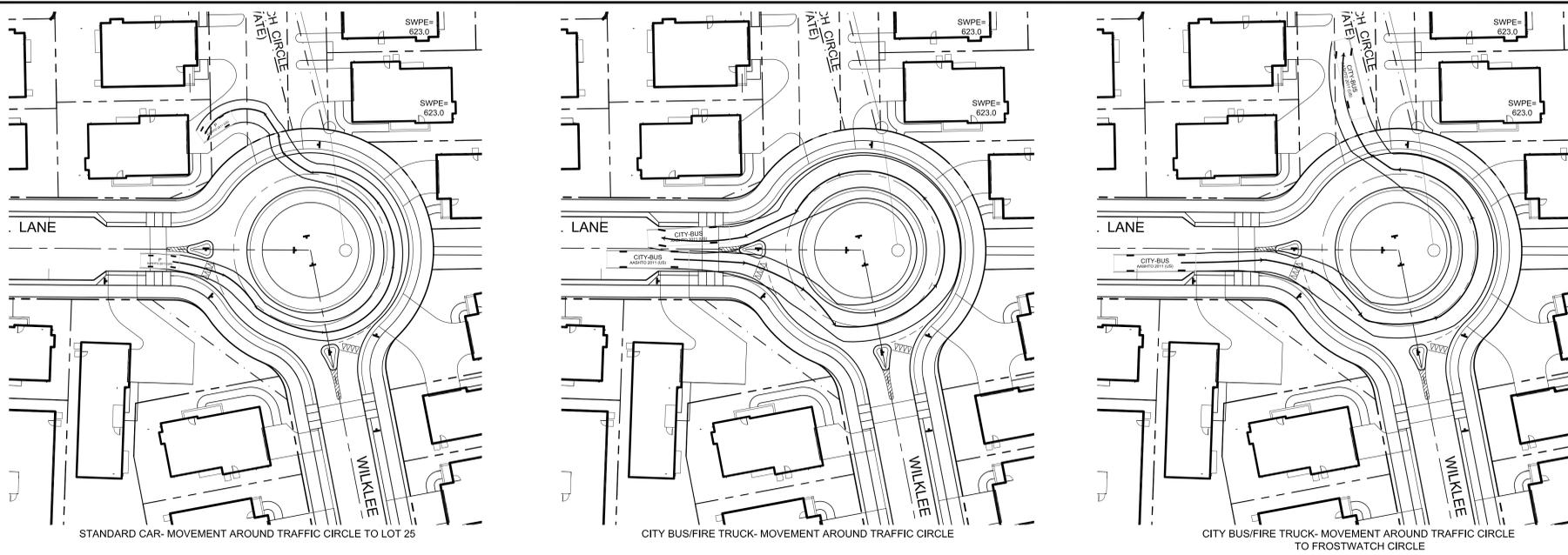
Scale: 1" = 30'

Sheet Number: **L-3**

SHEET 3 OF 16 TOTAL

CLIENT / OWNER: SHEA INVESTMENT FUND 1
CONTACT: MR. CHASE KERLEY
EMAIL: chase.kerley@sheainvest.com
8008 CORPORATE CENTER DRIVE, SUITE 300
CHARLOTTE, NC 28226
PHONE: 704.339.9000
FAX: 704.339.5001

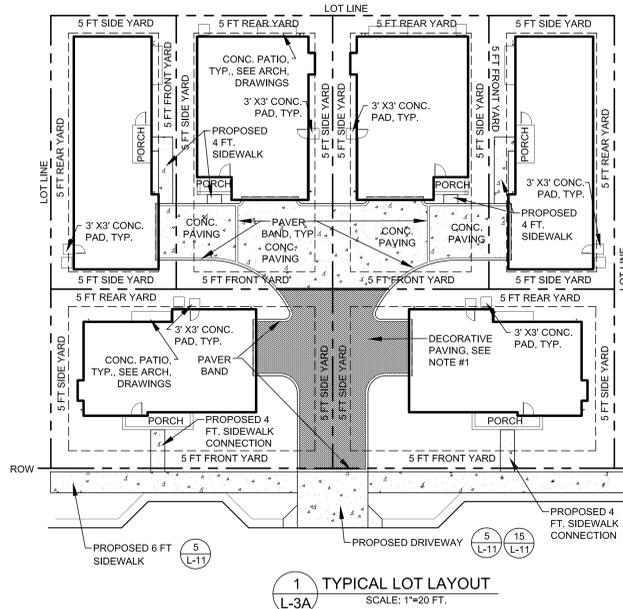
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TURNING MOVEMENTS THROUGH TRAFFIC CIRCLE
SCALE: 1"=30'

SITE PLAN NOTES

- Coordinate all curb and street grades in intersection with Inspector.
- All road improvements are to be coordinated with the City of Charlotte Engineering Department prior to construction.
- Developer will provide street signs per CLDSM 50.05 (if signs only).
- Sight triangles shown are the minimum required.
- Direct vehicular access to site from lots 1 thru 4, 7 thru 10, 46 and 51 is prohibited.
- In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
- Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
- In order to ensure proper drainage, keep a minimum of 0.5% slope on the curb.
- Subsurface drainage facilities may be required in the street right-of-way if deemed necessary by the inspector.
- Curbs and gutter shown on plans along may be adjusted based upon field staking by City Engineering. Associated storm drainage may also require modification based upon field conditions.
- The purpose of the storm drainage easement (SDE) is to provide storm water conveyance. Buildings are not permitted in the easement area. Any other objects which impede storm water flow or system maintenance are also prohibited.
- High-density polyethylene (HDPE) storm drainage pipe installed within existing or proposed public.
- Street right-of-way must be approved by the City's Inspector prior to any backfill being placed.
- Backfill material must be approved by the City Inspector prior to placement of the material within the public street right-of-way.
- The developer shall maintain each stream, creek, or backwash channel in an unobstructed state and shall remove from the channel and banks of the stream all debris, logs, timber, junk and other accumulations.
- Any building within the 100+1 Stormwater Elevation Line is subject to the restrictions of the (City of Charlotte/Mecklenburg County) Subdivision Ordinance, Section 7.200.8.
- Any construction or use within the Future Conditions Flood Fringe Line is subject to the restrictions imposed by the Floodway Regulations of the City of Charlotte and Mecklenburg County.
- All openings (e.g., doors, windows, vents) in structures built on lot #s should be located a minimum of one foot above the adjacent finished ground surface (Applies to lots which may experience significant overland flow not considered in the 100+1 Flood analysis).
- PE sealed shop drawings for retaining wall must be submitted to City Engineer prior to construction.
- "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to subdivision final inspection to the City/County Engineering Department in accordance with the City/County Subdivision Ordinance.
- Prior to installation, PE sealed shop drawings for underground detention systems must be furnished to the City of Charlotte Engineering for approval.
- Prior to CO, surveyor sealed as-built drawings of underground detention systems must be provided.
- Non-standard items (ie: pavers, irrigation systems, etc.) in the right-of-way require a Right-of-Way Encroachment Agreement with the (Charlotte Department of Transportation/North Carolina Department of Transportation) before installation.
- Prior to plot recordation, Offsite R/W and/or construction easements are required to be obtained according to the guidelines of the "Offsite R/W Acquisition Process". These needed R/W and construction limits are clearly shown on the roadway improvement plan.
- The Developer shall contact the Charlotte Department of Transportation (Gus Jordt, 704-336-7086) to identify any conflicts with traffic signalization equipment. 60-90 days will be required to coordinate relocation. Developer cost and/or any repair cost caused by the contractor/developer.
- Certification and Street cut permits are required for utility cuts on City streets. Allow 7 days processing for permit. For information contact Charlotte Department of Transportation (704-336-4025) or visit http://www.charmeck.org/Departments/Transportation/Street-Maintenance/Home.htm
- Per Section 18-175(e) of City Code and Section 10.0 of the City's Post Construction Controls Administrative Manual, all required Natural Areas and/or Post Construction Controls easements (PCCEs) must be recorded prior to the issuance of the Certificate of Occupancy.

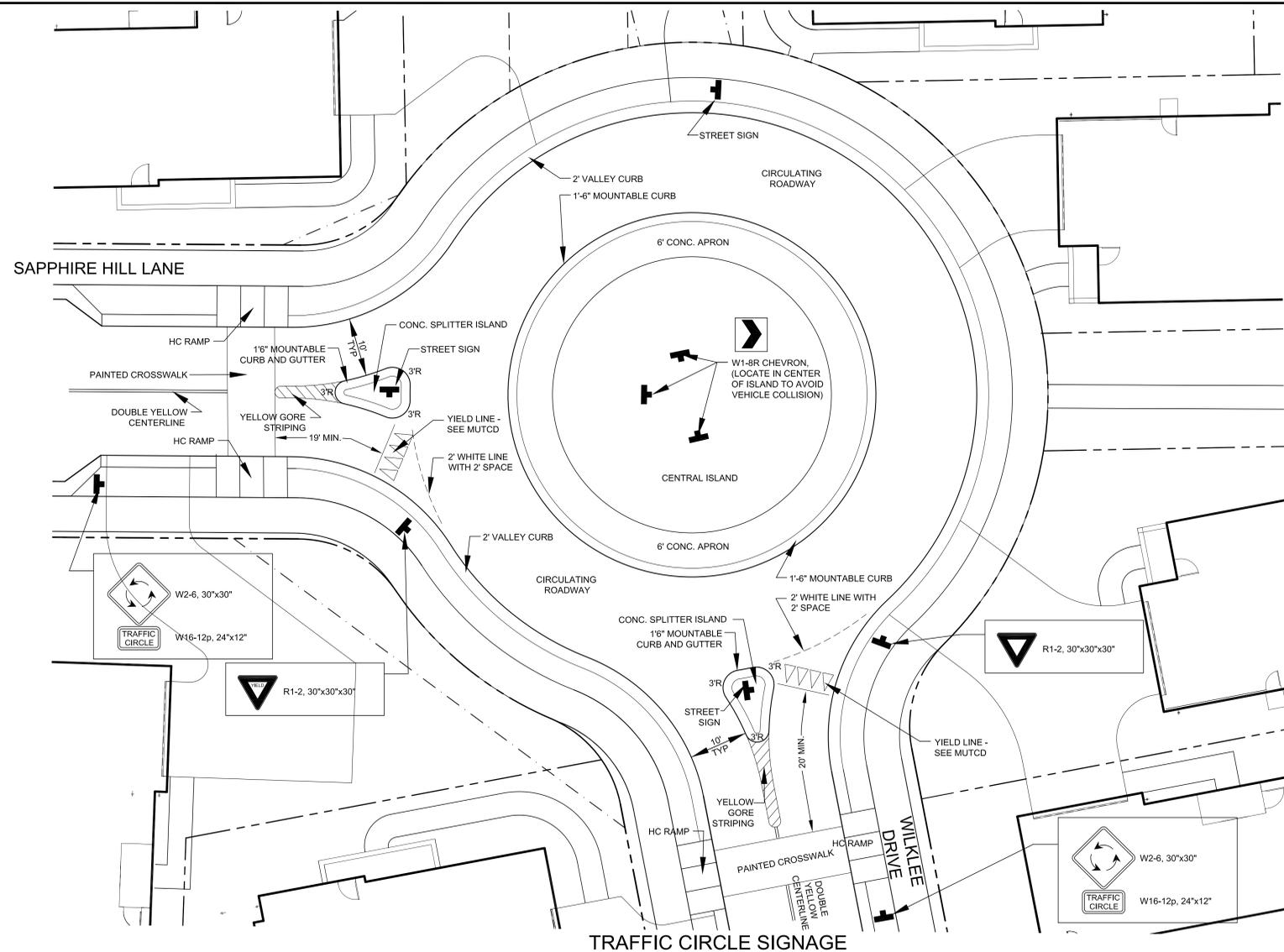


- NOTES
- DEVELOPER TO PROVIDE DECORATIVE ENHANCED PAVING IN VEHICLE COURT YARDS AS GENERALLY DEPICTED ON THIS PLAN AND APPROVED REZONING PLANS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL OF ALL PAVING MATERIALS AND THE PROPOSED COURTYARD DESIGN (LAYOUT) PRIOR TO CONSTRUCTION.
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF CONCRETE PAVES AT GARAGE EXITS AND PATIO LOCATIONS.
 - BUILDING LOCATIONS AND LOT CONFIGURATIONS DIFFER THROUGHOUT THE PROJECT. CONTRACTOR TO VERIFY THAT ALL BUILDING FOUNDATIONS ARE INSIDE OF ALL SETBACKS AND EASEMENTS PRIOR TO CONSTRUCTION.

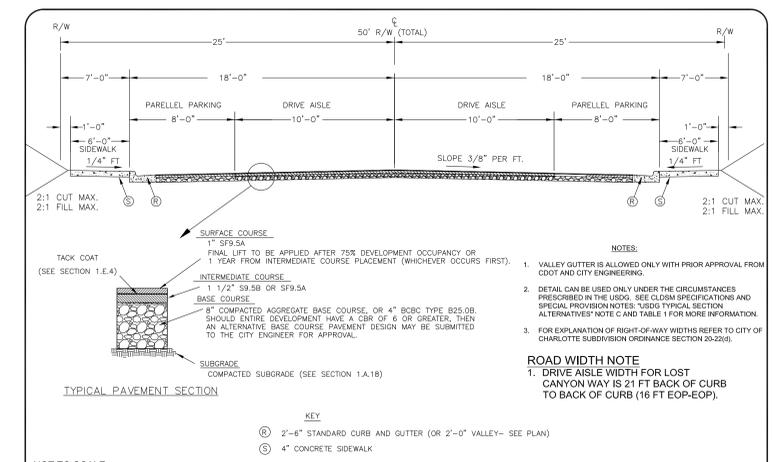
1 TYPICAL LOT LAYOUT
SCALE: 1"=20 FT.

NOTES:

- PAVEMENT MARKINGS TO BE PER LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SIGNS TO BE LOCATED/SPACED PER MUTCD REQUIREMENTS.
- "CIRCULAR INTERSECTION" AND "TRAFFIC CIRCLE" SUBPLATE SIGNS, AND YELLOW TUBULAR MARKERS, ARE REQUIRED ON THROUGHFARES. CDOT WILL DETERMINE IF ONE OR MORE OF THESE ARE NECESSARY ON LOCAL OR COLLECTOR STREETS.
- "PEDESTRIAN CROSSING" AND ARROW SUBPLATE SIGNS ARE REQUIRED WHEREVER THERE IS A MARKED CROSSWALK OR ON A THROUGHFARE.
- "YIELD" SIGNS ARE ALWAYS REQUIRED.
- PAVEMENT MARKINGS, SPLITTER ISLAND DESIGNS, CROSSWALK, ETC., ARE SHOWN FOR CONTEXT ONLY. REFER TO THE MUTCD AND/OR THE FEDERAL HIGHWAY ADMINISTRATION'S MANUAL, ROUNDABOUTS, AN INFORMATIONAL GUIDE, FOR MORE DETAIL OR DESIGN INFORMATION.
- ADDITIONAL SIGNS MAY BE NEEDED ON A CASE-BY-CASE BASIS, TO BE EVALUATED BY CDOT.
- ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC.



TRAFFIC CIRCLE SIGNAGE
SCALE: 1"=10'



TYPICAL PAVEMENT SECTION
TYPICAL SECTION (REVISED TO MATCH APPROVED REZONING)
SCALE: 1"=10 FT.

REVISIONS:				
No.	Date	By	Description	
1	7/7/14	CG	Per City-1st Review	
2	8/6/14	CG	Per City-2nd Review	

Project Manager CAG	Drawn By CAG / CFC	Checked By HVN	Date 05 / 02 / 2014	Project Number 13004
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DPR landscape architecture
civil engineering
planning

DPR Associates, Inc. • 420 Hawthorne Lane • Charlotte, NC 28204
phone 704.332.1204 • fax 704.332.1210 • www.dprassociates.net

SITE PLAN

SONOMA
CHARLOTTE, NC

SHEA INVESTMENT FUND 1

CLIENT / OWNER:
SHEA INVESTMENT FUND 1
CONTACT: MR. CHASE KERLEY
EMAIL: chase.kerley@sheainvestments.com
8008 CORPORATE CENTER DRIVE, SUITE 300
CHARLOTTE, NC 28226
PHONE: 704-319-9200
FAX: 704-319-5001

Scale: AS NOTED

Sheet Number: **L-3A**

SHEET 4 OF 16 TOTAL

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