

NORTHLAKE APARTMENTS

CHARLOTTE, NORTH CAROLINA PREPARED FOR: NL APARTMENTS, LLC

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

- SURVEY PROVIDED BY LAWRENCE ASSOCIATES, 05/08.
- SURVEYOR SHALL IMMEDIATELY NOTIFY MERRICK & COMPANY OF DISCREPANCIES OR ENCROACHMENTS GENERATED BY THIS LAYOUT PLAN.
- AN AUTOCAD DRAWING FILE WILL BE SUPPLIED FOR CONSTRUCTION STAKING ON REQUEST.
- SEE ARCHITECTURAL PLANS, BY PARKER ASSOCIATES, FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- TRASH SERVICE IS PUBLIC FOR COMPACTOR AND RECYCLE CONTAINERS.
- NON-STANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
- ALL UTILITIES SHALL BE UNDERGROUND.
- INTERIOR SIDEWALKS SHALL BE 7.0' WIDE. UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND COORDINATES TO LOCATE BUILDINGS ARE TO AN OUTSIDE CORNER, NOT TO FOOTINGS. SEE ARCHITECTURAL/STRUCTURAL DRAWINGS FOR FOOTING DESIGN.
- COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR.
- SIGHT TRIANGLES ARE THE MINIMUM REQUIRED.
- ALL RETAINING WALLS ON SITE ARE SUBJECT TO THE FOLLOWING:
A. DESIGN OF ALL RETAINING WALLS TO BE PER NC BUILDING CODE SECTION 1610.3.
B. DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
C. AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE.
- ALL SIGNS RELATED TO PROSSER WAY, NORTHLAKE CENTRE PARKWAY, & MOUNT HOLLY-HUNTERSVILLE ROAD TO BE INSTALLED BY CONTRACTOR PER CITY, CDDOT & CITY ENGINEERING STANDARDS. ALL INTERNAL SIGNS ARE PROVIDED BY OWNERS VIA SEPARATE CONTRACTORS.
- MIN. SIDEYARD IS INCREASED 1 FOOT FOR EVERY 2 FEET IN BUILDING HEIGHT IN EXCESS OF 40 FEET, WHERE A BUILDING ABUTS A SINGLE FAMILY ZONING DISTRICT, THE SIDE AND REAR YARDS ARE INCREASED 1 FOOT FOR EVERY FOOT OF BUILDING HEIGHT IN EXCESS OF 40 FEET. SETBACK: MIN OF 30' FROM PUBLIC ROW (REZONING PET. 08-024). MIN OF 15' FROM CURB ALONG PRIVATE DRIVES/PARKING AREAS TO FACE OF BUILDING WITH ENTRY.
- CONTRACTOR TO PROVIDE STREET SIGNS PER CMLDS# 50.05A (9" SIGNS ONLY) EXCEPT ON INTERIOR PRIVATE STREETS WHICH OWNERS WILL PROVIDE.
- IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- "AS-BUILT" DRAWINGS AND PLANS OF THE PUBLIC STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- PROJECT IS STARTING IN JANUARY 2014 AND ESTIMATED TO BE FINISHED IN FEBRUARY 2017.

DEVELOPMENT STANDARDS:

- UNLESS MORE STRINGENT STANDARDS ARE ESTABLISHED BY THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS, ALL DEVELOPMENT STANDARDS ESTABLISHED UNDER THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE") FOR THE R-17MF (CD) ZONING DISTRICT CLASSIFICATION SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT TAKING PLACE ON THE SITE. THE REZONING PLAN IS SUBJECT TO MODIFICATIONS DURING THE DESIGN DEVELOPMENT STAGES AS PROVIDED BELOW.
- THE DEVELOPMENT DEPICTED ON THE REZONING PLAN IS SCHEMATIC IN NATURE, NOT TO BE CONSIDERED AS SPECIFIC DEVELOPMENT PLANS BUT RATHER AS PRELIMINARY GRAPHIC REPRESENTATIONS OF THE TYPES OF DEVELOPMENT AND ARRANGEMENTS PROPOSED FOR THE SITE, AND INTENDED TO DESCRIBE THE GENERAL ARRANGEMENT OF USES ON THE SITE. ACCORDINGLY THE CONFIGURATION OF THE STREETS, PARKING AREAS, BUILDINGS AND/OR OTHER SITE ELEMENTS OUTLINED ON THE REZONING PLAN ARE CONCEPTUAL IN NATURE, AND, SUBJECT TO THE PROVISIONS SET FORTH BELOW MAY BE ALTERED OR MODIFIED DURING DESIGN DEVELOPMENT AND CONSTRUCTION PHASES WITHIN THE CONTEXT OF THESE DEVELOPMENT STANDARDS, THE SETBACKS SET FORTH ON THE REZONING PLAN AND SECTION 6.206 (2) OF THE ORDINANCE. FURTHERMORE, IT IS UNDERSTOOD THAT THE LOCATIONS OF BUILDINGS, STREETS, PARKING AREAS AND OTHER SITE ELEMENTS SHOWN ON THE REZONING PLAN ARE APPROXIMATE AND SUBJECT TO MODIFICATIONS BUT SUCH BUILDINGS AND PARKING IMPROVEMENTS SHALL BE WITHIN THE SETBACKS SHOWN ON THE REZONING PLAN.
- PARKING LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS AND ANCILLARY FACILITIES AND PARKING SPACES MAY BE LOCATED INSIDE OR OUTSIDE THE DEVELOPMENT AREA BOUNDARIES TO THE EXTENT PERMITTED BY THE ORDINANCE.
- THE SITE MAY BE DEVELOPED WITH UP TO 204 MULTI-FAMILY DWELLING UNITS, ALONG WITH ANY AMENITY AREA AND INCIDENTAL OR ACCESSORY STRUCTURES USES PERMITTED UNDER THE ORDINANCE IN THE R-17MF DISTRICT.
- BUILDING SETBACKS AND YARDS WILL BE ESTABLISHED IN THE MANNER DEPICTED ON THE REZONING PLAN.
- ALL REQUIRED YARDS OF LOTS LOCATED ALONG THE PERIMETER OF THE SITE SHALL BE MEASURED FROM THE EXTERIOR PROJECT BOUNDARY RATHER THAN FROM ANY COMMON OPEN SPACE.
- DECKS SHALL NOT EXTEND INTO ANY REQUIRED REAR YARDS. HOWEVER, AT-GRADE PATIOS MAY BE LOCATED IN WHOLE OR IN PART WITHIN REQUIRED REAR YARDS.
- INTERIOR LANDSCAPING AND SCREENING SHALL MEET OR EXCEED THE STANDARDS IN THE ORDINANCE.
- REFERENCE IS MADE TO THAT CERTAIN ENHANCED LANDSCAPING DETAIL INCLUDED AS PART OF THIS REZONING PLAN. THOSE AREAS DESIGNATED ON SUCH ENHANCED LANDSCAPING DETAIL (THE "LANDSCAPE DETAIL") FOR ENHANCED LANDSCAPING SHALL BE MAINTAINED IN ACCORDANCE WITH SUCH PLAN.
- AN IRRIGATION SYSTEM WILL BE MAINTAINED BY PETITIONER OR ITS SUCCESSORS AND ASSIGNS IN THE PLANTING STRIP AND IN THE SETBACK AREAS ALONG NORTHLAKE CENTRE PARKWAY, AT THE PUBLIC STREET ENTRANCE TO THE SITE AND WITHIN THE CLUBHOUSE AMENITY AREA SUBSTANTIALLY AS SHOWN ON THE LANDSCAPE DETAIL.
- DUMPSTER AREAS AND RECYCLING AREAS (IF ANY) IN VIEW FROM NORTHLAKE CENTRE PARKWAY WILL BE ENCLOSED BY A BRICK, STONE OR STUCCO WALL WITH ONE SIDE BEING A DECORATIVE WOODEN GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A SIDE OR REAR WALL OF A BUILDING, THEN THE SIDE OR REAR WALL MAY BE SUBSTITUTED FOR A SIDE.
- MECHANICAL EQUIPMENT OR OTHER UTILITY HARDWARE INSTALLED AT GROUND LEVEL AND ON THE ROOFS OF BUILDINGS CONSTRUCTED ON THE SITE WILL BE SCREENED FROM PUBLIC VIEW FROM A PUBLIC STREET.
- ALL UTILITY METERS, ELECTRICAL CONNECTORS AND TRANSFORMERS AND BACKFLOW VALVES SHALL BE SCREENED FROM VIEW FROM PUBLIC STREETS.
- THE SITE SHALL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE; PROVIDED PETITIONER RESERVES THE RIGHT TO SEEK VARIANCES FROM SUCH ORDINANCE.
- OPEN SPACE AREAS SHALL MEET THE MINIMUM REQUIREMENTS AS SET FORTH IN THE ORDINANCE.
- THE PETITIONER SHALL INSTALL A SIX FOOT SIDEWALK AND EIGHT FOOT PLANTING STRIP ALONG THE INTERNAL PUBLIC STREET SHOWN ON THE REZONING PLAN. LARGE MATURING TREES OF A MINIMUM OF 2½ INCH CALIPER SHALL BE INSTALLED ALONG SUCH PUBLIC STREET FORTY (40) FOOT ON CENTER WITHIN SUCH PLANTING STRIP.
- THE PETITIONER SHALL INSTALL A SIX FOOT SIDEWALK AND EIGHT FOOT PLANTING STRIP ALONG THE RIGHTS-OF-WAY OF NORTHLAKE CENTRE PARKWAY AND MT. HOLLY HUNTERSVILLE ROAD IN THE AREAS GENERALLY DEPICTED ON THE REZONING PLAN. LARGE MATURING TREES OF A MINIMUM OF 2½ INCH CALIPER SHALL BE INSTALLED ALONG SUCH ROADS FORTY (40) FEET ON CENTER WITHIN SUCH PLANTING STRIP. SUCH LARGE MATURING TREES SHALL CONSIST OF MELLOW OAKS FOR AREAS ALONG NORTHLAKE CENTRE PARKWAY.
- THE PETITIONER SHALL PROVIDE PEDESTRIAN SCALE DECORATIVE LIGHTING ALONG NORTHLAKE CENTRE PARKWAY. SUCH LIGHTING SHALL BE PROVIDED IN CONJUNCTION WITH APPLICABLE UTILITY COMPANY REGULATIONS AND REQUIREMENTS FOR SUCH LIGHTING. ALL PARKING LOT LIGHT FIXTURES WILL BE FULLY SHIELDED AND FULLY CUT OFF. NO WALL PAK LIGHTING WILL BE ALLOWED. ALL LIGHTING TO BE COORDINATED WITH DUKE POWER AND THE DEVELOPER.
- SIDEWALKS WILL CONNECT FROM THE INTERIOR OF THE SITE TO EXTERIOR SIDEWALKS SUBSTANTIALLY IN THE MANNER SHOWN ON THE REZONING PLAN.
- PETITIONER SHALL SHOW THE LOCATION OF ANY BACK FLOW VALVES AND ABOVE GRADE UTILITIES AND SCREENING REQUIRED BY THE ORDINANCE ON DESIGN DEVELOPMENT PLANS SUBMITTED AS PART OF THE PLANNED MULTI-FAMILY REVIEW PROCESS.
- ANY REQUIRED BUFFERS SHALL BE ESTABLISHED IN ACCORDANCE WITH THE STANDARDS OF SECTION 12.302 OF THE ORDINANCE. INTERNAL BUFFERS SHALL NOT BE REQUIRED BETWEEN USES ON THE SITE.
- NO BUILDINGS MAY BE LOCATED WITHIN BUFFERS.
- ALL REQUIRED BUFFERS, IF ANY, CAN BE REDUCED WITH THE USE OF A WALL OR FENCE PER SECTION 12.302 (8) OF THE ORDINANCE.
- EXISTING TREES LOCATED WITHIN ANY REQUIRED BUFFER AREA MAY BE COUNTED TOWARD THE PLANTING REQUIREMENT IN ACCORDANCE WITH THE ORDINANCE.
- IN THE EVENT THE ABUTTING PROPERTIES SHOULD BE REZONED OR USED IN A MANNER SO AS TO NOT REQUIRE SUCH A BUFFER, THE REQUIRED BUFFER FOR THIS PROPERTY MAY BE ADJUSTED ACCORDINGLY TO MEET THE MINIMUM REQUIREMENTS FOR BUFFERING AND SCREENING PER THE ORDINANCE.
- ALL SIGNS PLACED ON THE SITE WILL BE ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
- THE PETITIONER SHALL TIE-IN TO THE EXISTING STORM WATER SYSTEM LOCATED AT THE CULVERT WITHIN NORTHLAKE CENTRE PARKWAY ABUTTING THE SITE. THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM LOCATED AT THE CULVERT WITHIN NORTHLAKE CENTRE PARKWAY ABUTTING THE SITE ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THIS DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT ASSOCIATED WITH THIS PETITION (AS OPPOSED TO EXISTING CONDITIONS PRIOR TO SUCH DEVELOPMENT) WILL CAUSE SUCH RECEIVING STORM DRAINAGE SYSTEM TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ALTERNATE METHODS TO PREVENT THIS FROM OCCURRING OR OTHERWISE ADDRESS SUCH INCREASED DRAINAGE FROM THE DEVELOPMENT ASSOCIATED WITH THIS PETITION.
- DEVELOPMENT ON THE SITE SHALL ADHERE TO THE APPLICABLE REQUIREMENTS OF THE POST-CONSTRUCTION ORDINANCE AS ADOPTED BY CHARLOTTE CITY COUNCIL ON NOVEMBER 26,2007(CITY OF CHARLOTTE WATER QUALITY ORDINANCE).
- STORM WATER RUNOFF FROM THE SITE WILL BE MANAGED THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE STORMWATER SERVICES.
- DOUBLE SILT FENCES SHALL BE UTILIZED IN CRITICAL AREAS OF THE SITE AT THE BASE OF SLOPES AND OTHER LOCATIONS WHERE THE POTENTIAL FOR OFF-SITE SEDIMENTATION IS GREATEST.
- ANY JURISDICTIONAL WETLANDS OR STREAMS, IF PRESENT, SHALL BE PROTECTED OR PROPER ENVIRONMENTAL PERMITS OBTAINED PRIOR TO THEIR DISTURBANCE.
- LOCATION, SIZE, AND TYPE OF ANY STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN IS SUBJECT TO REVIEW AND APPROVAL WITH FULL DEVELOPMENT PLAN SUBMITTAL AND IS NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORMWATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS CONSISTENT WITH THE ABOVE STANDARDS.
- IF THE STORMWATER MANAGEMENT FACILITY LOCATED ALONG NORTHLAKE CENTRE PARKWAY IS DESIGNED AS A "WET" FACILITY, PETITIONER SHALL INSTALL AND MAINTAIN A WATER MOVEMENT FEATURE OR FOUNTAIN. IF SUCH STORMWATER MANAGEMENT FACILITY IS DESIGNED AS A "DRY" FACILITY OR LATER BECOMES A "DRY" FACILITY, PETITIONER SHALL INSTALL LANDSCAPING TO SCREEN SUCH "DRY" FACILITY FROM VIEW FROM NORTHLAKE CENTRE PARKWAY.
- THE NUMBER OF VEHICULAR ACCESS POINTS TO THE SITE SHALL BE LOCATED IN THE GENERAL AREA DEPICTED ON THIS REZONING PLAN. THE CONFIGURATION AND ULTIMATE LOCATION OF THESE ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.
- THE PETITIONER SHALL (I) DEDICATE AND CONVEY (BY QUITCLAIM DEED AND SUBJECT TO A RESERVATION OF ANY NECESSARY UTILITY EASEMENTS) THAT PORTION OF THE SITE SHOWN AS RIGHT-OF-WAY (A 66 FOOT WIDE RIGHT-OF-WAY OR PERMANENT PUBLIC STREET) SHOWN ON THE REZONING PLAN SUBJECT TO APPROPRIATE ADJUSTMENTS DURING THE DESIGN DEVELOPMENT STAGES AND (II) CONSTRUCT SUCH STREET TO THE STANDARDS SET FORTH ON THE REZONING PLAN; SAID DEDICATION AND CONVEYANCE AND CONSTRUCTION TO TAKE PLACE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR IMPROVEMENTS ON THE SITE.
- THE PETITIONER SHALL DEDICATE AND CONVEY (BY QUITCLAIM DEED AND SUBJECT TO A RESERVATION OF ANY NECESSARY UTILITY EASEMENTS) THAT PORTION OF THE SITE LOCATED ALONG MT. HOLLEY HUNTERSVILLE ROAD AS MAY BE NECESSARY TO PROVIDE FOR A RIGHT-OF-WAY EXTENDING 70 FEET FROM THE EXISTING CENTERLINE AS GENERALLY DEPICTED ON THE REZONING PLAN; SAID DEDICATION AND CONVEYANCE TO OCCUR PRIOR TO ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL DWELLING BUILDING CONSTRUCTED ON THE SITE.
- IN THE EVENT THAT NCDOT AND/OR CDDOT REQUIRE THE CONSTRUCTION OF AN ADDITIONAL LANE OR LANES ALONG THE SITE'S FRONTAGE OF NORTHLAKE CENTRE PARKWAY FROM ALEXANDERANA ROAD TO 1-485 AND ADDITIONAL RIGHT-OF-WAY OR PERMANENT DRAINAGE EASEMENTS ALONG THE SITE IS REQUIRED IN CONNECTION WITH SUCH CONSTRUCTION BASED UPON THERE BEING NO CHANGE IN THE CURRENT CENTERLINE OF NORTHLAKE CENTRE PARKWAY, PETITIONER SHALL DEDICATE OR CONVEY TO NCDOT AND/OR CDDOT OR OTHER GOVERNING BODY HAVING JURISDICTION (BY QUITCLAIM DEED AND SUBJECT TO RESERVATION OF ANY NECESSARY UTILITY EASEMENTS) THAT PORTION OF THE SITE UP TO FIFTEEN (15) FEET IN WIDTH ALONG THE EXISTING RIGHT-OF-WAY OF NORTHLAKE CENTRE PARKWAY; PROVIDED THAT PETITIONER SHALL NOT BE REQUIRED TO PROVIDE SUCH DEDICATION OR CONVEYANCE IF IT RESULTS IN ANY CHANGE IN THE MINIMUM BUILDING LINE OR SETBACK, ANY VIOLATIONS OF THE ORDINANCE OR OTHER GOVERNMENTAL REGULATIONS OR IN THE CREATION OF ANY NON-CONFORMING USES. IF SUCH DEDICATION OR CONVEYANCE IS REQUIRED, THE PETITIONER SHALL COMPLETE THE SAME WITHIN SIX (6) MONTHS OF THE RECEIPT BY PETITIONER OF A WRITTEN STATEMENT BY NCDOT OR CDDOT OR SUCH OTHER APPLICABLE PARTY CERTIFYING THAT FUNDING HAS BEEN PROPERLY APPROPRIATED FOR THE ROAD IMPROVEMENTS PROVIDED ABOVE AND A CONTRACT FOR CONSTRUCTION OF SUCH IMPROVEMENTS HAS BEEN EXECUTED BY APPLICABLE PARTIES. PETITION'S OBLIGATIONS UNDER THIS PARAGRAPH RELATES ONLY TO DEDICATION OR CONVEYANCE OF ADDITIONAL DRAINAGE EASEMENTS AND/OR RIGHT-OF-WAY AND NOT TO CONSTRUCTION OF ANY IMPROVEMENTS DESCRIBED IN THIS PARAGRAPH. PETITIONER'S COMMITMENT REGARDING DEDICATION OR CONVEYANCE DESCRIBED IN THIS PARAGRAPH SHALL EXPIRE AS OF DECEMBER 31, 2018.
- DEVELOPER SHALL INSTALL A NORTHBOUND LEFT TURN LANE ON NORTHLAKE CENTRE PARKWAY INTO THE SITE WITH 150 FEET OF STORAGE PROVIDED THAT SUCH INSTALLATION CAN BE ACCOMPLISHED WITHIN THE EXISTING RIGHT OF WAY AND MEDIAN OF NORTHLAKE CENTRE PARKWAY; SUCH INSTALLATION SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING TO BE LOCATED ON THE SITE.
- OFF-STREET PARKING WILL SATISFY THE STANDARDS ESTABLISHED UNDER THE ORDINANCE FOR THE R-17MF (CD) DISTRICT.
- NO PARKING SHALL BE LOCATED BETWEEN BUILDINGS AND THE RIGHTS-OF-WAY OF NORTHLAKE CENTRE PARKWAY AND MT. HOLLY HUNTERSVILLE ROAD. EXCEPT AS SHOWN ON THE SITE PLAN, NO PARKING SHALL BE LOCATED BETWEEN BUILDINGS AND RIGHT-OF-WAY OF THE INTERNAL PUBLIC STREET (PARKING MAY BE LOCATED TO THE SIDE AND REAR OF SUCH BUILDINGS).
- REFERENCE IS MADE TO THAT CERTAIN CONCEPTUAL ELEVATION FOR A PROTOTYPICAL BUILDING OF DWELLING UNITS CONTEMPLATED FOR THE SITE ATTACHED TO THIS REZONING PLAN. IT IS ACKNOWLEDGED THAT THE ATTACHED ELEVATION IS CONCEPTUAL ONLY AND CHANGES MAY BE MADE DURING THE DESIGN DEVELOPMENT STAGE OF THE PROJECT. PROVIDED, HOWEVER, THE OVERALL DESIGN INTENT SHALL NOT UNDERGO MATERIAL CHANGES AND THE FOLLOWING DESIGN AND ARCHITECTURAL TREATMENTS SHALL APPLY: (I) THE PRIMARY EXTERIOR BUILDING MATERIALS (EXCLUDING WINDOWS, WINDOW TRIM, DOORS AND ROOF FACES) TO BE EMPLOYED IN THE CONSTRUCTION OF BUILDINGS HOUSING DWELLING UNITS AND THE CLUBHOUSE BUILDINGS SHALL BE BRICK, STONE, STUCCO OR STUCCO LIKE MATERIALS, AND/OR CEMENT FIBER BOARD (I.E. HARDI-PLANK); (II) A MINIMUM 30% OF THE FRONT ELEVATIONS, AND ELEVATIONS FACING A PUBLIC STREET OF BUILDINGS HOUSING DWELLING UNITS (EXCLUDING WINDOWS, WINDOW TRIM, DOORS AND ROOF FACES) WILL CONSIST OF BRICK OR STONE MATERIALS; (III) NO VINYL SIDING OR ALUMINUM SIDING SHALL BE USED IN BUILDINGS ON THE SITE INCLUDING BUT NOT LIMITED TO ANY GARAGES OR CARPORTS; (IV) DORMERS AND/OR PITCHED ROOFS SHALL BE INCORPORATED INTO THE BUILDING DESIGN FOR BUILDINGS HOUSING DWELLING UNITS; AND (V) DOORS, WINDOWS AND/OR DECORATIVE ELEMENTS SHALL BE LOCATED AT LEAST EVERY 20 FEET ON EVERY SIDE OF SUCH BUILDINGS (EXCLUDING ROOF LINES) IN ORDER TO AVOID BLANK WALLS.
- THE PRIMARY ENTRANCE TO THE SITE OFF OF NORTH LAKE CENTRE PARKWAY SHALL INCLUDE TIERED LANDSCAPING TREATMENT INCLUDING LARGE MATURING TREES, SMALL ORNAMENTAL TREES, LOW LYING SHRUBS AND GROUND COVERS SUBSTANTIALLY AS SHOWN ON THE ATTACHED LANDSCAPE DETAIL.

SITE DATA:

SITE AREA:	12.7 Acres
PIN:	025-28-106
OWNER:	MLP Investments, LLC
ADDRESS:	607 South Linderbergh Boulevard Frontenac, MO 63131 (314) 963-9500
TELEPHONE NUMBER:	
ZONING PETITION #:	2008-024
ZONING:	R-17 MF(CD)
JURISDICTION:	City of Charlotte
PROPOSED USE:	204 Residential Units (Apartments)
ACCESSIBLE UNITS: See Sheet C4.3 for Slope Analysis	
Required Units based on Section 30.2.8 of Accessibility Code	51
68 1st floor units * 0.741 (% of site < 10% slope)=50.4	
Total Provided Accessible Units	52
Required Type A:	5% of 204=10.2=11
Provided Type A:	11
Provided Type B:	52-11=41
BUILDING HEIGHT(feet):	
Club House:	21'-0"
Buildings 1-8:	40'-0"
DENSITY:	16.06 Du/Ac (see rezoning)
OPEN SPACE:	
Required:	45%=5.7 Acres
Provided:	79%=10.0 Acres
TREE SAVE AREA:	
Required:	10%=52,969 sqft
Provided:	53,005 sqft
YARD REQUIREMENTS:	
Setback (front):	10 FT
*From Right-of-Way:	30 FT (PER REZONING PLAN)
Side Yard:	40 FT
Rear Yard:	16 FT
Building Separation:	40 FT
PARKING DATA:	
Required (1.50 per unit):	204*1.5=306
Accessible Parking Required:	14 spaces
Provided:	340 Total (1.67 per unit)
Surface Parking:	264
Carport Parking:	30 spaces (5 carports)
Garage Parking:	30 spaces (5 garages)
Accessible Parking:	16 spaces
(1 ea. within occ. garage and carport)	
SOLID WASTE/RECYCLING STATION REQUIREMENTS (See Sheet C11.0 for Enclosure Details)	
Solid Waste:	
Required:	8 cu.yd. Compactor Per 90 Units
	204 Units=19 cu. yd.
Provided:	30 cu. yd. Compactor
Recycling:	
Required:	161-240 Units Req. 3 x 144 sf
	Recycle Stations
Provided:	3 Recycling Stations
	(3 x 144 = 432 sf)
BIKE PARKING	
Required:	1 Per 20 Units
	204/20=10.2=11
Provided:	18 Located in Stairwells/72 spaces
All are Covered Spaces. Except where shown at Clubhouse.	
See Architectural plans	

NOTE: THE EXISTING AND PROPOSED TOPO ON THIS PROJECT IS OFF THE NAVD 29 DATUM.

SDRDMFR-2014-00009



ENGINEERING

PCO / DETENTION / DRAINAGE PLAN

APPROVED
By Mark Chapman at 3:06 pm, May 22, 2014

EROSION CONTROL

NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT <http://development.charmeck.org>

URBAN FORESTRY

TREE ORDINANCE

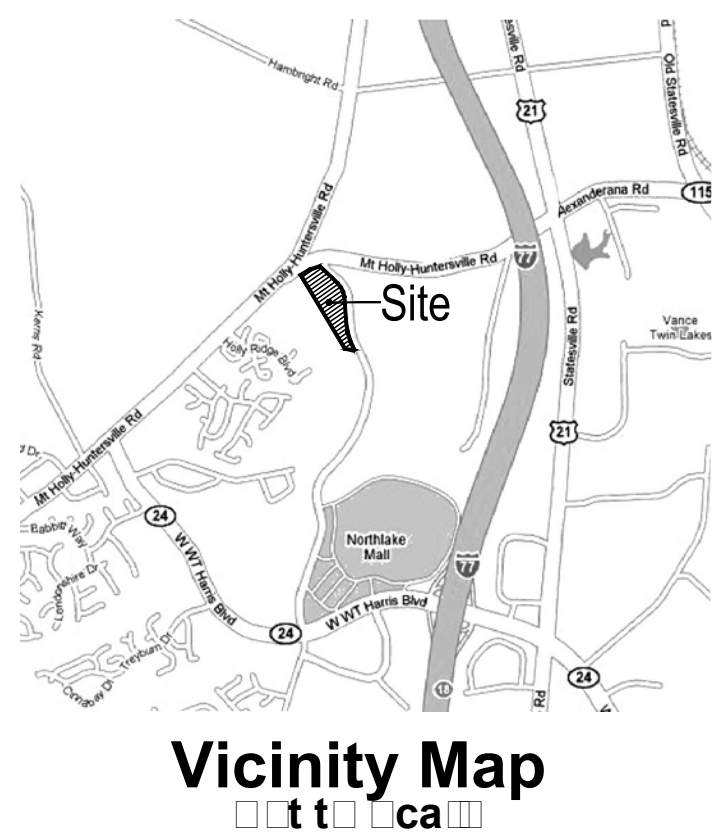
APPROVED
By Stan Armstrong at 10:03 am, May 27, 2014

CDOT

APPROVED ON BEHALF OF R. GROCHOSKE
By Mark Chapman at 3:06 pm, May 22, 2014

NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

SHEET	INDEX	LAST REVISED	REVISIONS
C1.0	COVER SHEET	04/23/2014	10
1	REZONING PLAN - PETITION# 2008-024	-	
C2.0	SURVEY (BY OTHERS)	10/09/2013	1
C3.0	DEMOLITION PLAN	03/03/2014	9
C4.0	OVERALL SITE PLAN	03/03/2014	9
C4.1	SITE PLAN 30 SCALE	03/03/2014	9
C4.2	SITE PLAN 30 SCALE	03/03/2014	9
C4.3	SLOPE ANALYSIS	10/09/2013	1
C5.0	EROSION CONTROL PLAN INITIAL PHASE	04/23/2014	10
C5.1	EROSION CONTROL PLAN FINAL PHASE	04/23/2014	10
C6.0	OVERALL GRADING PLAN	04/23/2014	10
C6.1	FINE GRADING PLAN	04/02/2014	10
C6.2	FINE GRADING PLAN	04/02/2014	10
C6.3	DRAINAGE AREA MAP	01/10/2014	5
C7.0	WATER QUALITY DRAINAGE AREA MAP PRE DEVELOPMENT	08/20/2008	2
C7.1	WATER QUALITY DRAINAGE AREA MAP POST DEVELOPMENT	01/31/2014	4
C7.2	WATER QUALITY BASIN A DETAILS AND SPECIFICATIONS	04/23/2014	10
C7.3	WATER QUALITY BASIN B DETAILS AND SPECIFICATIONS	04/23/2014	10
C8.0	ROAD PROFILE & SIGHT DISTANCE PROSSER WAY	1/14/2014	5
C8.1	SIGHT DISTANCE: MOUNT HOLLY-HUNTERSVILLE ROAD	10/09/2013	3
C8.2	ROAD IMPROVEMENT AND STRIPING PLANS	01/31/2014	5
C8.3	TRAFFIC CONTROL PLAN	10/09/2013	4
C9.0	OVERALL UTILITY PLAN	10/09/2013	4
C9.1	SANITARY SEWER PLAN	04/23/2014	10
C9.2	WATER DISTRIBUTION PLAN	04/23/2014	10
C9.3	UTILITY DETAILS	10/09/2013	10
C10.0	REQUIRED PLANTING PLAN	04/21/2014	10
C11.0	SITE DETAILS	10/9/2013	3
C11.1	SITE DETAILS	10/9/2013	4
C11.2	SITE DETAILS	10/9/2013	1
C11.3	EROSION CONTROL DETAILS	10/9/2013	3
C11.4	CHANNEL CROSS SECTIONS & DETAILS	04/23/2014	10



Vicinity Map
t l ca



Covington Construction, LLC
135 N Meramac Ave., Suite 500
Saint Louis, MO 63105

REVISION	DATE	DESCRIPTION
1	04/23/2014	REVISION
2	08/20/2008	REVISION
3	10/09/2013	REVISION
4	01/31/2014	REVISION
5	04/23/2014	REVISION
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87	04/23/2014	REVISION
88	04/23/2014	REVISION
89	04/23/2014	REVISION
90	04/23/2014	REVISION

Unit 1

Building	A1	B1	C1	AD	Total Units
1	12	12	-	12	36
2	-	12	-	12	24
3	-	12	12	-	24
4	-	24	-	-	24
5	12	-	12	-	24
6	-	24	-	-	24
7	12	-	12	-	24
8	-	24	-	-	24
TOTAL	36 (17.6%)	108 (53.0%)	36 (17.6%)	24 (11.8%)	204 (100%)

SITE DATA:

SITE AREA (OUT OF R/W): 12.16 Acres (529690 sqft)
 PIN: 025-28-106
 OWNER: MLP Investments, LLC
 ADDRESS: 607 South Lindbergh Boulevard
 Frontenac, MO 63131
 TELEPHONE NUMBER: (314) 983-9500
 ZONING PETITION #: 2008-024
 ZONING: R-17 MF(CD)
 JURISDICTION: City of Charlotte
 PROPOSED USE: 204 Residential Units (Apartments)

ACCESSIBLE UNITS: (SEE SHEET C4.3 FOR SLOPE ANALYSIS)	
Required Units based on Section 30.2.8 of Accessibility Code	51
68 1st floor units * 0.741 (% of site < 10% slope)=	50.4
Total Provided Accessible Units	52
Required Type A:	5% of 204=10.2=11
Provided Type A:	11
Provided Type B:	52-11=41

BUILDING HEIGHT(feet):

Club House:	21'-0"
Buildings 1-8:	40'-0"

DENSITY 16.06 Du/Ac (see rezoning)

OPEN SPACE:
Required: 45%=5.7 Acres
Provided: 79%=10.0 Acres

TREE SAVE AREA:
 Required: 10% = 52,969 sqft
 Provided: 53,005 sqft

YARD REQUIREMENTS:

Setback (front):	
*From Right-of-Way:	30 FT (PER REZONING PLAN)
Side Yard:	10 FT
Rear Yard:	40 FT
Building Separation:	16 FT

PARKING DATA:
 Required: (1.50 per unit) 204*1.5=306
 Accessible Parking Required: 14 spaces

Provided:	340 Total (1.67 per unit)
Surface Parking:	264
Carport Parking:	30 spaces (5 carports)
Garage Parking:	30 spaces (5 garages)
Accessible Parking:	16 spaces
(1 ea. within acc. garage and carport)	

SOLID WASTE/RECYCLING STATION REQUIREMENTS
(See Sheet C11.0 for Enclosure Details)

Solid Waste:
Required: 8 cu.yd. Compactor Per 90 Units
204 Units=19 cu. yd.
Provided: 30 cu. yd. Compactor

Recycling:
Required: 161–240 Units Req. 3 x 144 sf.
Recycle Stations

Provided: 3 Recycling Stations
(3 x 144 = 432 sf)

BIKE PARKING
Required: 1 Per 20 Units
204/20=10.2=11
Provided: 18 Located in Stairwells/72 spaces
All are Covered Spaces. Except where shown at Clubhouse.
See Architectural plans

GENERAL NOTES:

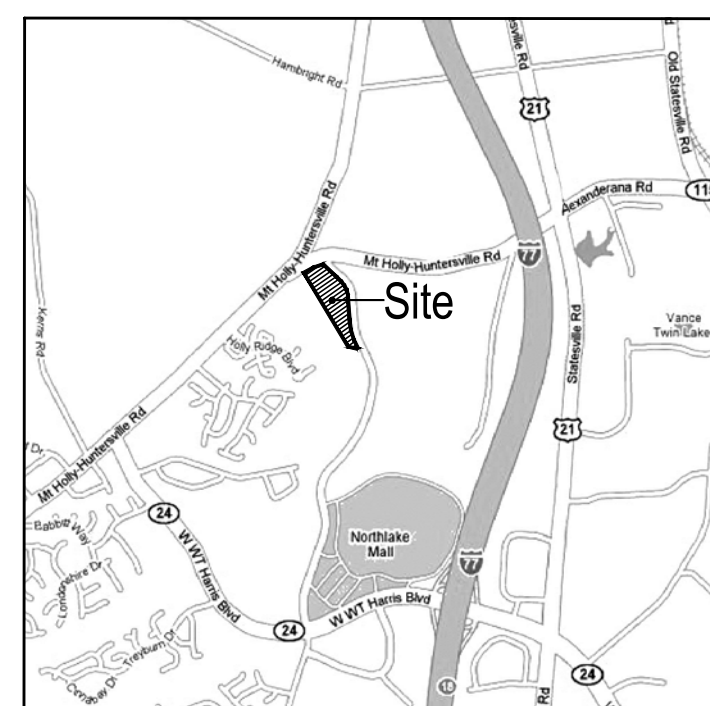
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|-----|--|-----|--|
| 1. | SURVEY PROVIDED BY LAWRENCE ASSOCIATES, 05/08. | 14. | ALL SIGNS RELATED TO PROSSER WAY, NORTHLAKE CENTRE PARKWAY, & MOUNT HOLLY-HUNTERVILLE ROAD TO BE INSTALLED BY CONTRACTOR PER CITY CDOT & CITY ENGINEERING STANDARDS. ALL INTERNAL SIGNS ARE PROVIDED BY OWNERS VIA SEPARATE CONTRACTORS. |
| 2. | SURVEYOR SHALL IMMEDIATELY NOTIFY MERRICK & COMPANY OF DISCREPANCIES OR ENCROACHMENTS GENERATED BY THIS LAYOUT PLAN. | 15. | MIN. SIDEWAY IS INCREASED 1 FOOT FOR EVERY 2 FEET IN BUILDING HEIGHT IN EXCESS OF 40 FEET. WHERE A BUILDING ADJUTS A SINGLE FAMILY ZONING DISTRICT, THE SIDE AND REAR YARDS ARE INCREASED 1 FOOT FOR EVERY FOOT OF BUILDING HEIGHT IN EXCESS OF 40 FEET. MIN OF 15' FROM CURB ALONG PRIVATE DRIVES/PARKING AREAS TO FACE OF BUILDING WITH ENTRY. |
| 3. | AN AUTOCAD DRAWING FILE WILL BE SUPPLIED FOR CONSTRUCTION STAKING ON REQUEST. | 16. | CONTRACTOR TO PROVIDE STREET SIGNS PER CMLDS# 50.05A (9" SIGNS ONLY) EXCEPT ON INTERIOR PRIVATE STREETS WHICH OWNERS WILL PROVIDE. |
| 4. | SEE ARCHITECTURAL PLANS, BY PARKER ASSOCIATES, FOR BUILDING DIMENSIONS AND LAYOUT INFORMATION. | 17. | IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS. |
| 5. | ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED. | 18. | APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. |
| 6. | TRASH SERVICE IS PUBLIC FOR COMPACTOR AND RECYCLE CONTAINERS. | 19. | IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB. |
| 7. | NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A RIGHT OF WAY ENCROACHMENT AGREEMENT WITH THE (CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION. | 20. | SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR. |
| 8. | ALL UTILITIES SHALL BE UNDERGROUND. | 21. | THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED. |
| 9. | INTERIOR SIDEWALKS SHALL BE 7.0' WIDE, UNLESS OTHERWISE NOTED. | 22. | THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS. |
| 10. | ALL DIMENSIONS AND COORDINATES TO LOCATE BUILDINGS ARE TO AN APPROXIMATE OUTSIDE CORNER, NOT TO FOOTINGS. SEE ARCHITECTURAL / STRUCTURAL DRAWINGS FOR FOOTING DESIGN. | 23. | "AS-BUILT" DRAWINGS AND PLANS OF THE PUBLIC STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING |
| 11. | COORDINATE ALL CURB AND STREET GRADES AT INTERSECTIONS WITH INSPECTOR. | | |
| 12. | SIGHT TRIANGLES ARE THE MINIMUM REQUIRED. | | |
| 13. | ALL RETAINING WALLS ON SITE ARE SUBJECT TO THE FOLLOWING:
A. DESIGN OF ALL RETAINING WALLS TO BE PER NC BUILDING CODE SECTION 1610.3.
B. DETAILED RETAINING WALL DESIGN DRAWINGS, SEALED BY AN NC LICENSED ENGINEER, WILL BE SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
C. AN NC LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH SECTION 1610.3 OF THE NC BUILDING CODE. | | |

LINE TABLE		
LINE	LENGTH	BEARING
L1	455.98	S28°05'03"E
L2	209.39	S28°08'03"E
L3	144.50	N75°03'10"E
L4	170.04	N70°10'10"E
L5	141.54	S85°48'02"E
L6	306.34	N67°24'09"E
L7	93.93	N67°14'00"E
L8	1.00	N68°20'03"W
L9	101.68	S26°07'37"E
L10	101.44	S01°34'10"E
L11	31.77	S25°59'54"E
L12	73.89	S60°16'14"E
L13	66.66	S60°16'14"E
L14	49.71	S17°07'29"E
L15	81.28	S28°16'03"E
L16	78.78	S10°41'00"E
L17	20.32	S29°08'03"E
L18	19.43	N72°55'52"E
L19	74.74	S44°40'00"E
L20	211.38	N61°54'57"E
L21	107.79	N50°31'17"E
L22	73.73	S61°54'17"E
L23	37.59	N82°44'43"E
L24	59.14	N28°29'23"E
L25	61.61	S22°00'00"E
L26	32.10	N74°21'07"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	82.53	2550.00	41.65	18°54'54"
C2	82.53	2550.00	41.65	18°54'54"
C3	70.71	50.00	42.73	81°01'51"
C4	266.97	1000.00	134.28	151°7'47"
C5	45.59	70.00	23.64	37°18'50"
C6	298.35	600.00	156.50	42°24'37"
C7	80.49	200.00	40.80	23°03'30"
C8	40.02	100.00	20.28	22°55'47"
C9	36.18	100.00	18.29	20°43'39"
C10	29.69	100.00	10.38	11°51'15"
C11	20.93	100.00	6.58	13°51'15"
C12	55.57	629.50	29.81	5°25'18"
C13	91.06	300.00	45.88	17°25'31"
C14	36.40	46.00	19.19	44°50'49"
C15	132.09	31.00	49.49	240°07'44"
C16	27.71	416.00	14.52	14°52'02"
C17	16.28	75.00	8.17	12°26'01"

STAKING AND MATERIALS LEGEND:

SYMBOL	DETAIL	
	PROPOSED HANDICAP SPACE	CLDS #50.10A
	PROPOSED HANDICAP SIGN	CLDS #50.10A CLDS #50.10B CLDS #50.10C
	PROPOSED SIDEWALK	CLDS #10.22
	PROPOSED HANDICAP RAMP	CLDS #10.32A CLDS #10.32B
	PROPOSED HEAVY DUTY ASPHALT	6/C12.0
	PROPOSED 1'-6" CURB AND GUTTER	10/C12.0 CLDS #10.17A CLDS #10.17C
	PROPOSED 2'-6" CURB AND GUTTER PUBLIC STREETS ONLY	10/C12.0 CLDS #10.17A CLDS #10.17C
	RETAINING WALL	-/-
	TRASH DUMPSTER	18/C11.0
	PROPOSED 5' CROSSWALK	-/-
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER	MUTCD R1-1 30 x 30
	PROPOSED HANDRAIL	4/C12.0
	PROPOSED PRECAST CONCRETE WHEEL STOPS AT DEPRESSED CURB	-/-
	DEPRESSED CURB AND GUTTER	-/-
	EXISTING PAVEMENT NORTHLAKE CENTRE PARKWAY & PROSSER WAY	-/-
	STAIRS	-/-
	BIKE RACK	16/C11.0
	PARKING COUNT	-/-
	RECYCLING CENTER	15,18/C11.0
	TRANSFORMER	-/-



Vicinity Map

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MERRICK®
& COMPANY

Covington Construction, LLC

N Meramac Ave., Suite 500
Saint Louis, MO 63105

REVISIONS		DATE	BY	DESCRIPTION
9	REV WQ A, CITY COMMENTS	03/03/14	RET	
5	REV WQ, PROSSER ASBLT	01/07/14	RET	
4	UPDATED DESIGNER & OWNER INFO	10/01/13	DAC	
3	PER CITY & BLDG STANDARDS COMMENTS	09/10/08	ECP	
2	PER CITY OF CHARLOTTE COMMENTS	02/01/08	DBR	
1	PER PARKER ASSOC'S COMMENTS	7/26/08	R/LF	
REV. REVISION DESCRIPTION				DRAWING APPROVED

DESIGN BY: SRT	DATE: 6/10/08
DRAWN BY: RLF	6/10/08
CHECKED BY:	
APPROVED BY:	

Northlake Apartments

Overall Site Plan



JOB NO: 8289-00

DATE: 1/10/2014

SHEET
C4.0

GLADYS D. BOSTIC
DB 01909 PG. 070
TAX NO. 017-042-03

METROLINA PROPERTIES LP
DB 17167 PG. 381
TAX NO. 025-281-15

MERRICK & COMPANY
INCORPORATED
CHARLOTTE, NC 28204
PHONE 704.328.6500
FAX 704.328.6501
WWW.MERRICK-NC.COM
MERRICK & COMPANY IS AN EQUAL OPPORTUNITY EMPLOYER. ALL DISCRIMINATION IS PROHIBITED. ANY VIOLATION OF THIS POLICY WILL BE CAUSE FOR IMMEDIATE DISCIPLINE, UP TO AND INCLUDING TERMINATION.

Covington Construction, LLC
135 N Meramac Ave., Suite 500
Saint Louis, MO 63105

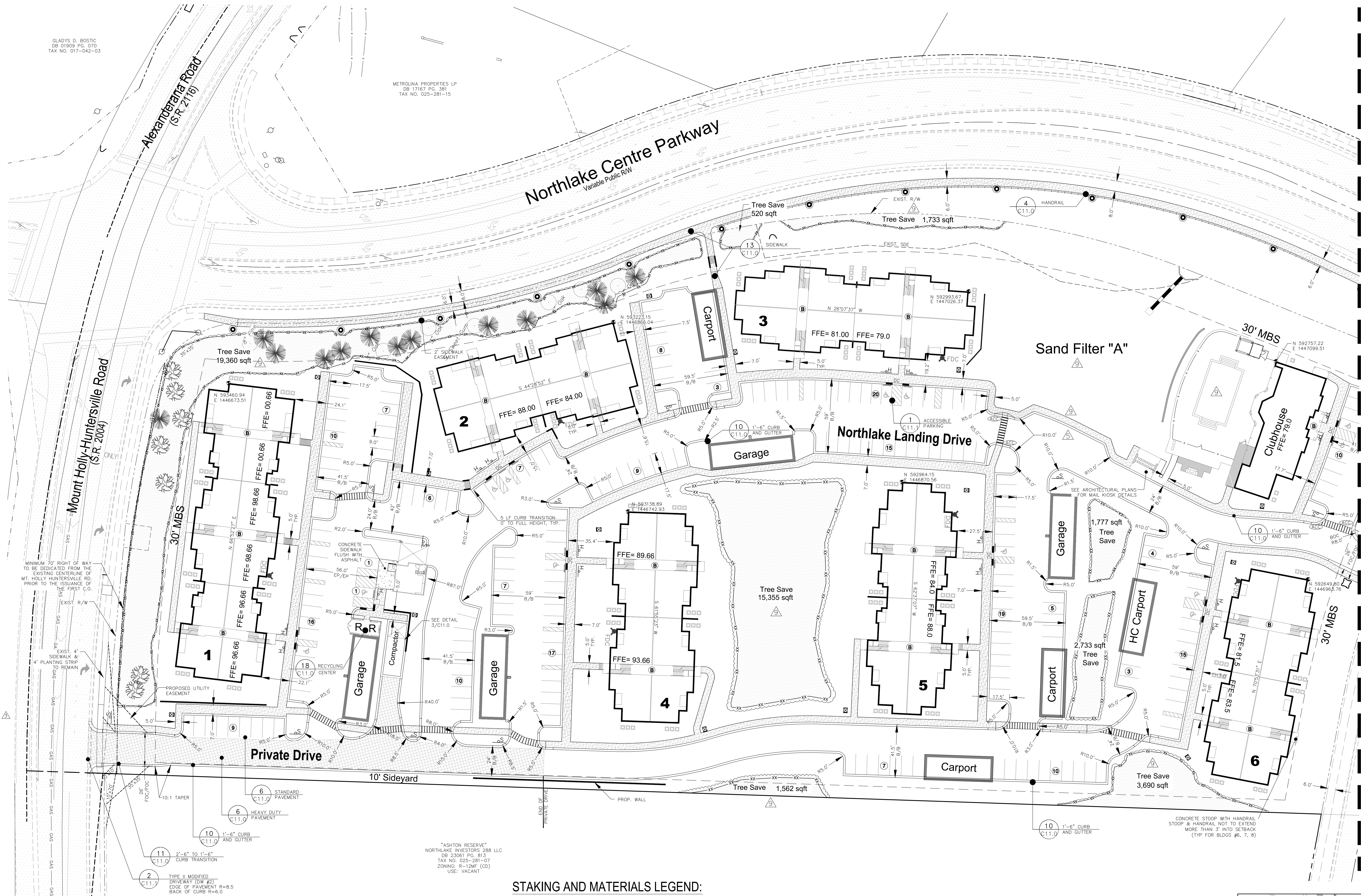
REV.	DESCRIPTION	DATE	BY	CHKD.	APP'D.
1	PER PARKER ASSOC'S COMMENTS	12/08/08	RLF		
2	PER CITY OF CHARLOTTE COMMENTS	08/08/08	RLF		
3	PER CITY & BLDG STANDARDS COMMENTS	10/10/08	DAC		
4	UPDATED DESIGNER & OWNER INFO	10/08/08	DAC		
5	REV WQ. PROSSER ASLT	03/08/14	RET		
9	REV WQ.A. CLUBHOUSE CITY COMMENTS	03/08/14	RET		

DATE:	6/10/08
DESIGN BY: SRT	
DRAWN BY: RLF	
CHECKED BY:	
APPROVED BY:	

Northlake Apartments
City of Charlotte, North Carolina
Site Plan
30 Scale



JOB NO: 8289-00
DATE: 1/10/2014
SHEET: C4.1



- GENERAL NOTES:**
- ALL FIRE ACCESS ROADS ACCESSING ALL BUILDINGS SHALL BE COMPACTED TO HOLD FIRE APPARTUS PER THE NC STATE FIRE CODE. THE REQUIRED WEIGHT IS 80,000 LBS.
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND COORDINATES TO LOCATE BUILDINGS ARE TO AN APPROXIMATE OUTSIDE CORNER, NOT TO FOOTINGS. SEE ARCHITECTURAL / STRUCTURAL DRAWINGS FOR FOOTING DESIGN.

STAKING AND MATERIALS LEGEND:

SYMBOL	DETAIL		
	PROPOSED HANDICAP SPACE	CLDS #50.10A	
	PROPOSED HANDICAP SIGN	CLDS #50.10A CLDS #50.10B CLDS #50.10C	
	PROPOSED SIDEWALK	CLDS #10.22	
	PROPOSED HANDICAP RAMP	CLDS #10.32A CLDS #10.32B	
	PROPOSED HEAVY DUTY ASPHALT	6/C12.0	
	PROPOSED STOP SIGN TO BE INSTALLED BY DEVELOPER	MUTCD R1-1 30 x 30	
	PROPOSED HANDRAIL	4/C12.0	
	PROPOSED 1'-6\"/>	10/C11.0 CLDS #10.17A CLDS #10.17C	
	PROPOSED 2'-6\"/>	10/C11.0 CLDS #10.17A CLDS #10.17C	
	RETAINING WALL	-/-	
	TRASH DUMPSTER	18/C11.0	
	PROPOSED PRECAST CONCRETE WHEEL STOPS AT DEPRESSED CURB	-/-	
	DEPRESSED CURB AND GUTTER	-/-	
	TRANSFORMER	-/-	
	EXISTING PAVEMENT NORTHLAKE CENTRE PARKWAY & PROSSER WAY	-/-	
	STAIRS	-/-	
	BIKE RACK	16/C11.0	
	PARKING COUNT	-/-	
	RECYCLING CENTER	15.18/C11.0	
	PROPOSED 5' CROSSWALK	-/-	

